

★ LOCATION MAP ★

SITE ENGINEERING PLANS

for

LION & ROSE RESTAURANT

AT DOMINION CREEK

23330 I-10 W
SAN ANTONIO, TX 78257

LEGAL DESCRIPTION

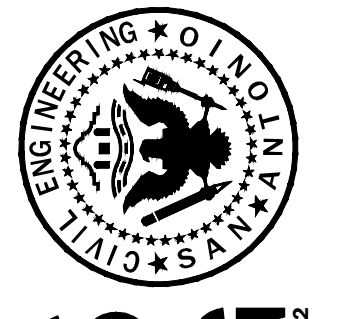
(1.800 ACRES)
LOT 3, BLOCK 110, NCB 16386
PLAT: DOMINION RETAIL
(VOL. 9720, PG. 159-160, D.P.R.)
SAN ANTONIO, BEXAR COUNTY, TEXAS

PREPARED BY:
RAMONES ENGINEERING, PLLC
TBPE FIRM F-17682
611 W. MISTLETOE AVE
SAN ANTONIO, TX 78212
PH: 210-882-8365
NRAMONES@RAMONESENGINEERING.COM

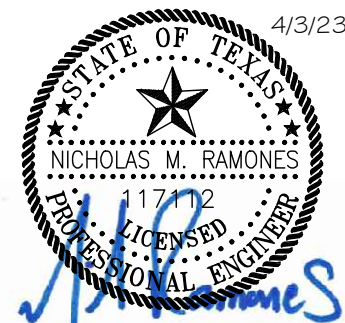
DEVELOPER/OWNER:
GC SA PROPERTIES, LLC
16109 UNIVERSITY OAK
SAN ANTONIO, TX 78249
PH: 210-645-4322

Sheet List Table	
Sheet Number	Sheet Title
C-0.0	COVER SHEET
C-0.1	GENERAL NOTES
C-1.0	EXISTING SITE PLAN
C-2.0	PROPOSED SITE PLAN
C-3.0	PAVING & DIMENSION CONTROL PLAN
C-4.0	UTILITY PLAN
C-5.0	FIRE PROTECTION PLAN
C-6.0	GRADING PLAN
C-7.0	SITE DETAILS (1 OF 2)
C-7.1	SITE DETAILS (2 OF 2)
C-7.2	UTILITY DETAILS
C-7.3	EROSION CONTROL DETAILS
C-7.4	CONTECH JELLYFISH FILTER DETAILS

REVISIONS:



RAMONES ENGINEERING
611 W. MISTLETOE AVE | SAN ANTONIO, TX 78212 | TEL: 210-882-8365 | FAX: 210-882-8366

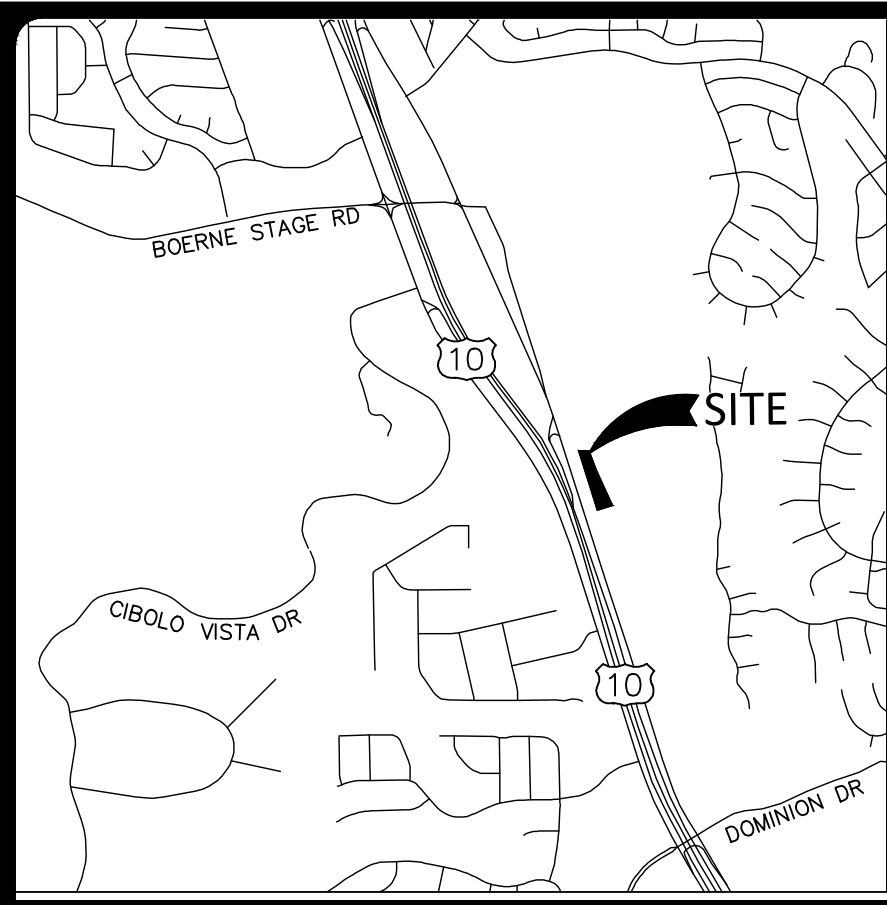


COVER SHEET
for
LION & ROSE RESTAURANT AT DOMINION CREEK
23330 IH-10 W, SAN ANTONIO, TX 78257

JOB #: C-2213
DATE: 1/28/2023
DESIGN: N.M.R.
DRAWN: N.M.R.
CHECKED:
SHEET: C-0.0

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.

DATE: APR 03, 2023, 12:29pm User: G:\Users\p10034\Documents\Projects\230123_LionRose\230123_LionRose.dwg Plot: Commercial\Construction\Plan\230123-0000-0000.dwg

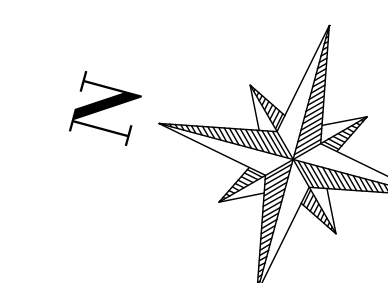
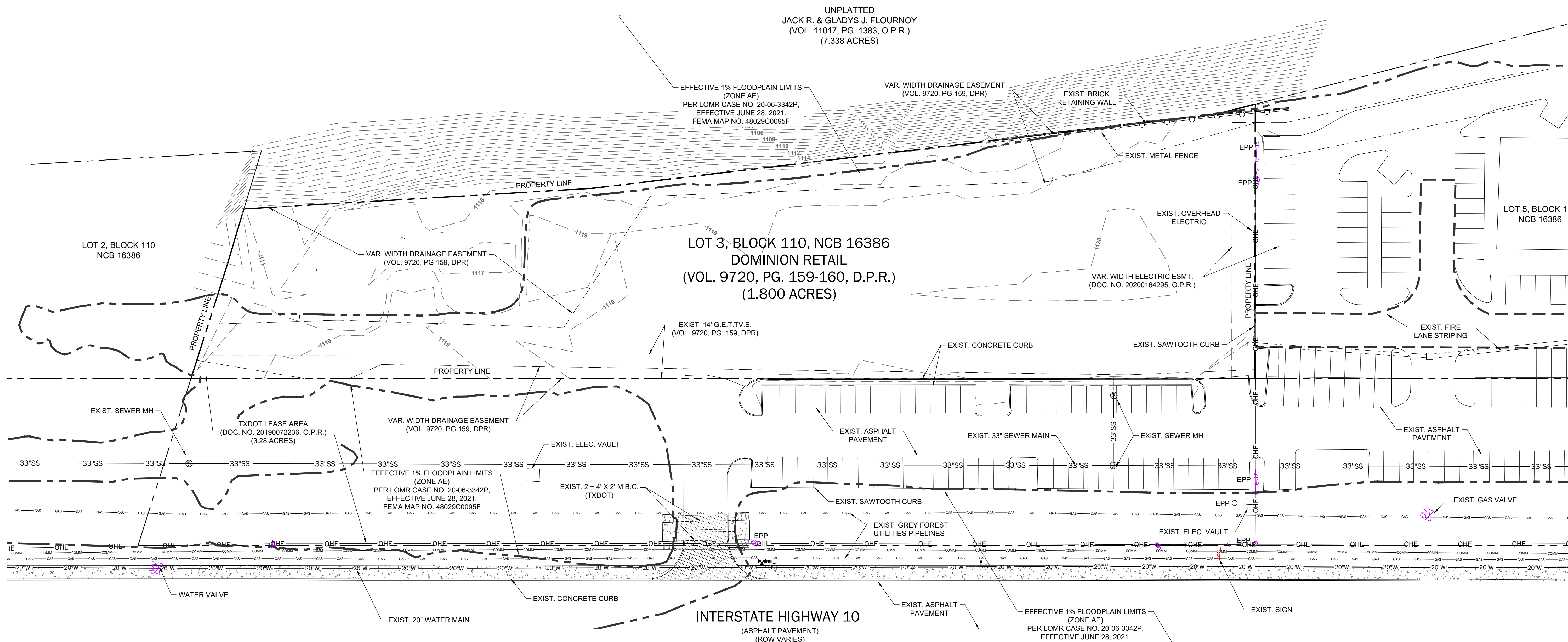
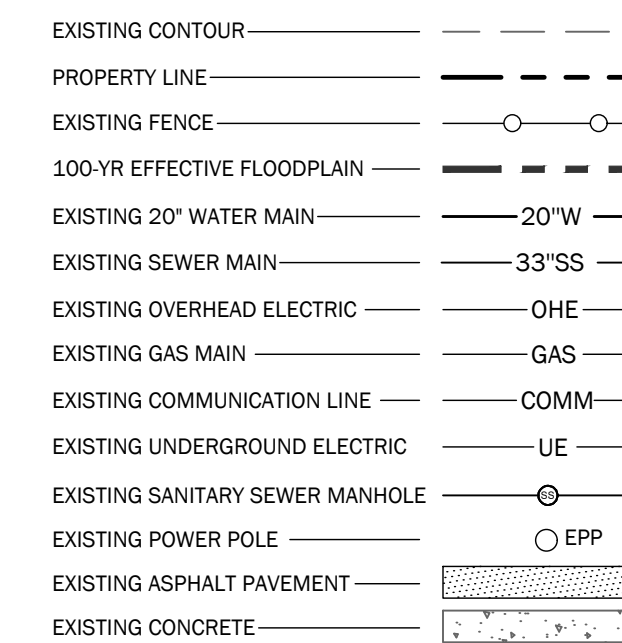


★ LOCATION MAP ★

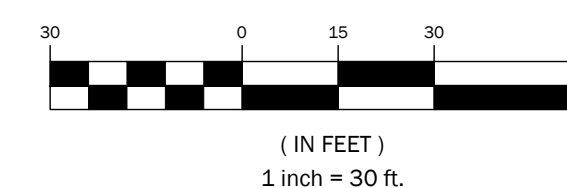
GENERAL NOTES:

1. EXISTING IMPROVEMENTS BASED ON TOPOGRAPHIC SURVEY COMPLETED BY OPEN RANGE FIELD SERVICES, LLC, DATED SEPTEMBER 30, 2022.
2. VERTICAL DATUM IS NAVD88.
3. CONTRACTOR TO CONTACT ALL GOVERNING UTILITY AGENCIES LOCATED WITHIN LIMITS OF DEMOLITION OPERATIONS PRIOR TO DEMOLITION.
4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIAL OFFSITE IN ACCORDANCE WITH LOCAL, MUNICIPAL, STATE, AND FEDERAL REQUIREMENTS.
5. ALL UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY EXACT LOCATIONS PRIOR TO ANY CONSTRUCTION.
6. THE CONTRACTOR SHALL CALL 811 PRIOR TO ANY EXCAVATION.

LEGEND



★ GRAPHIC SCALE ★



REVISIONS:

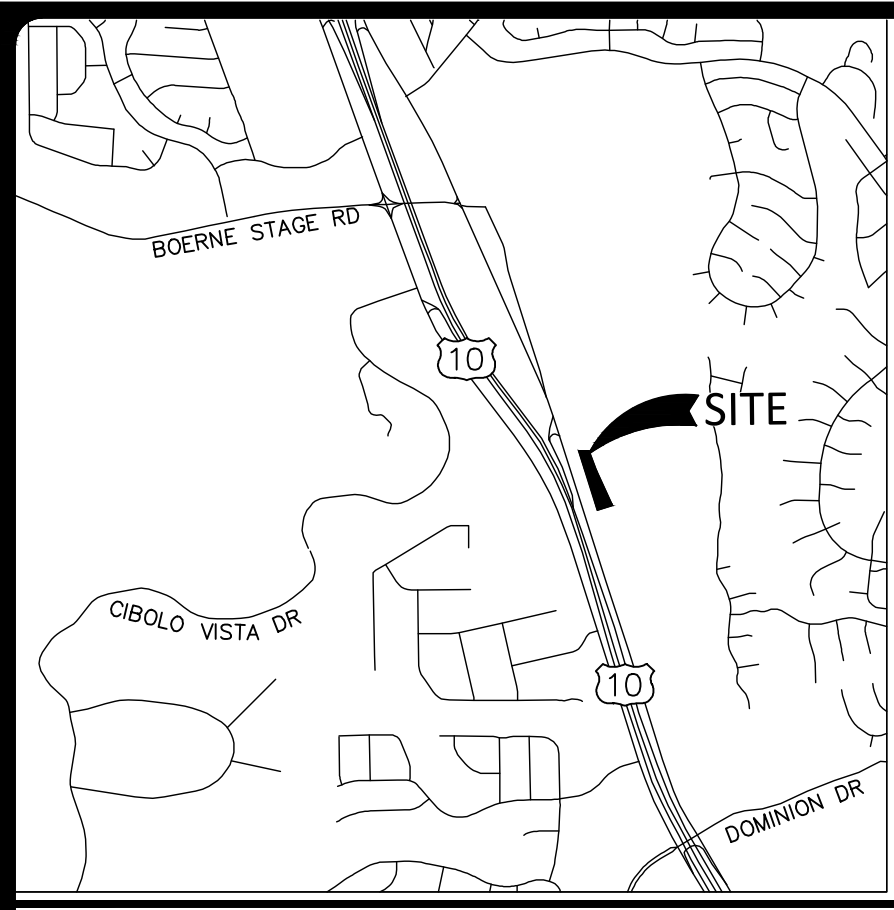


RAMONES ENGINEERING
 652 W. MONTELEONE AVE | SAN ANTONIO, TX 78215 | TEL: 214.842.8600 | INFO@RAMONES.COM



EXISTING SITE PLAN
 for
LION & ROSE RESTAURANT AT DOMINION CREEK
 23330 IH-10 W, SAN ANTONIO, TX 78257

JOB #: C-2213
 DATE: 1/28/2023
 DESIGN: N.M.R.
 DRAWN: N.M.R.
 CHECKED:
 SHEET: C-1.0



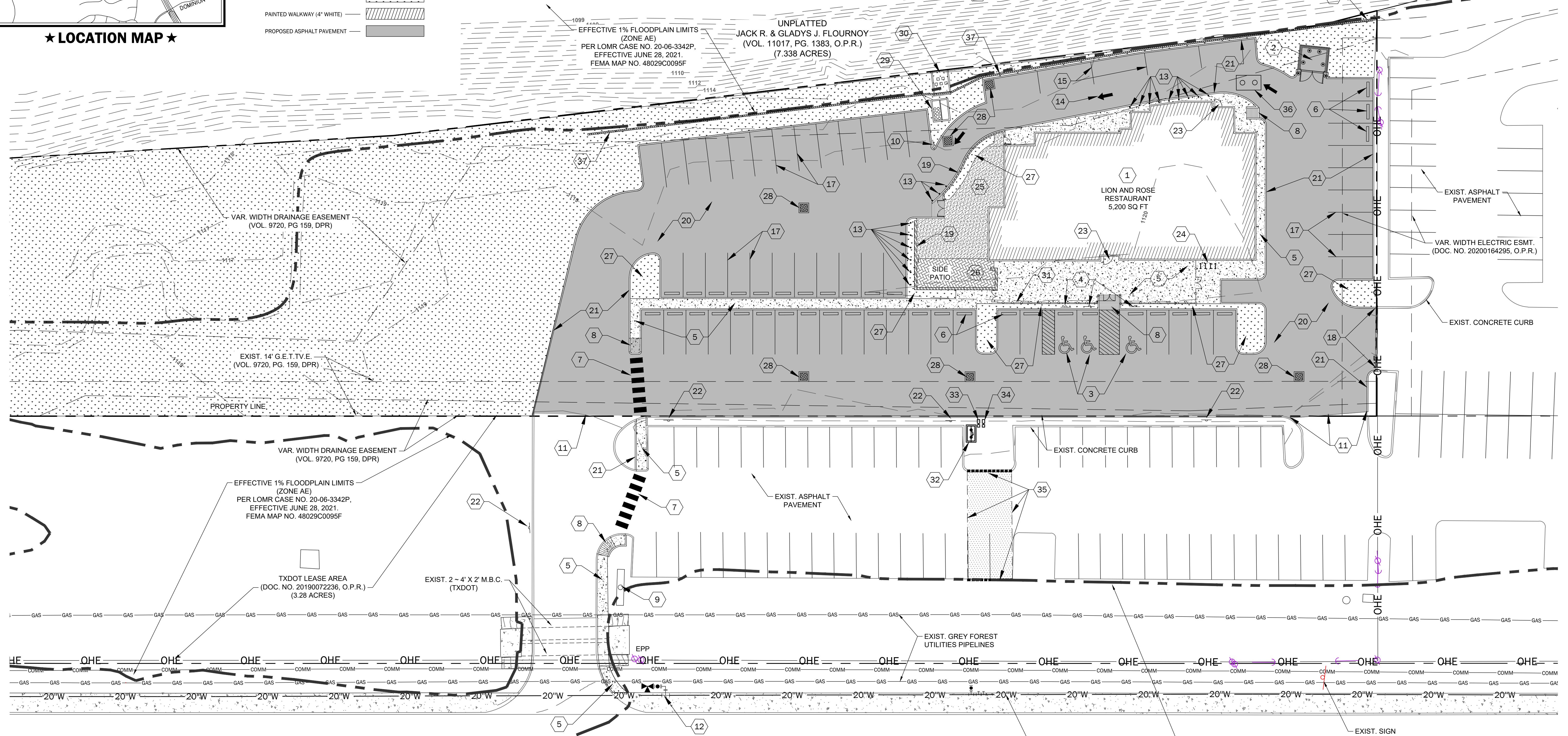
★ LOCATION MAP ★

LEGEND

- EXISTING CONTOUR
- PROPERTY LINE
- EXISTING FENCE
- 100-YR EFFECTIVE FLOODPLAIN
- EXISTING 20" WATER MAIN
- EXISTING SEWER MAIN
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS MAIN
- EXISTING COMMUNICATION LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER POLE
- PROPOSED CONCRETE WALK
- PROPOSED LANDSCAPE AREAS
- PAINTED WALKWAY (4" WHITE)
- PROPOSED ASPHALT PAVEMENT

NOTES BY SYMBOL:

- 1 PROPOSED RESTAURANT STRUCTURE
- 2 DUMPSTER WITH ENCLOSURE WITH 7" THICK CONC. APRON REFER TO ARCH PLAN FOR DETAILS
- 3 ACCESSIBLE PARKING SPACE MARKINGS
- 4 ACCESSIBLE PARKING POLE SIGNAGE - 1 VAN ACCESSIBLE SIGN
- 5 PROPOSED CONCRETE SIDEWALK (REF. ARCH FOR STAINED CONCRETE LIMITS)
- 6 PROPOSED WHEELSTOP (TYP.)
- 7 PROPOSED CROSSWALK STRIPING
- 8 PROPOSED ACCESSIBLE RAMP & LANDING
- 9 PROPOSED PYLON SIGN (FOR REFERENCE ONLY - BY SEPARATE PERMIT)
- 10 PROPOSED "NO ENTRY" SIGN
- 11 SAWCUT & TIE TO EXISTING PAVEMENT AND CURB
- 12 PROPOSED FIRE HYDRANT
- 13 PROPOSED BOLLARDS
- 14 PROPOSED DRIVEWAY TRAFFIC FLOW DIRECTIONAL ARROW
- 15 PROPOSED 9'x22' PARALLEL PARKING SPACES
- 16 PROPOSED SITE LIGHTING (REF ELECTRICAL PLANS)
- 17 PROPOSED PARKING STRIPING (4" WHITE)
- 18 REMOVE EXIST. SAWTOOTH CURB & TIE TO EXIST. ASPHALT PAVEMENT & CONCRETE CURB
- 19 PROPOSED WALL (REF ARCH PLANS)
- 20 PROPOSED CONCRETE PAVEMENT (SEE PAVING PLAN)
- 21 PROPOSED CONCRETE CURB
- 22 PROPOSED FIRE LANE SIGN
- 23 5' x 5' ADA LANDING AT ENTRY DOORS (REF. ARCH. SITE PLAN)
- 24 PROPOSED BIKE RACKS (4 EA.)
- 25 PROPOSED ARTIFICIAL TURF AREA (REF ARCH PLANS)
- 26 PROPOSED SIDE PATIO WITH STAINED CONCRETE FLOORING (REF ARCH PLANS)
- 27 PROPOSED PLANTER (REF LANDSCAPE PLANS)
- 28 PROPOSED 3'x3' GRATE INLET
- 29 PROPOSED CONTECH JELLYFISH FILTER VAULT (TOP ELEV: 1120.67; INV OUT: 1115.00)
- 30 PROPOSED CONCRETE HEADWALL (SEE SITE DETAILS)
- 31 PROPOSED PATIO FENCE (REF ARCH PLANS)
- 32 FIRE SERVICE LINE DOUBLE CHECK DETECTOR ASSEMBLY VAULT
- 33 PROPOSED DOMESTIC WATER METER
- 34 PROPOSED IRRIGATION WATER METER
- 35 DEMO & REPLACE EXISTING ASPHALT PAVEMENT & CONCRETE CURB AS NEEDED FOR UTILITY INSTALLATION
- 36 PROPOSED GREASE TRAP (SEE UTILITY PLANS)
- 37 PROPOSED CONCRETE FENCE (REF ARCH PLANS)

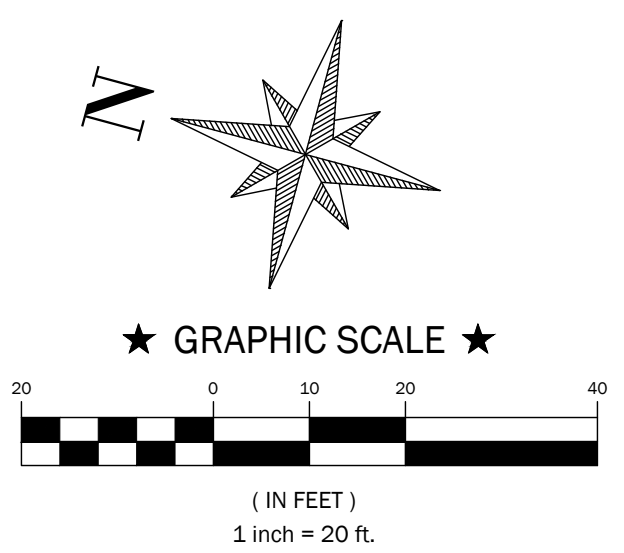


SITE PLAN NOTES:

1. ALL ACCESSIBLE RAMPS SHALL MEET ADA/TAS REQUIREMENTS.
2. SEE ARCHITECTURAL PLANS FOR STRUCTURAL/LANDSCAPE DIMENSION PLAN.
3. SEE ARCHITECTURAL/ELECTRICAL PLANS FOR LIGHTING DETAILS AND LOCATIONS.
4. ALL LIGHT POLE FOUNDATIONS, STANDS, AND FIXTURES TO BE DETERMINED BY THE ELECTRICAL ENGINEER.
5. REFERENCE LANDSCAPE PLANS FOR TREE PROTECTION PLANS/DETAILS.
6. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
7. ALL SIDEWALKS, CURBS, RAMPS AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS AND CITY OF SAN ANTONIO DESIGN STANDARDS PRIOR TO FINAL INSPECTION APPROVAL.

INTERSTATE HIGHWAY 10
(ASPHALT PAVEMENT)
(ROW VARIES)

LAND USE CHART	
PROPOSED DEVELOPMENT	LION & ROSE RESTAURANT
EXISTING ZONING	C-2
PROPOSED USE	RESTAURANT
SITE AREA (AC)	1.8
LANDSCAPED AREA (SF) / (%)	36,608 / 47%
IMPERVIOUS COVER (SF) / (%)	41,800 / 53%
BUILDING AREA (SF)	5,200
MIN PARKING SPACES REQUIRED	52
MAX PARKING SPACES REQUIRED	130
PARKING SPACES PROVIDED	63
BIKE SPACES PROVIDED/REQUIRED	4 / 4
ADA SPACES PROVIDED/REQUIRED	3 / 3



REVISIONS:

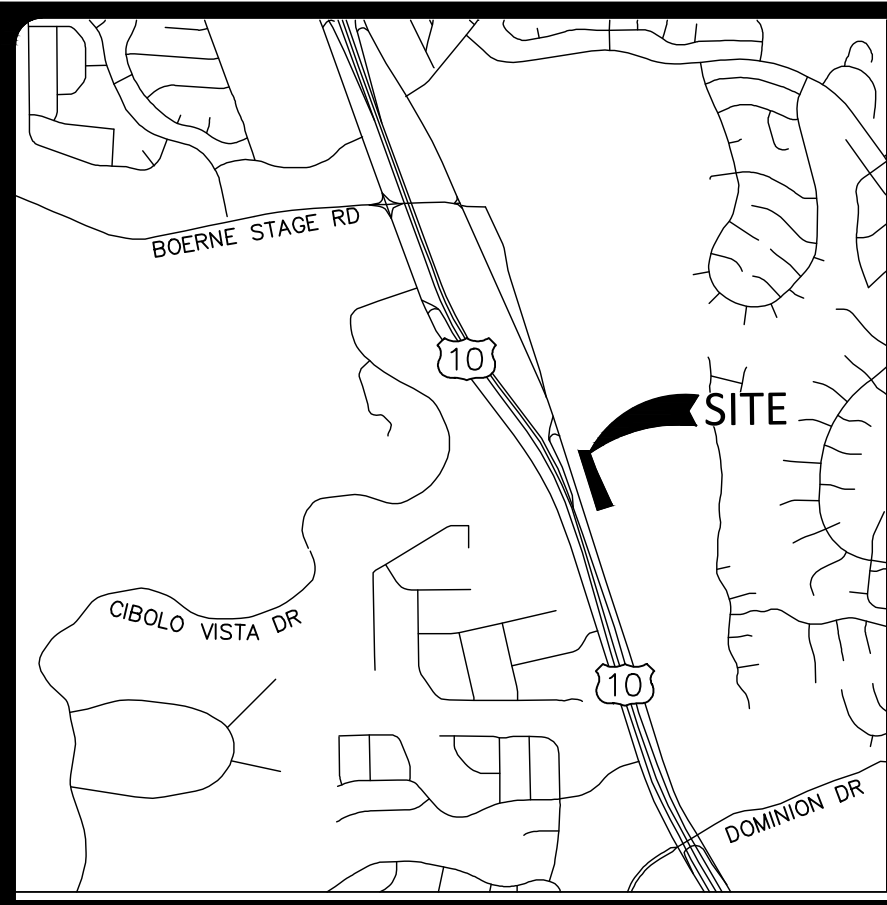
RAMONES ENGINEERING
1501 W. MONTEREY AVE 15TH FLOOR, SAN ANTONIO, TX 78205

4/3/23
Professional Engineer Seal for Nicholas W. Ramones, State of Texas, License No. 11427.

PROPOSED SITE PLAN
for
LION & ROSE RESTAURANT AT DOMINION CREEK
23330 IH-10 W, SAN ANTONIO, TX 78257

JOB #: C-2213
DATE: 1/28/2023
DESIGN: N.M.R.
DRAWN: N.M.R.
CHECKED:
SHEET: C-2.0

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADEQUATELY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.



★ LOCATION MAP ★

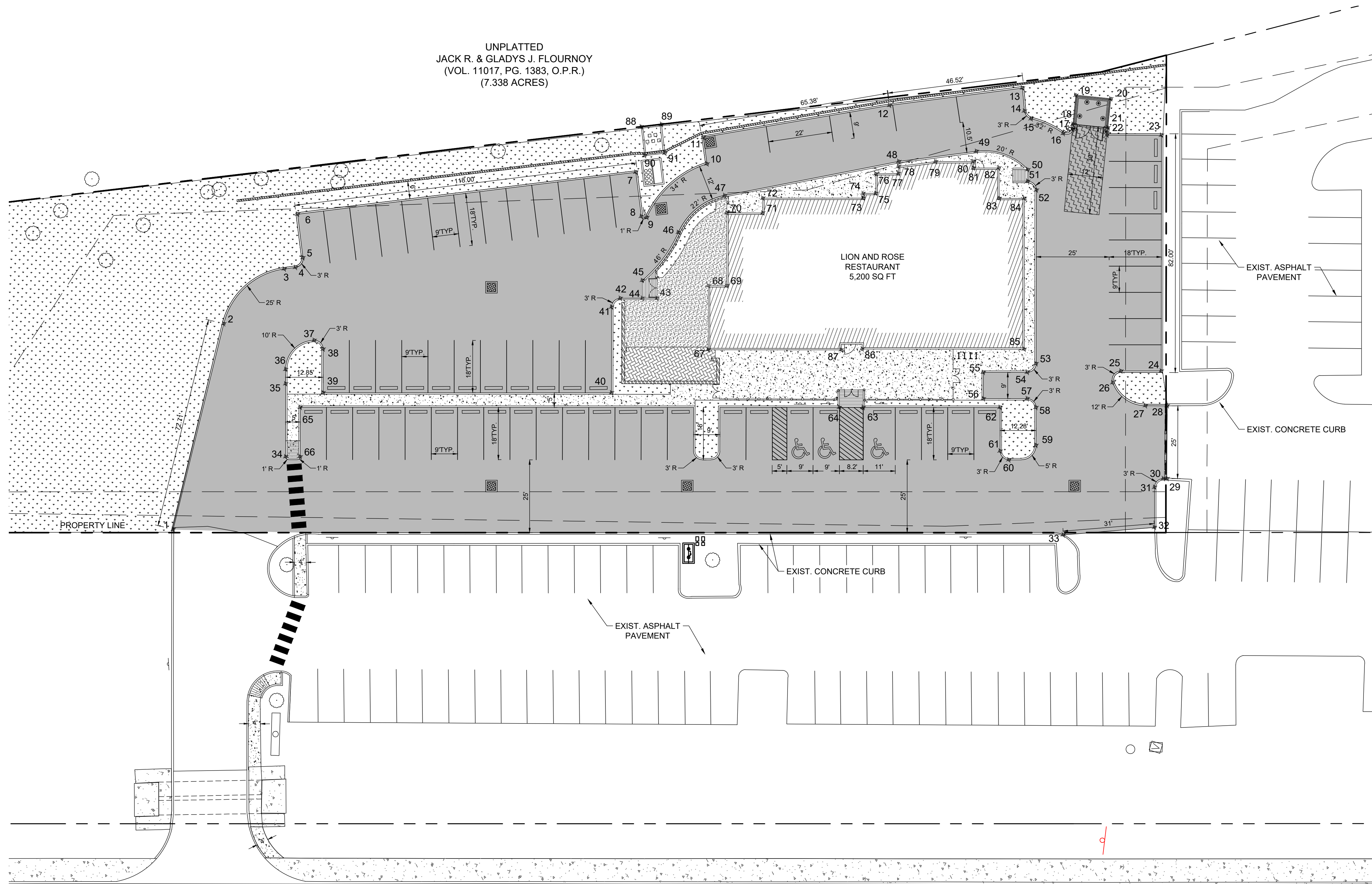
PAVEMENT NOTES:

- SEE PAVING DETAILS AND NOTES FOR ADDITIONAL INFORMATION. PAVEMENT SUBGRADE PREPARATION SHOULD BE IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT. PAVEMENT SECTION THICKNESS AND COMPACTION RATINGS TO BE VERIFIED WITH GEOTECHNICAL REPORT RECOMMENDATIONS.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318-89 (REV. 92).
- PORTLAND CEMENT SHALL BE A SINGLE BRAND CONFORMING TO ASTM C-150, TYPE I OR TYPE III.
- CONCRETE MIXES SHALL BE DESIGNED TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH PSI AT 28 DAYS OF 4,000 PSI.
- CONCRETE SHALL HAVE A MINIMUM SEVEN DAY FLEXURAL STRENGTH OF 600 PSI.
- ALL CONCRETE SHALL BE AIR ENTRAINED AT MINIMUM 2% BY VOLUME, +/-1.5%.
- CONCRETE SLUMPS SHALL BE NOT LESS THAN 3" NOR MORE THAN 5", ASTM C143.
- THE PAVEMENT SURFACE SHALL BE MOIST-CURED WITH A MEMBRANE OR CURING COMPOUND FOR NOT LESS THAN SEVEN DAYS.
- JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
- SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO ENSURE POSITIVE DRAINAGE (TYP. ALL INTERSECTIONS).
- PROVIDE LONGITUDINAL AND TRANSVERSE CONTRACTION JOINTS AT 15' MAXIMUM EACH WAY. CONTRACTION JOINTS SHALL BE 1/4" X 1/4" DEPTH OF PAVEMENT. REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONTRACTION JOINTS. JOINTS SHALL BE CONTINUOUS THROUGH CURBS. SAW-CUTTING SHALL BE COMPLETED BEFORE 8 HOURS HAVE ELAPSED SINCE CONCRETE PLACEMENT. JOINTS SHALL BE SEALED FOLLOWING SAW-CUTTING.
- PROVIDE 3/4" EXPANSION JOINTS TO ISOLATE ALL FIXED OBJECTS ABUTTING OR WITHIN THE PAVING AREA SUCH AS BUILDINGS, EXISTING PAVEMENT, UTILITY APPURTENANCES, POLE BASES, AND SIDEWALKS. DO NOT PERMIT REINFORCEMENT TO EXTEND CONTINUOUSLY THROUGH ANY EXPANSION JOINTS TO FULL DEPTH WITH EXPANSION JOINT MATERIAL (BITUMINOUS MATERIAL). IN CURBS, LOCATE JOINTS AT THE BEGINNING AND END OF CURVES. IN CURBS AND PAVING, DEPRESS 3/4" JOINT MATERIAL BELOW FINISHED GRADE AND SEAL EXPOSED JOINTS WITH JOINT SEALER.
- PROVIDE CONSTRUCTION JOINTS AT END OF EACH DAY'S WORK OR WHEN CONCRETE PLACEMENT IS STOPPED MORE THAN 1/2 HOUR.
- ALL SAW-CUT SURFACES OF THE EXISTING PAVEMENT SHALL BE CLEANED AND COATED WITH AN APPROVED BONDING COMPOUND IMMEDIATELY BEFORE THE NEW CONCRETE IS PLACED.
- CONCRETE PLACED IN HOT WEATHER SHALL BE POURED IN THE EARLY MORNING SO THAT THE CONCRETE CAN ACHIEVE ITS INITIAL SET BY 9:00 AM.
- PROVIDE MONOLITHIC OR EXTRUDED CURB AT ALL PERIMETER PAVING UNLESS NOTED OTHERWISE.
- CONCRETE CURB SHALL BE OF THE SAME COMPRESSIVE STRENGTH AS THE CONCRETE PAVEMENT.
- MILD STEEL REINFORCEMENT AND ACCESSORIES SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH ACI SP-66.
- MILD STEEL REINFORCEMENT SHALL BE PLACED AND SECURED IN ACCORDANCE WITH CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS." PROVIDE METAL OR PLASTIC CHAIRS OR SPACERS (NOT WOOD BLOCKS OR BRICK BATS) TO PROVIDE SUPPORT FOR REINFORCING BARS.
- MINIMUM CONCRETE PROTECTION FOR ALL REINFORCEMENT SHALL BE 2-INCH CLEAR COVER BETWEEN ANY CONCRETE SURFACE AND NEAREST EDGE OF ANY REBAR. THERE SHALL BE MIN. 3 INCH OF COVER BETWEEN BOTTOM (TOP OF BASE MATERIAL OR SUBGRADE) AND EDGE OF REINFORCEMENT.
- REINFORCING BARS SHALL BE CONTACT LAP SPICED UNLESS SHOWN OTHERWISE. LAP SPICES SHALL CONFORM TO ACI REQUIREMENTS, BUT SHALL IN NO CASE BE LESS THAN 40 BAR DIAMETERS LONG.
- NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C-33. ALL CONCRETE SHALL USE NORMAL WEIGHT AGGREGATES, UNLESS NOTED OTHERWISE.
- THE MAXIMUM NOMINAL SIZE OF COARSE AGGREGATE SHALL BE 1-1/2 INCH.
- ALL ADDITIVES FOR AIR ENTRAINMENT, WATER REDUCTION, AND SET CONTROL SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.

LEGEND

- PROPERTY LINE
- PROPOSED CONCRETE WALK
- PROPOSED LANDSCAPE AREAS
- PROPOSED 6" CONCRETE PAVEMENT
- PROPOSED 7" CONCRETE PAVEMENT

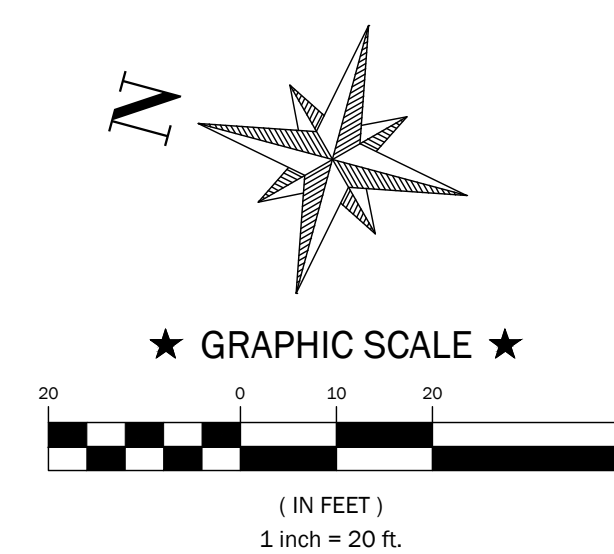
UNPLATTED
JACK R. & GLADYS J. FLOURNOY
(VOL. 11017, PG. 1383, O.P.R.)
(7.338 ACRES)



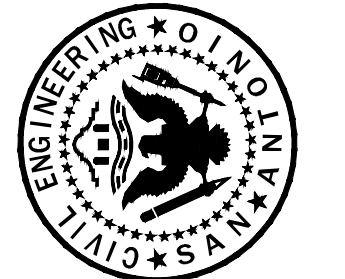
Point Table		
Point #	Northing	Easting
1	13789613.0073	2087669.9527
2	13789617.9061	2087742.4976
3	13789603.8062	2087766.7080
4	13789600.3048	2087768.3935
5	13789598.8810	2087772.3514
6	13789605.1756	2087786.0209
7	13789498.9018	2087834.9584
8	13789492.4895	2087821.0334
9	13789490.5881	2087821.3344
10	13789476.4796	2087845.0917
11	13789480.4536	2087853.3869
12	13789422.8402	2087883.2424
13	13789381.1945	2087902.7401
14	13789378.1424	2087895.4223
15	13789375.1672	2087893.5842
16	13789363.1173	2087892.1069
17	13789360.5446	2087894.4217
18	13789360.8993	2087896.1067
19	13789362.9674	2087905.9331
20	13789351.2247	2087908.4046
21	13789349.1651	2087898.6190
22	13789348.6363	2087896.1065
23	13789330.8004	2087901.7792
24	13789306.3455	2087824.5589
25	13789319.5236	2087820.3678
26	13789320.9830	2087815.6676
27	13789307.8715	2087811.5966
28	13789300.7520	2087813.6380
29	13789293.2445	2087789.9919
30	13789294.4507	2087789.6121
31	13789296.4114	2087785.8497
32	13789292.2670	2087772.6860
33	13789321.3351	2087760.7616
34	13789583.7848	2087705.3878
35	13789591.3794	2087729.2719
36	13789592.8755	2087733.9769
37	13789586.5850	2087746.4680
38	13789582.7543	2087744.5390
39	13789578.2085	2087730.2463
40	13789483.8633	2087760.2460
41	13789492.7879	2087788.3062
42	13789490.8423	2087792.0730
43	13789478.8236	2087795.9140
44	13789483.6018	2087794.3870
45	13789485.4639	2087800.2134
46	13789478.6984	2087819.6822
47	13789467.3988	2087836.5942
48	13789414.0124	2087865.8441
49	13789389.6922	2087877.2304
50	13789370.9463	2087876.5873

Point Table		
Point #	Northing	Easting
51	13789369.7835	2087872.7598
52	13789366.0136	2087870.8046
53	13789348.0579	2087813.9624
54	13789350.0093	2087810.1999
55	13789364.3683	2087805.6330
56	13789361.6255	2087797.0163
57	13789347.2937	2087801.5735
58	13789343.5250	2087799.6214
59	13789339.5948	2087787.2280
60	13789346.9242	2087779.6549
61	13789350.6922	2087781.6047
62	13789355.2376	2087795.8995
63	13789400.0274	2087781.6560
64	13789407.8167	2087779.1805
65	13789584.1713	2087723.1036
66	13789579.0199	2087706.9029
67	13789456.7010	2087784.3919
68	13789463.3490	2087805.3634
69	13789457.3256	2087807.2729
70	13789464.8802	2087831.1041
71	13789453.1322	2087834.8283
72	13789454.6744	2087839.6930
73	13789422.8366	2087850.1027
74	13789422.3354	2087851.6762
75	13789418.1734	2087852.9955
76	13789420.2052	2087859.4262
77	13789412.8370	2087861.8276
78	13789413.5870	2087864.1933
79	13789401.9533	2087869.6285
80	13789389.5623	2087873.5564
81	13789388.9043	2087871.4808
82	13789380.6076	2087874.1217
83	13789377.3256	2087864.2212
84	13789369.1016	2087866.8204
85	13789353.4574	2087817.4703
86	13789406.4531	2087800.6704
87	13789413.1840	2087798.1870
88	13789501.8660	2087850.3999
89	13789495.4935	2087853.2967
90	13789497.7277	2087841.2963
91	13789491.3552	2087844.1931

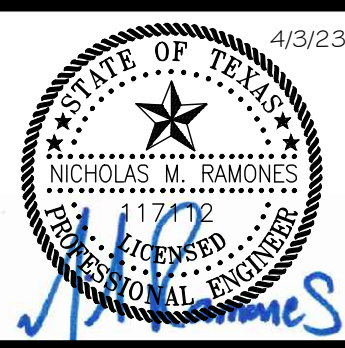
INTERSTATE HIGHWAY 10
(ASPHALT PAVEMENT)
(ROW VARIES)



REVISIONS:



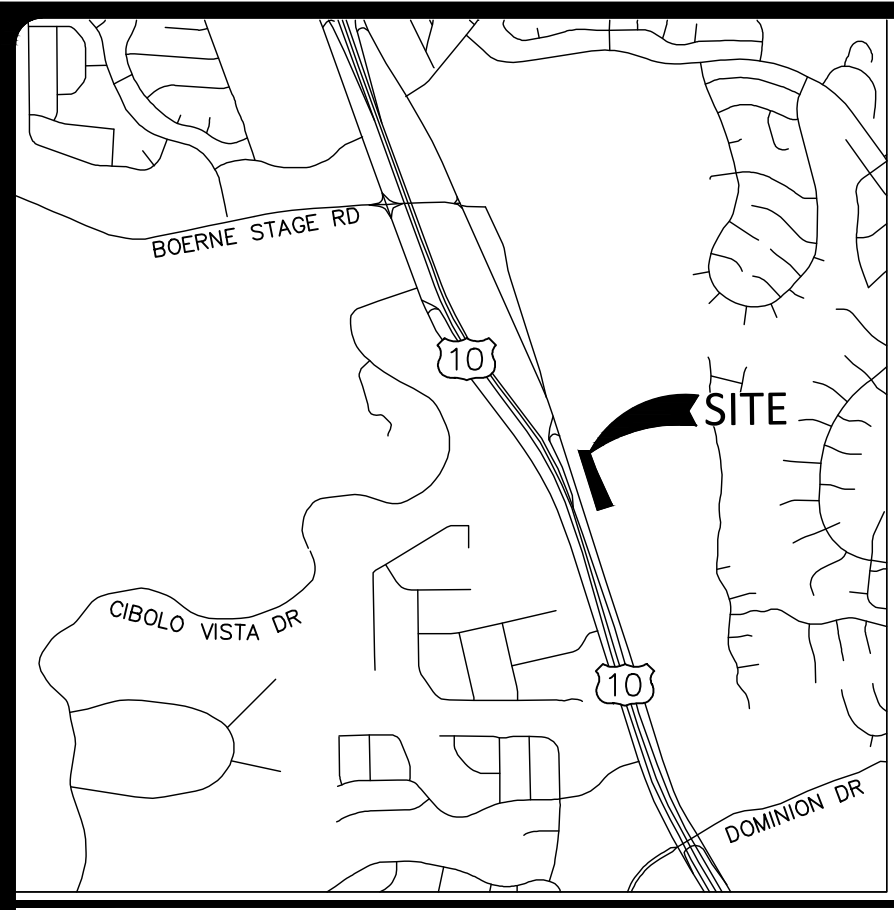
RAMONES ENGINEERING
1501 W. MONROE AVE. SUITE 100, SAN ANTONIO, TX 78202



PAVING & DIMENSION CONTROL PLAN
for
LION & ROSE RESTAURANT AT DOMINION CREEK
23330 IH-10 W, SAN ANTONIO, TX 78257

JOB #: C-2213
DATE: 1/28/2023
DESIGN: N.M.R.
DRAWN: N.M.R.
CHECKED:
SHEET: C-3.0

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN IMPROPERLY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.



★ LOCATION MAP ★

NOTES BY SYMBOL:

- 1 SANITARY SEWER, GREASE WASTE, WATER AND GAS LINE FROM BUILDING. COORDINATE PLUMBING PLANS.
- 2 PROPOSED ELECTRICAL SERVICE. (REFER TO ELECTRICAL PLANS)
- 3 PROPOSED CATV AND TELEPHONE SERVICE ROUTES. (REFER TO ELECTRICAL PLANS)
- 4 INSTALL APPROX. 210 LF OF 6" SANITARY SEWER @ 2.00% MIN SLOPE WITH CLEANOUTS AT EVERY CHANGE IN DIRECTION. REF PLUMBING PLANS FOR FLOWLINE @ BUILDING.
- 5 INSTALL GREASE INTERCEPTOR. SEE MEP PLANS FOR MORE DETAILS. CONNECT TO GREASE WASTE LINE FROM BUILDING.
- 6 INSTALL EFFLUENT SAMPLING INSPECTION WELL. (A PARKS EQUIPMENT SERVICES SAMPLE WELL SWB-1, HANSON PRECAST SAMPLING WELL OR PW EAGLE SAMPLE WELL WITH 18" MIN. DIA. ACCESS COVER). RIM ELEVATION TO MATCH FINISHED GRADE.
- 7 CONNECT 4" LINE FROM GREASE INTERCEPTOR TO 6" SANITARY SEWER LINE.
- 8 GAS METER LOCATION
- 9 APPROXIMATE LOCATION OF PROPOSED 2" GAS LINE. CONTRACTOR TO COORDINATE WITH GAS PROVIDER ON FINAL DESIGN & LOCATION.
- 10 CONNECT TO EXIST. SEWER LATERAL INV. ELEV: 1108.00 (FIELD VERIFY)

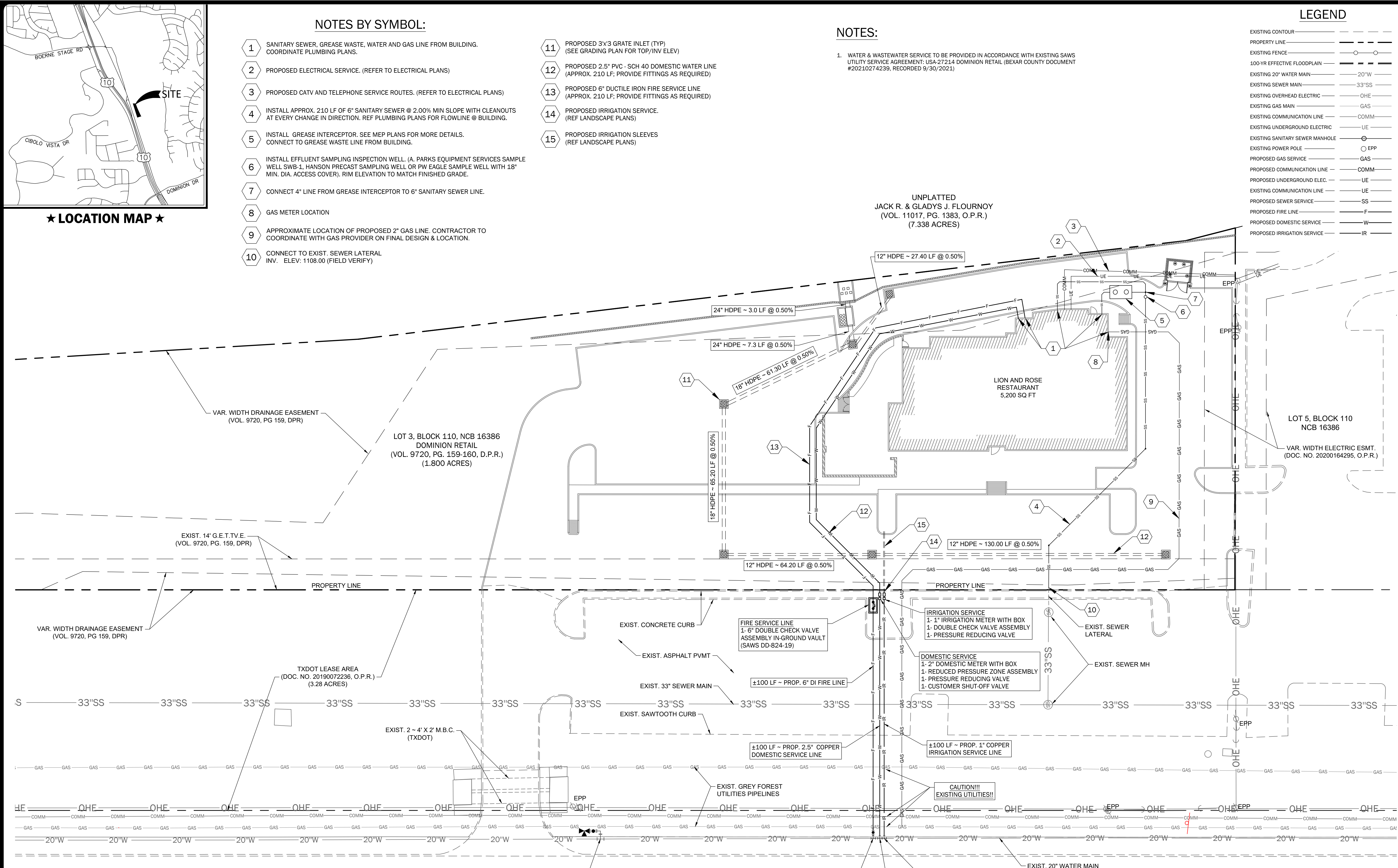
- 11 PROPOSED 3"x3" GRATE INLET (TYP) (SEE GRADING PLAN FOR TOP/INV ELEV)
- 12 PROPOSED 2.5" PVC - SCH 40 DOMESTIC WATER LINE (APPROX. 210 LF; PROVIDE FITTINGS AS REQUIRED)
- 13 PROPOSED 6" DUCTILE IRON FIRE SERVICE LINE (APPROX. 210 LF; PROVIDE FITTINGS AS REQUIRED)
- 14 PROPOSED IRRIGATION SERVICE. (REF LANDSCAPE PLANS)
- 15 PROPOSED IRRIGATION SLEEVES (REF LANDSCAPE PLANS)

NOTES:

- 1. WATER & WASTEWATER SERVICE TO BE PROVIDED IN ACCORDANCE WITH EXISTING SAWS UTILITY SERVICE AGREEMENT: USA-27214 DOMINION RETAIL. (BEXAR COUNTY DOCUMENT #20210274238, RECORDED 9/30/2021)

LEGEND

EXISTING CONTOUR	---
PROPERTY LINE	---
EXISTING FENCE	---o---
100-YR EFFECTIVE FLOODPLAIN	---
EXISTING 20" WATER MAIN	---20"W---
EXISTING SEWER MAIN	---33"SS---
EXISTING OVERHEAD ELECTRIC	---OHE---
EXISTING GAS MAIN	---GAS---
EXISTING COMMUNICATION LINE	---COMM---
EXISTING UNDERGROUND ELECTRIC	---UE---
EXISTING SANITARY SEWER MANHOLE	---O---
EXISTING POWER POLE	---O EPP---
PROPOSED GAS SERVICE	---GAS---
PROPOSED COMMUNICATION LINE	---COMM---
PROPOSED UNDERGROUND ELEC.	---UE---
EXISTING COMMUNICATION LINE	---UE---
PROPOSED SEWER SERVICE	---SS---
PROPOSED FIRE LINE	---F---
PROPOSED DOMESTIC SERVICE	---W---
PROPOSED IRRIGATION SERVICE	---IR---



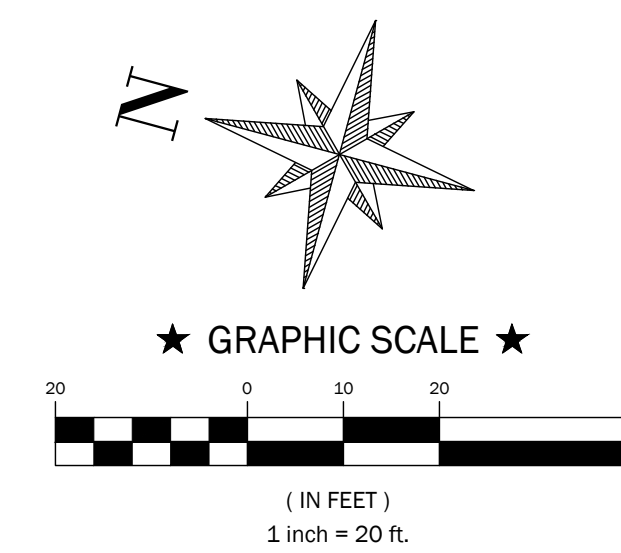
TRENCH EXCAVATION SAFETY PROTECTION
 CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

INSTALL FIRE HYDRANT
 1- 20"x6" TAPPING SLEEVE
 1- 6"x1/4 ANCHOR BEND, MJ
 1- 6" GATE VALVE, MJ
 1- 6" VALVE BOX, COMPLETE
 1- STANDARD FIRE HYDRANT
 ±10 LF ~ 6" D.I. PIPE, CUT AS REOD

FIRE SERVICE LINE
 INSTALL 6" FIRE SERVICE TAP
 1- 6" GATE VALVE, MJ
 1- 6" VALVE BOX, COMPLETE
 (SAWS DD-824-21)

IRRIGATION SERVICE
 INSTALL 1" IRRIGATION TAP
 1- 20"x1" SERVICE SADDLE
 1- 1" CORPORATION VALVE
 (SAWS DD-824-01)

INTERSTATE HIGHWAY 10
 (ASPHALT PAVEMENT)
 (ROW VARIES)

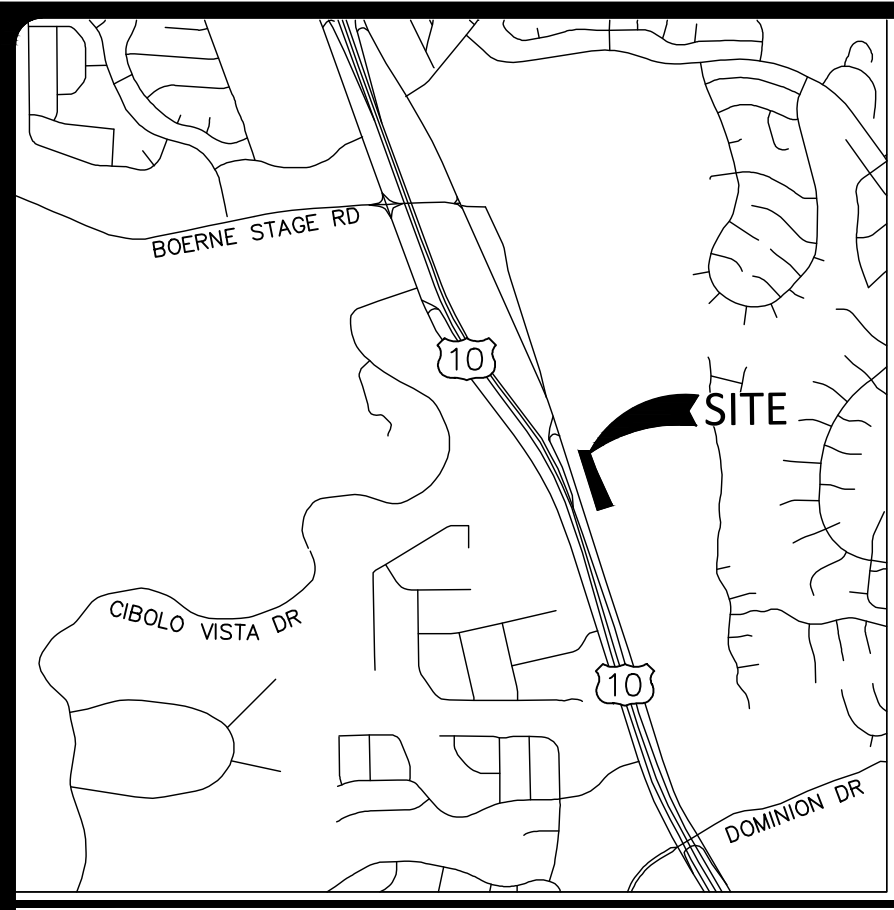


REVISIONS:

RAMONES ENGINEERING
 652 W. INDUSTRIAL AVE 15th FLOOR, SAN ANTONIO, TX 78205

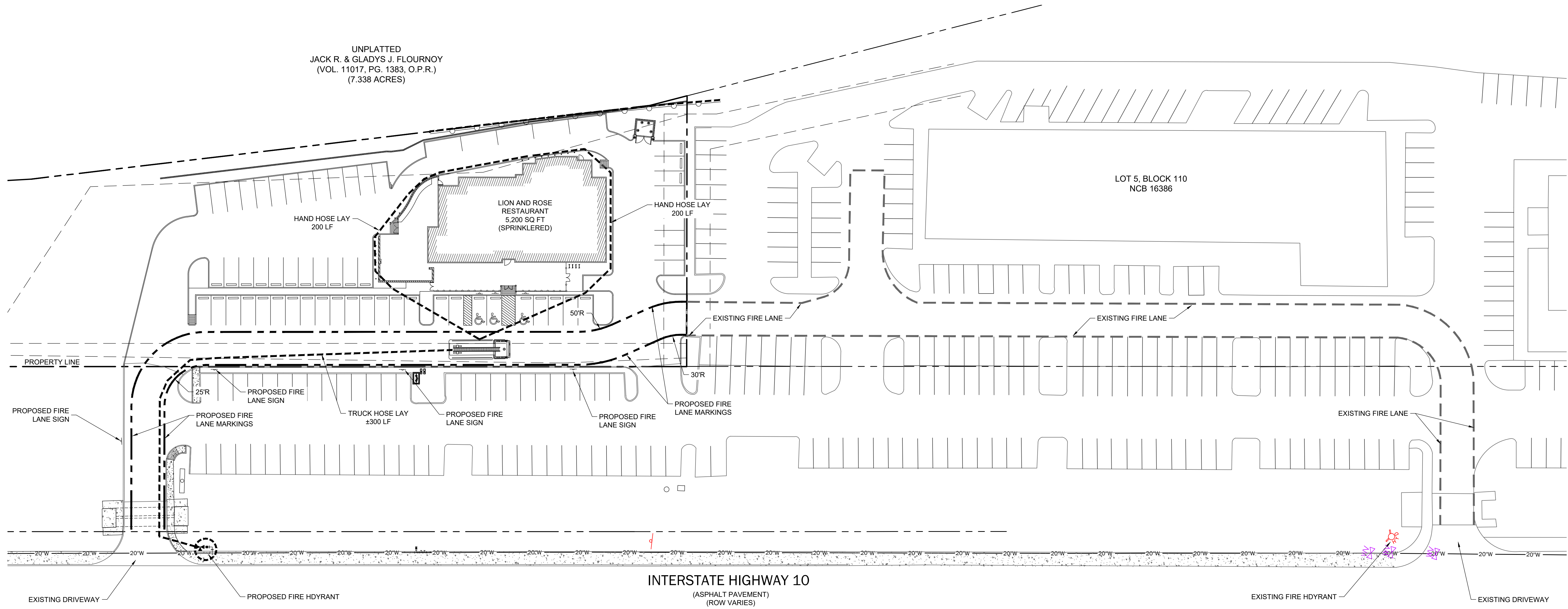
UTILITY PLAN for
LION & ROSE RESTAURANT AT DOMINION CREEK
 23330 IH-10 W, SAN ANTONIO, TX 78257

JOB #:	C-2213
DATE:	1/28/2023
DESIGN:	N.M.R.
DRAWN:	N.M.R.
CHECKED:	
SHEET:	C-4.0



★ LOCATION MAP ★

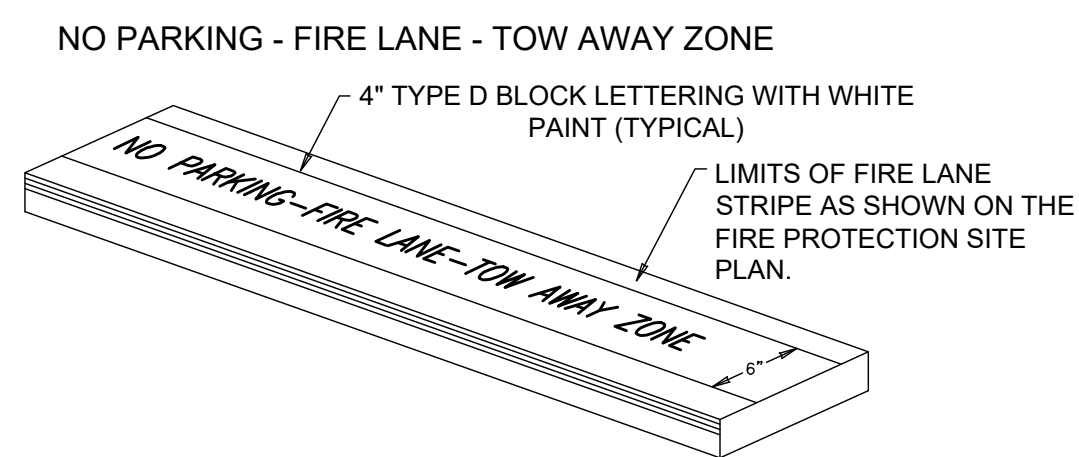
UNPLATTED
 JACK R. & GLADYS J. FLOURNOY
 (VOL. 11017, PG. 1383, O.P.R.)
 (7.338 ACRES)



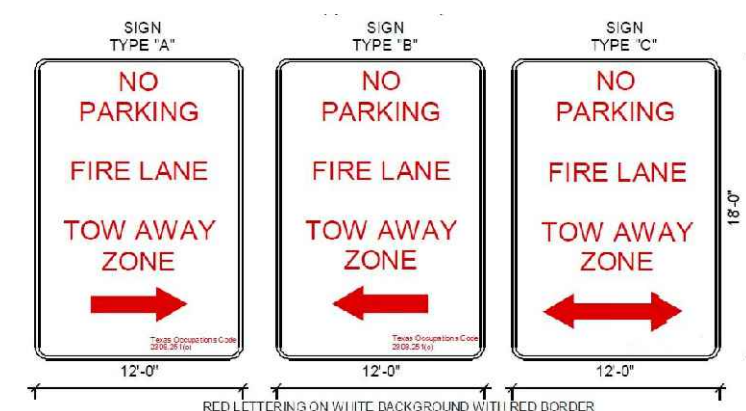
THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT HAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADEQUATELY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.

APPLICATION:

1. PAINT A 6" WIDE RED STRIPE LOCATED 3" OFF EDGE OF PAVEMENT WITH 4" WHITE LETTERING ON RED STRIPE.
2. SEE DIMENSION PLAN FOR CURB TYPES & LOCATIONS.
3. 50 FOOT SPACING BETWEEN THE BEGINNING OF THE WHITE LETTERING.



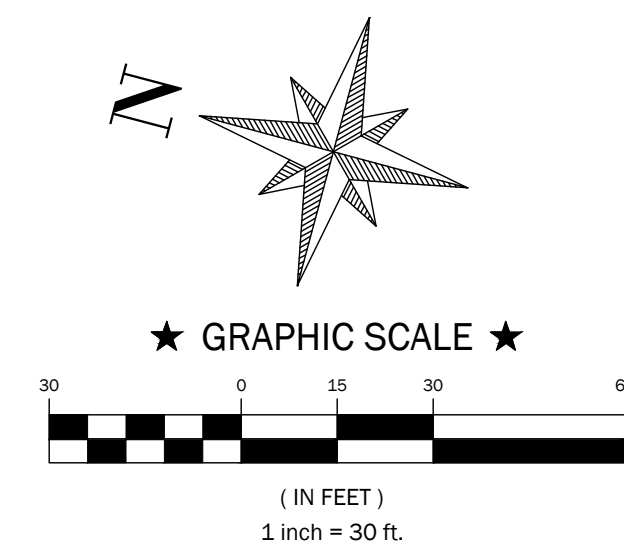
TYPICAL FIRE LANE MARKING DETAIL
 (NOT TO SCALE)



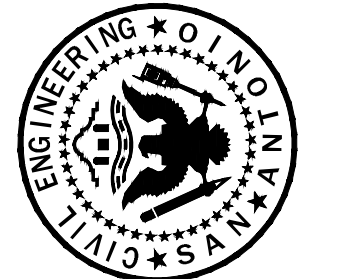
TYPICAL FIRE LANE SIGN DETAIL
 (NOT TO SCALE)

LEGEND

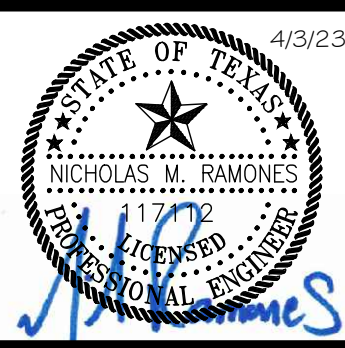
PROPERTY LINE	---
EXISTING 20" WATER LINE	—20"W—
FIRE HYDRANT	⊕
WATER VALVE	●
TRUCK HOSE LAY	---
HAND HOSE LAY	---
FIRE TRUCK	☞
FIRELANE MARKING	---



REVISIONS:

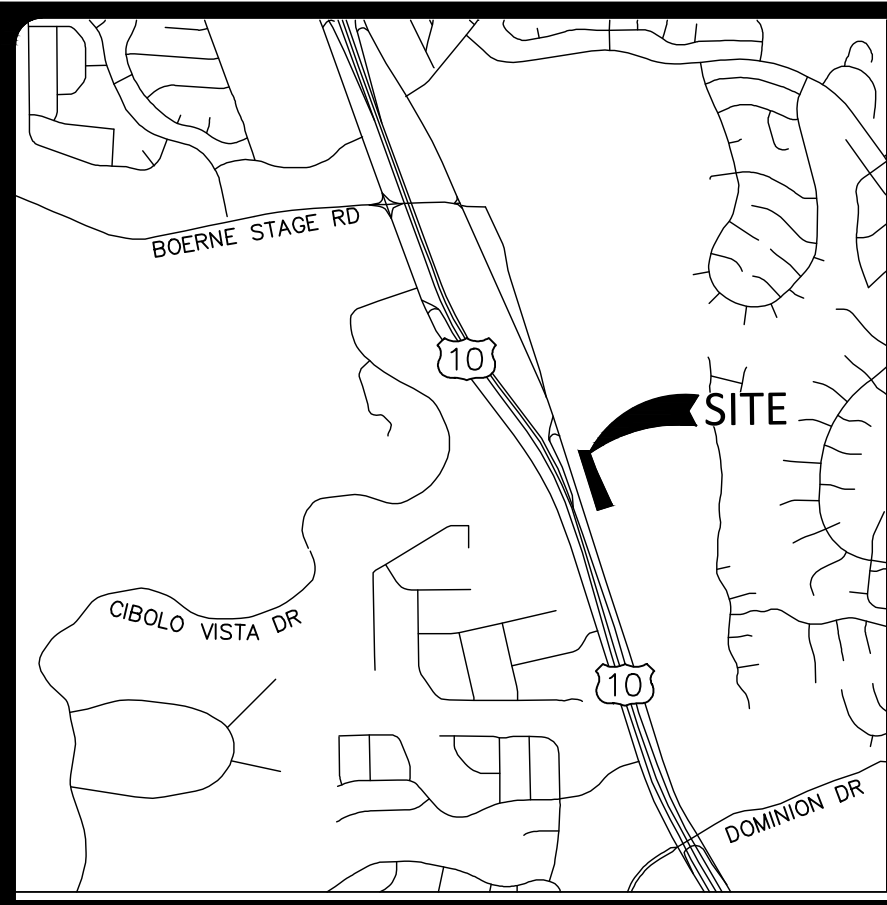


RAMONES ENGINEERING
 655 W. MONTELEONE AVE | SAN ANTONIO, TX 78215 | TEL: 214.342.2800 | FAX: 214.342.2801



FIRE PROTECTION PLAN
 for
LION & ROSE RESTAURANT AT DOMINION CREEK
 23330 IH-10 W, SAN ANTONIO, TX 78257

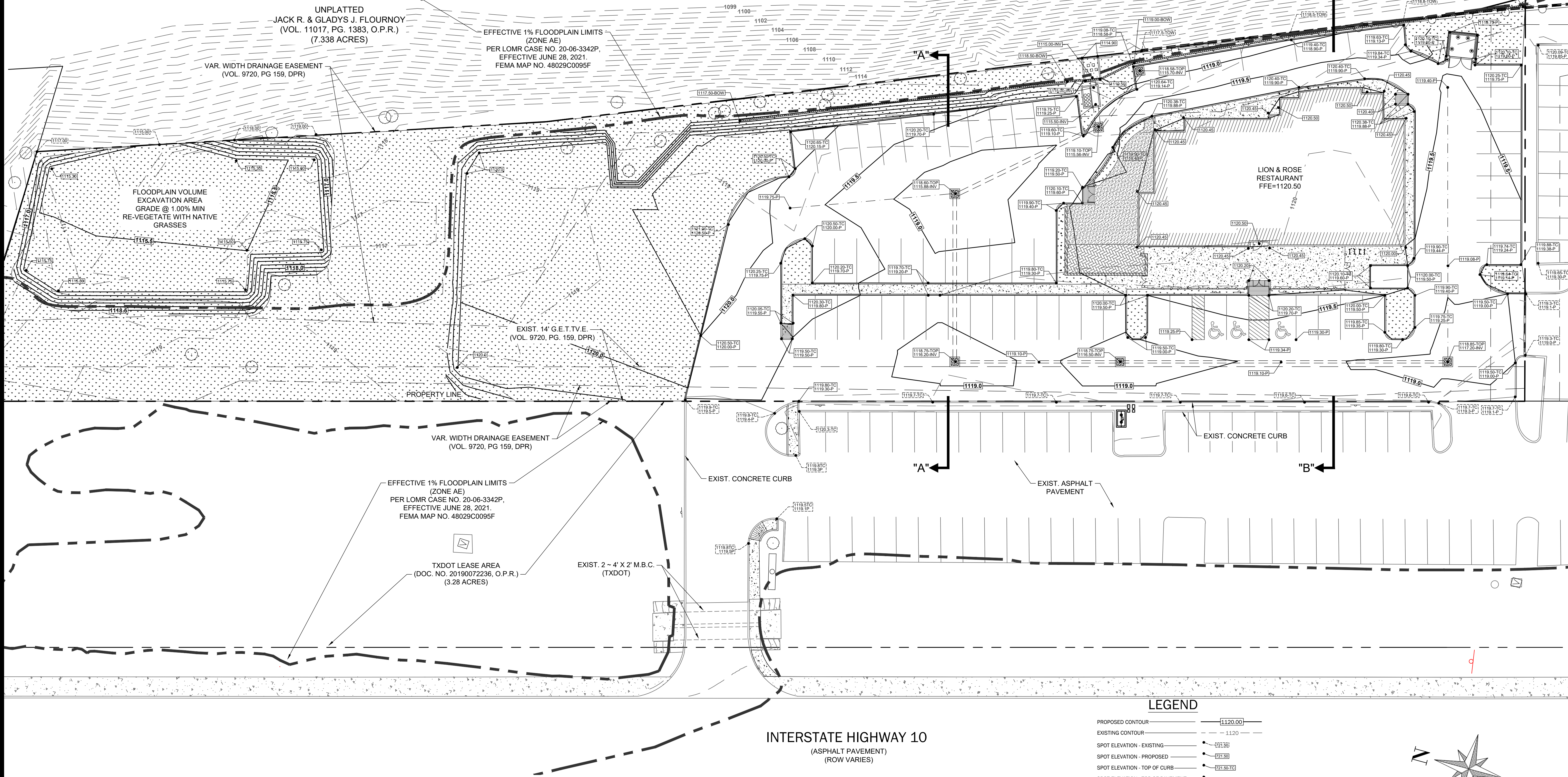
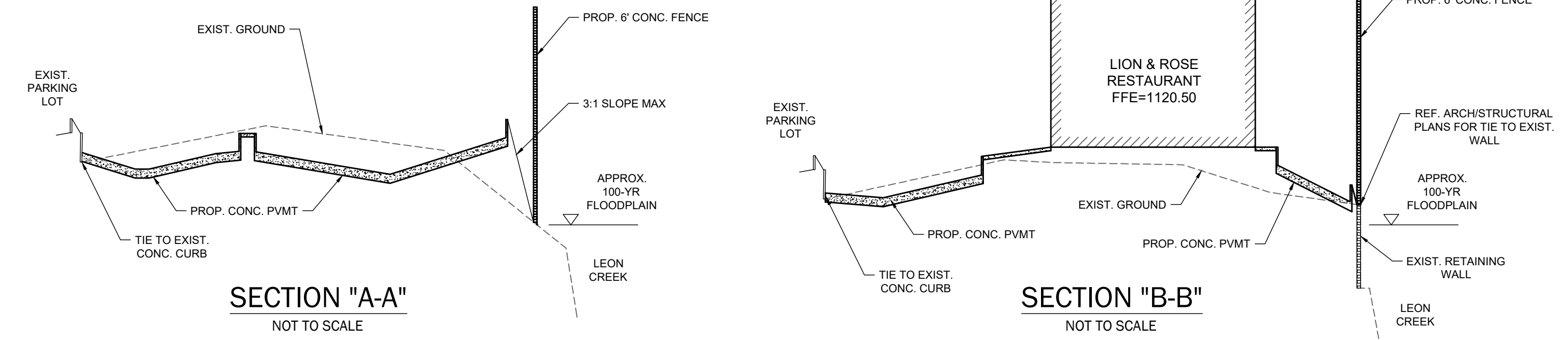
JOB #: C-2213
 DATE: 1/28/2023
 DESIGN: N.M.R.
 DRAWN: N.M.R.
 CHECKED:
 SHEET: C-5.0



★ LOCATION MAP ★

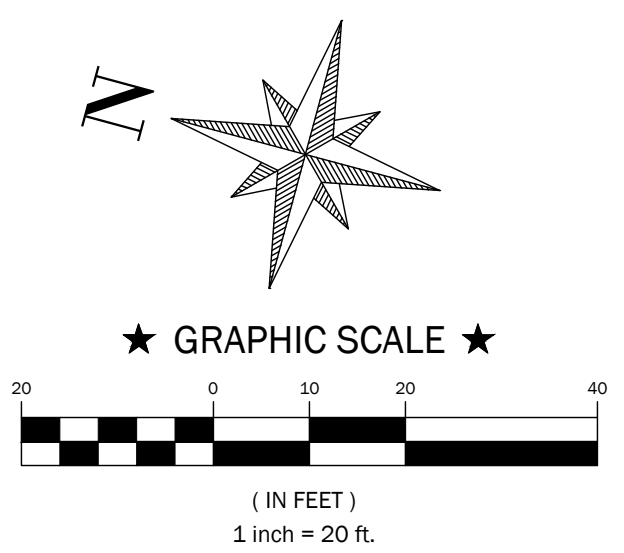
GRADING AND DRAINAGE NOTES:

1. ALL GRADES AND CONTOURS SHOWN ARE FINAL, TOP OF FINISHED SURFACE ELEVATIONS. CONTRACTOR SHALL SUBTRACT PAVEMENT, BASE, TOPSOIL, MULCH, ETC. TO OBTAIN PROPER SUBGRADE ELEVATIONS.
2. POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER. MINIMUM SLOPE 0.50%.
3. NO ABRUPT CHANGE OF GRADE SHALL OCCUR.
4. ALL DISTURBED AREAS SHALL BE REVEGETATED BY THE CONTRACTOR IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND ARCHITECTURAL LANDSCAPING PLANS.
5. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AT HIS EXPENSE.
6. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE CITY OF SAN ANTONIO SPECIFICATIONS FOR CONSTRUCTION AND BEXAR COUNTY PUBLIC WORKS STANDARD SPECIFICATIONS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL, OR BETTER CONDITION, ANY DAMAGES DONE TO EXISTING SIGNS, UTILITIES, PAVEMENT, CURBS, SIDEWALKS OR DRIVEWAYS. (NO SEPARATE PAY ITEM)
8. DUE TO FEDERAL REGULATION TITLE 49, PART 192.181, CPS MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
9. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
11. ALL ON-SITE CURBS ARE 6" HIGH UNLESS OTHERWISE SPECIFIED.

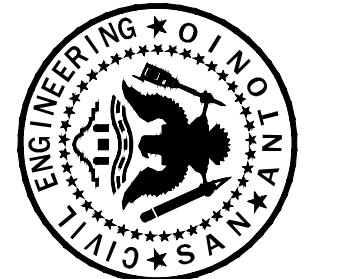


LEGEND

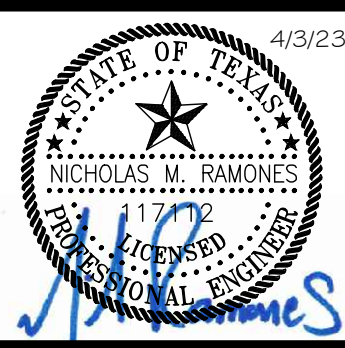
- PROPOSED CONTOUR ——— 1120.00 ———
- EXISTING CONTOUR ——— 1120 ———
- SPOT ELEVATION - EXISTING ——— (21.50)
- SPOT ELEVATION - PROPOSED ——— (21.50)
- SPOT ELEVATION - TOP OF CURB ——— (21.50 TC)
- SPOT ELEVATION - TOP OF PAVEMENT ——— (21.50 P)
- SPOT ELEVATION - TOP OF WALL ——— (21.50 TOW)
- SPOT ELEVATION - BOTTOM OF WALL ——— (21.50 BOW)
- SPOT ELEVATION - TOP OF INLET ——— (21.50 TOP)
- SPOT ELEVATION - DRAIN INVERT ——— (21.50 INV)
- PROPOSED GRATE INLET ———
- PROPOSED CONCRETE WALK ———
- PROPOSED LANDSCAPE AREAS ———



REVISIONS:



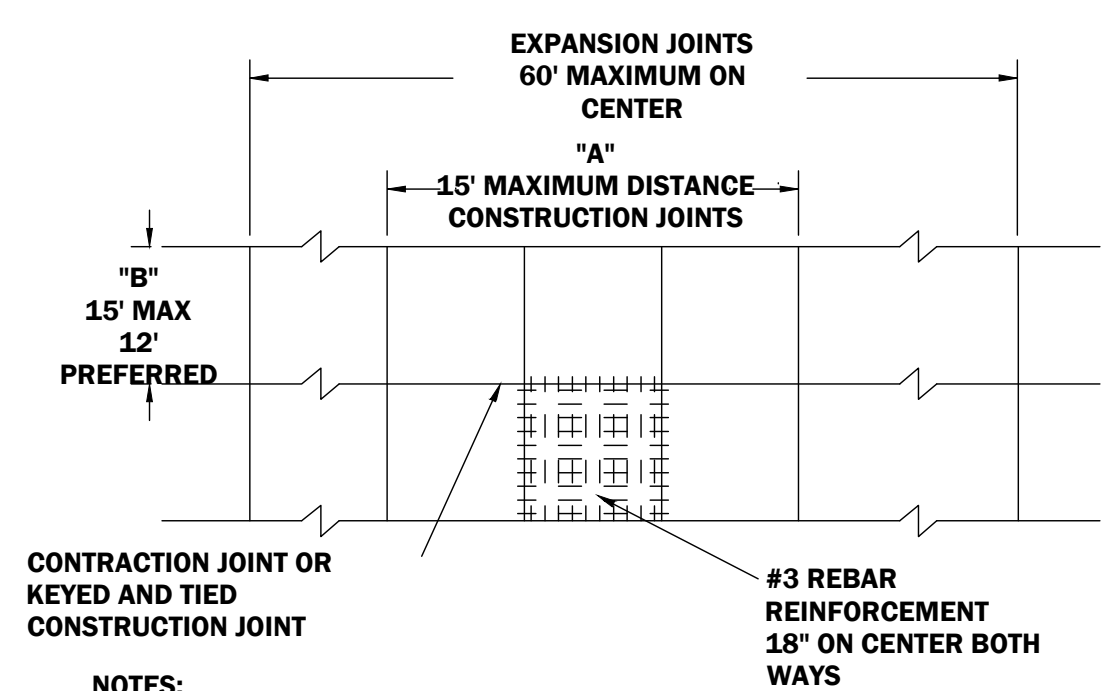
RAMONES ENGINEERING
 652 W. MONROE AVE | SAN ANTONIO, TX 78221 | 214.682.8900 | TWPRES-F-1102



GRADING PLAN
 for
LION & ROSE RESTAURANT AT DOMINION CREEK
 23330 IH-10 W, SAN ANTONIO, TX 78257

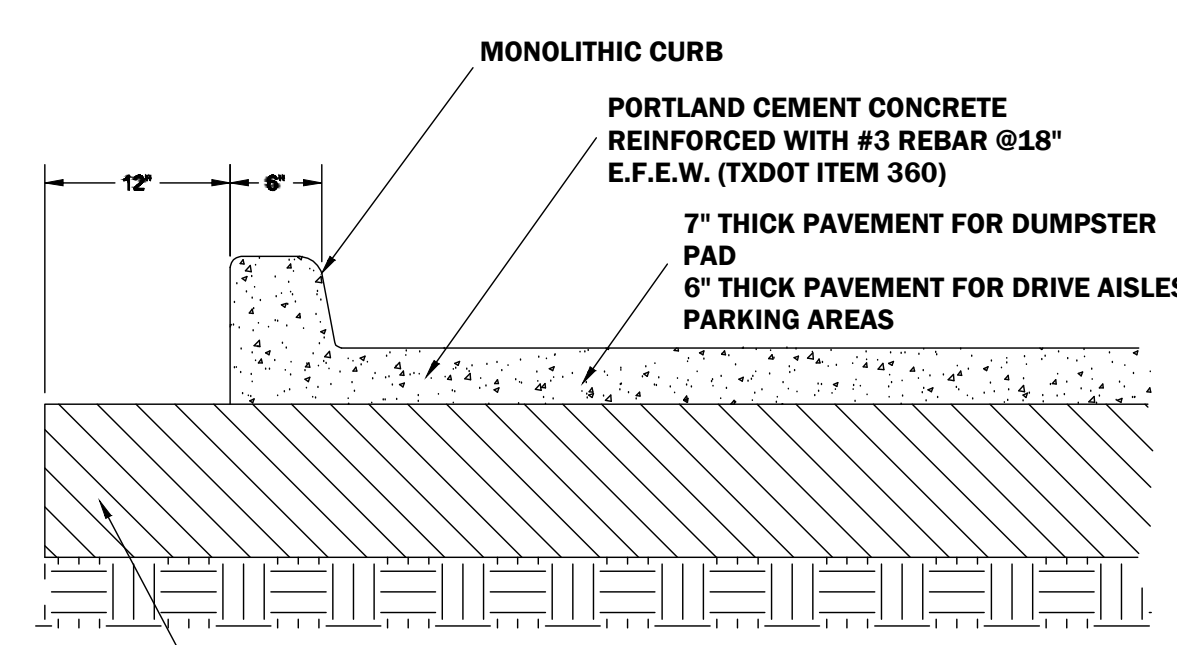
JOB #: C-2213
 DATE: 1/28/2023
 DESIGN: N.M.R.
 DRAWN: N.M.R.
 CHECKED:
 SHEET: C-6.0

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADEQUATELY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.



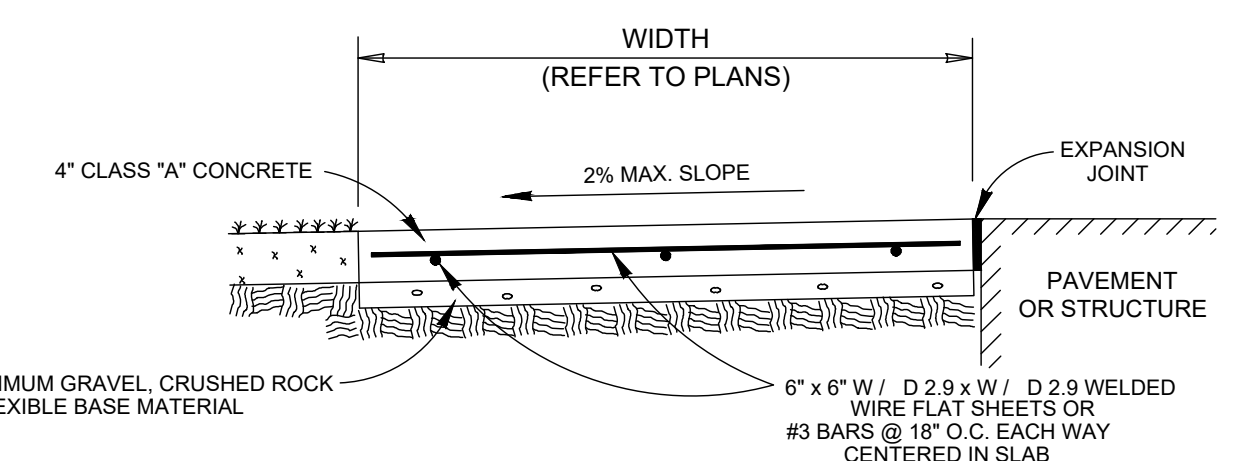
NOTES:
 1. IN GENERAL "A" AND "B" (IN FEET) SHALL NOT EXCEED APPROXIMATELY TWICE THE NOMINAL THICKNESS OF THE CONCRETE PAVEMENT (IN INCHES).
 2. THE RATIO OF "A"/"B" SHALL NOT EXCEED 1.5; "A" = "B" PREFERRED.

TYPICAL CONCRETE PAVEMENT JOINT LAYOUT
NOT TO SCALE

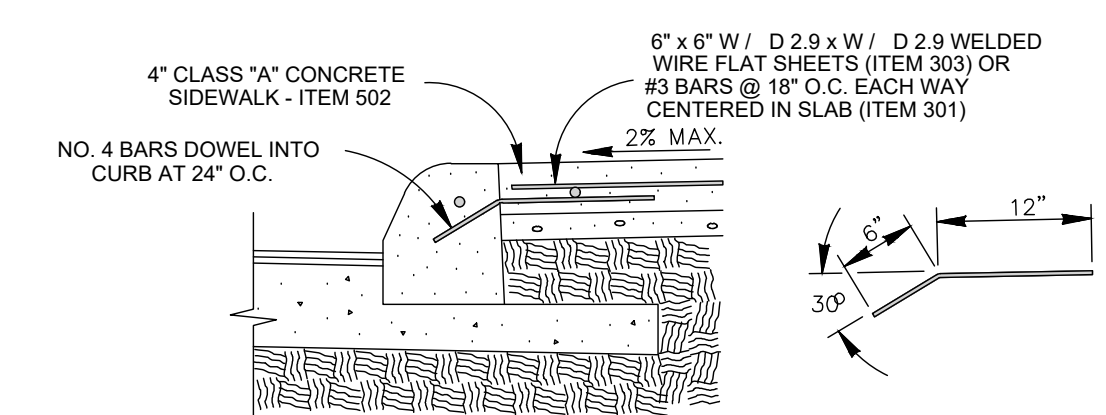


SCARIFY MIN. 6" BELOW CLEARED SURFACE. RE-COMPACT FROM 95% TO 100% OF MAX. DRY DENSITY PER ASTM D-698 "STANDARD PROCTOR" AT -1 TO +3% OF OMC. MOISTURE TREAT 6" OF SUBGRADE

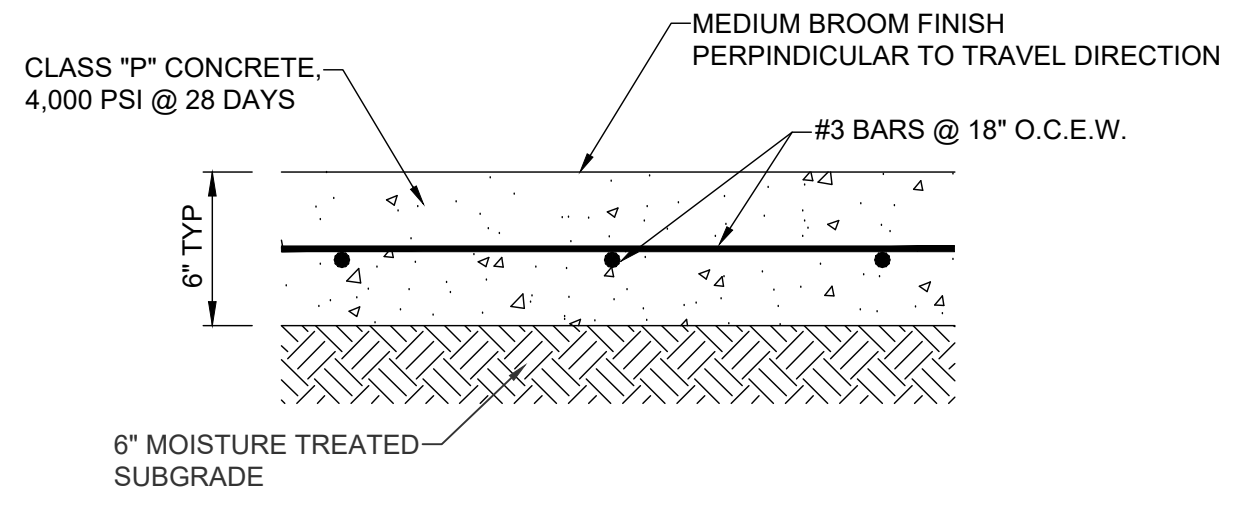
CONCRETE PAVEMENT SECTION
NOT TO SCALE



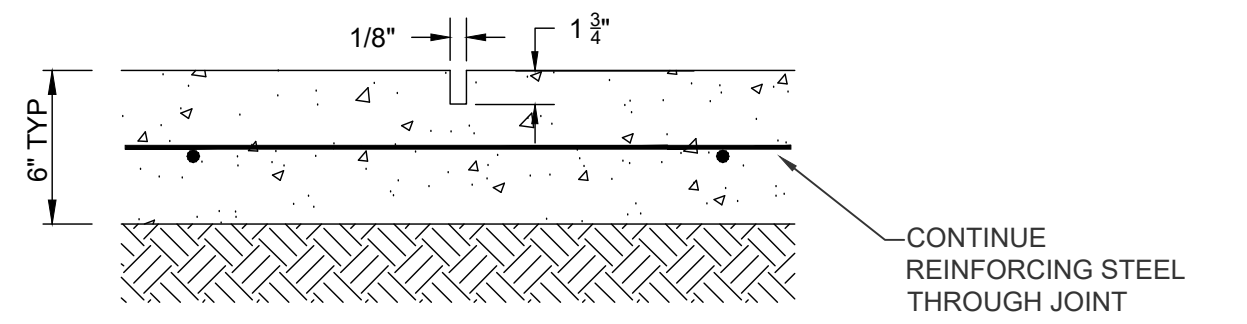
CONCRETE SIDEWALK
NOT TO SCALE



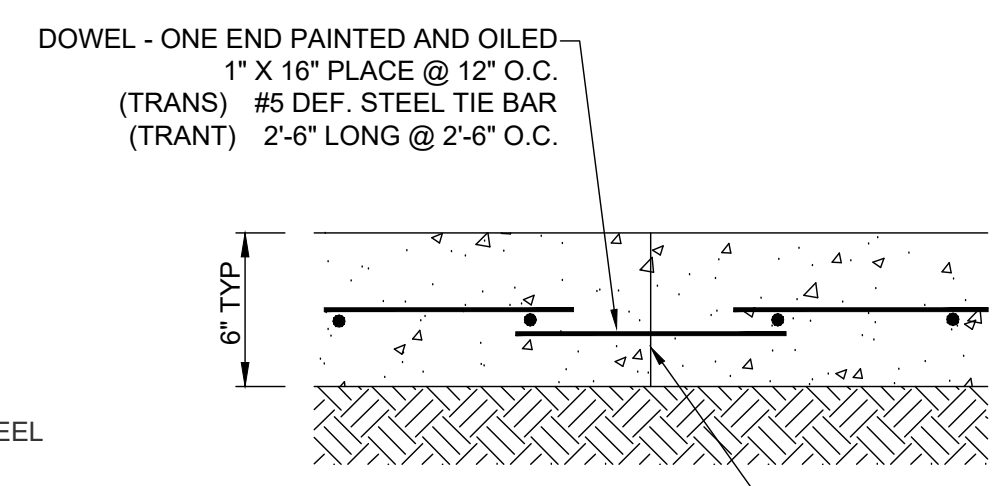
CONCRETE SIDEWALK ABUTTING CURB
NOT TO SCALE



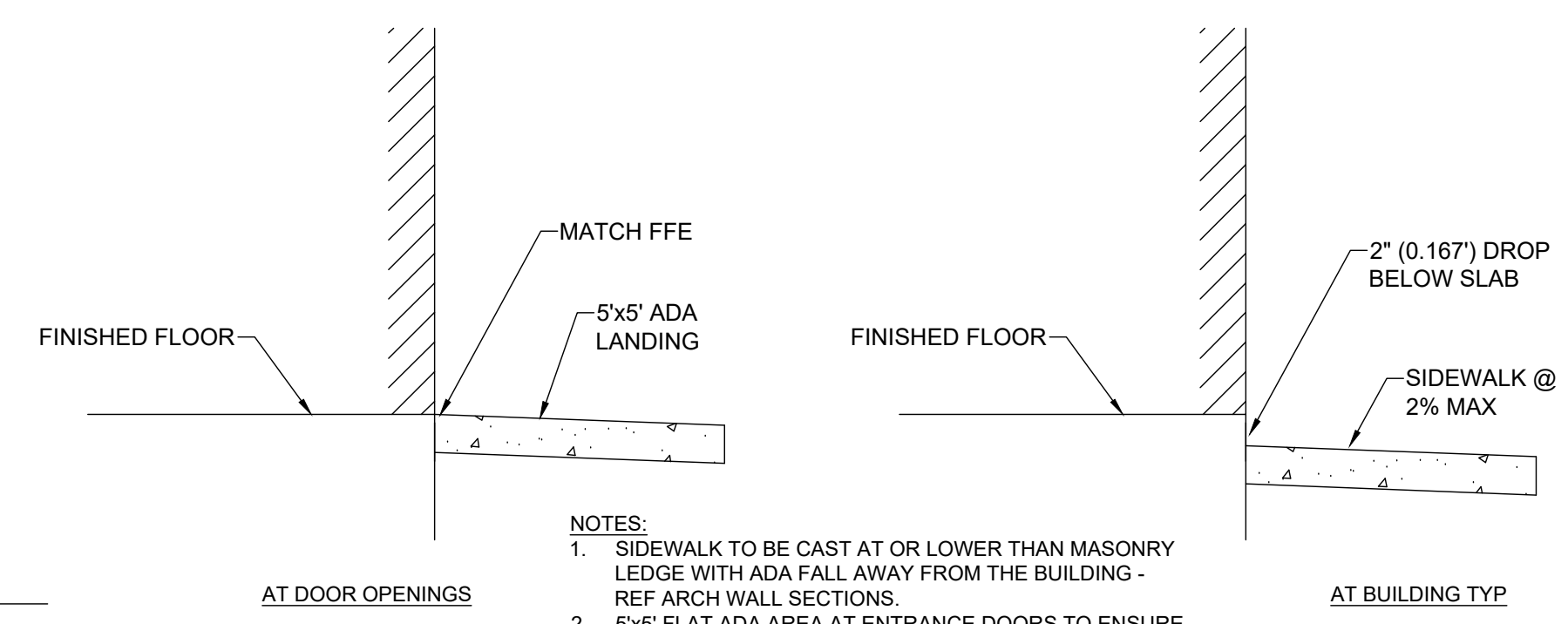
CONCRETE PAVEMENT
NOT TO SCALE



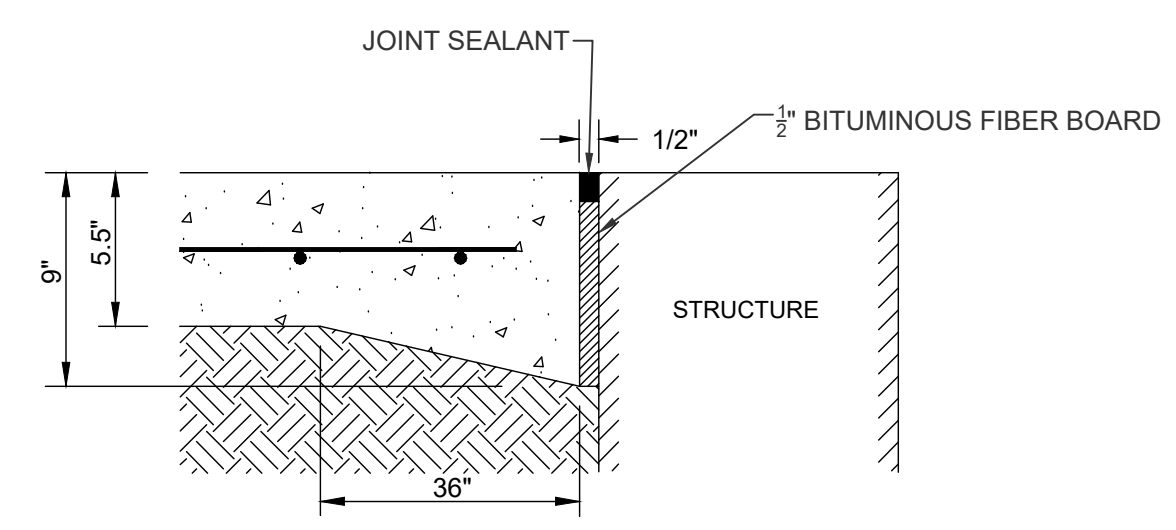
CONTRACTION JOINT
NOT TO SCALE



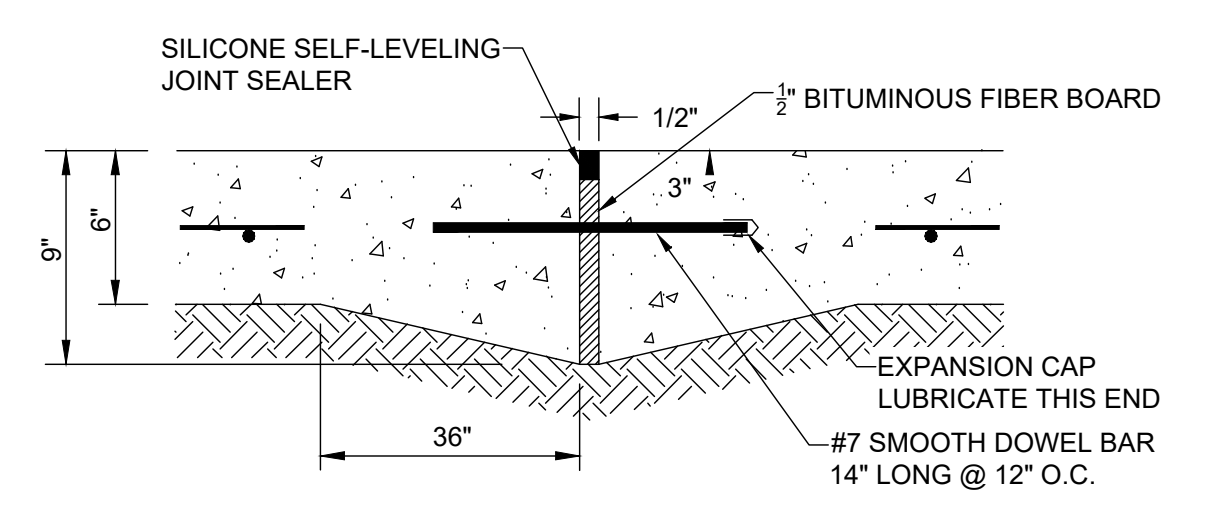
CONSTRUCTION JOINT
NOT TO SCALE



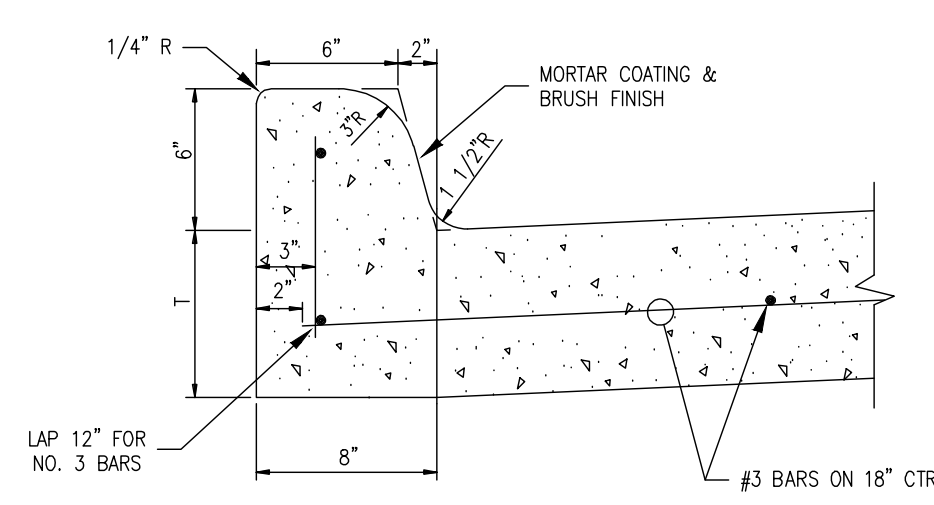
SIDEWALK DETAIL AT BUILDING
NOT TO SCALE



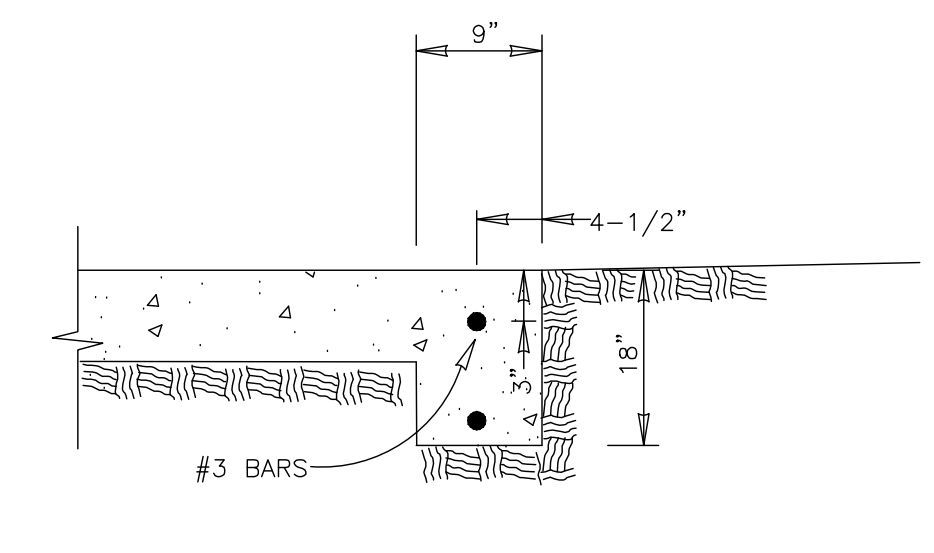
ISOLATION JOINT
NOT TO SCALE



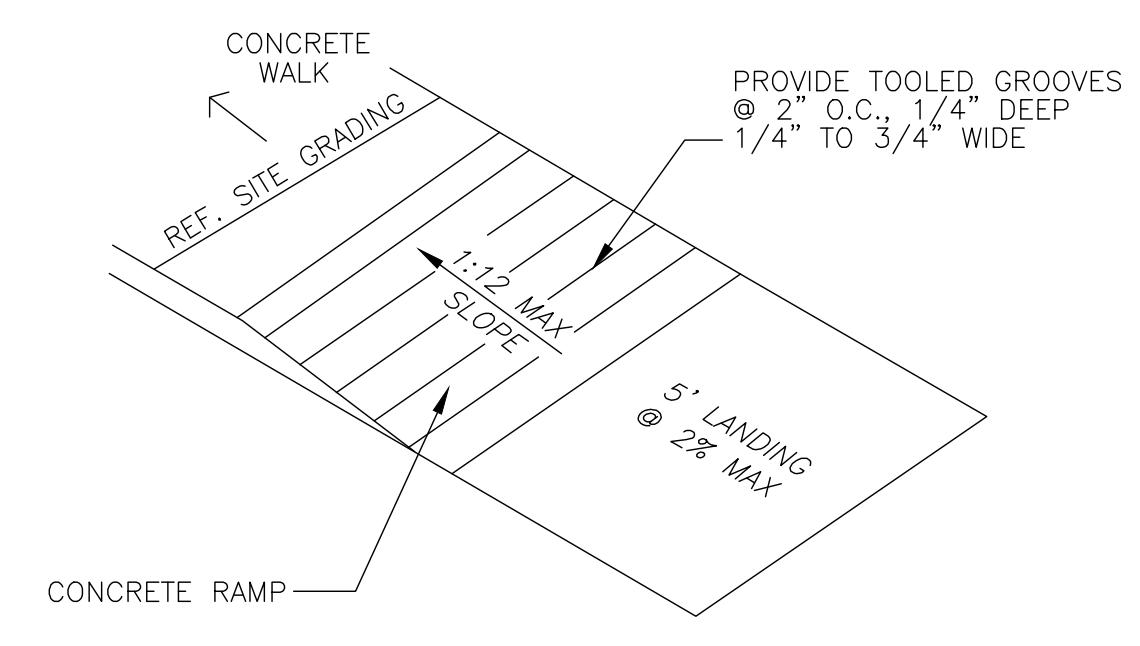
DOWELED ISOLATION JOINT
NOT TO SCALE



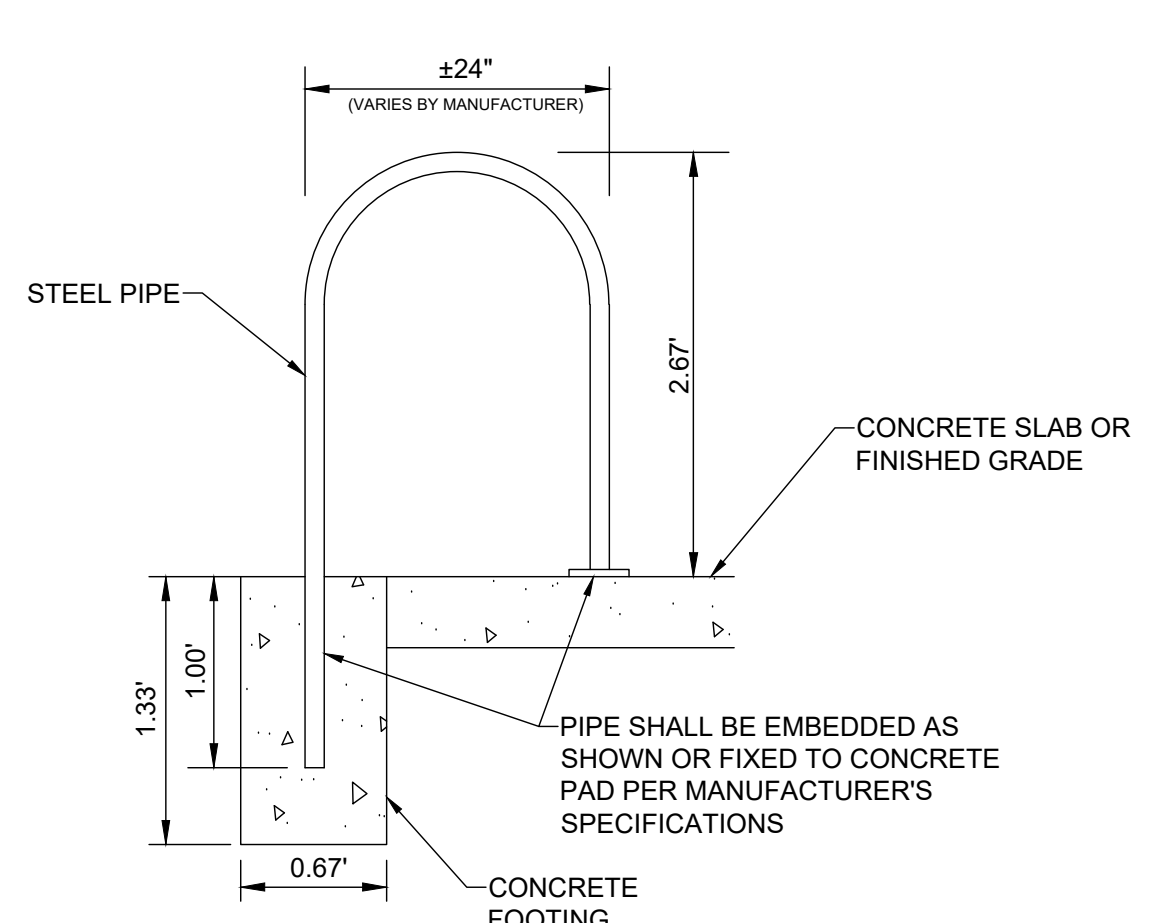
MONOLITHIC CURB
NOT TO SCALE



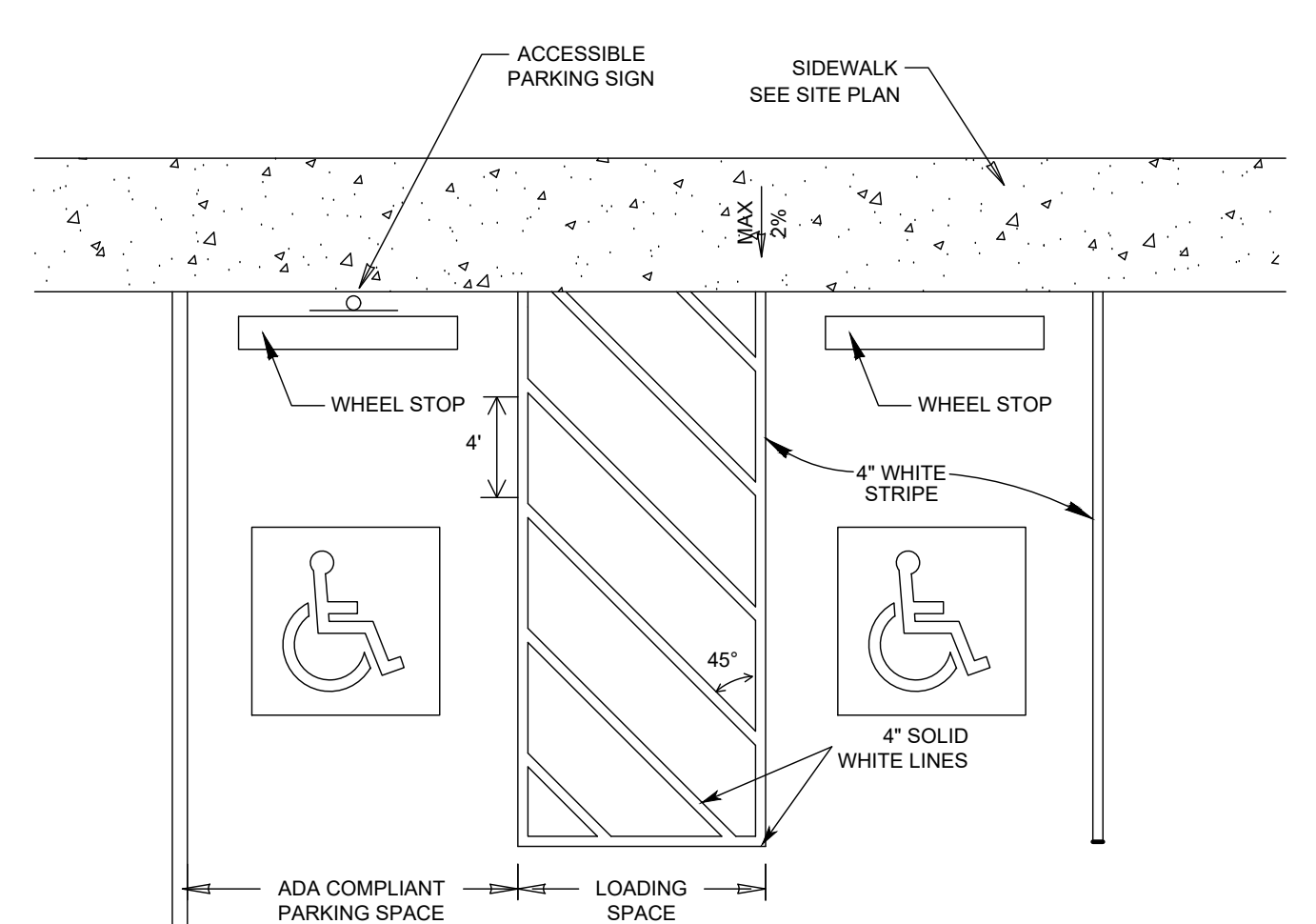
FLUSH CURB
NOT TO SCALE



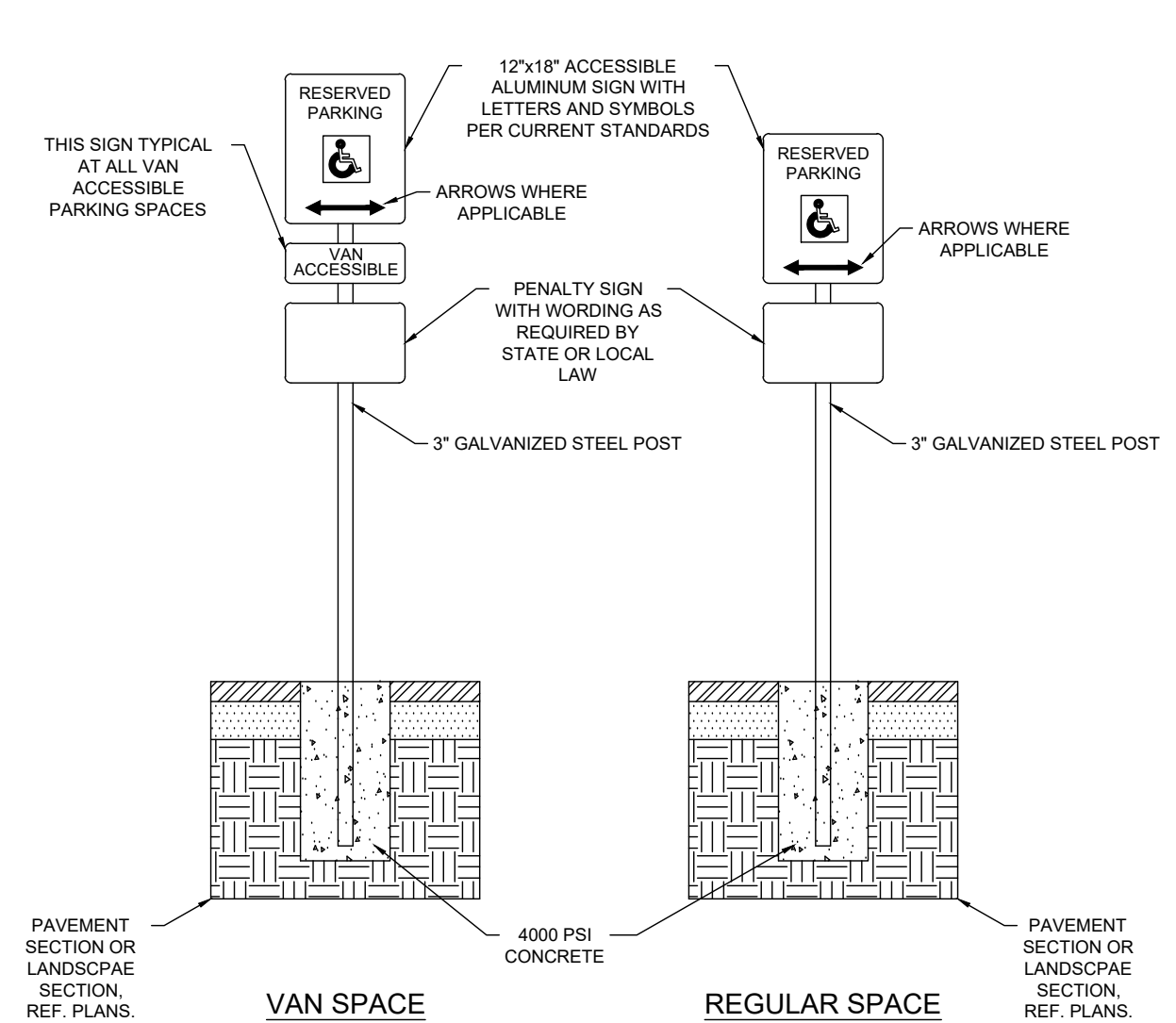
ACCESSIBLE RAMP
NOT TO SCALE



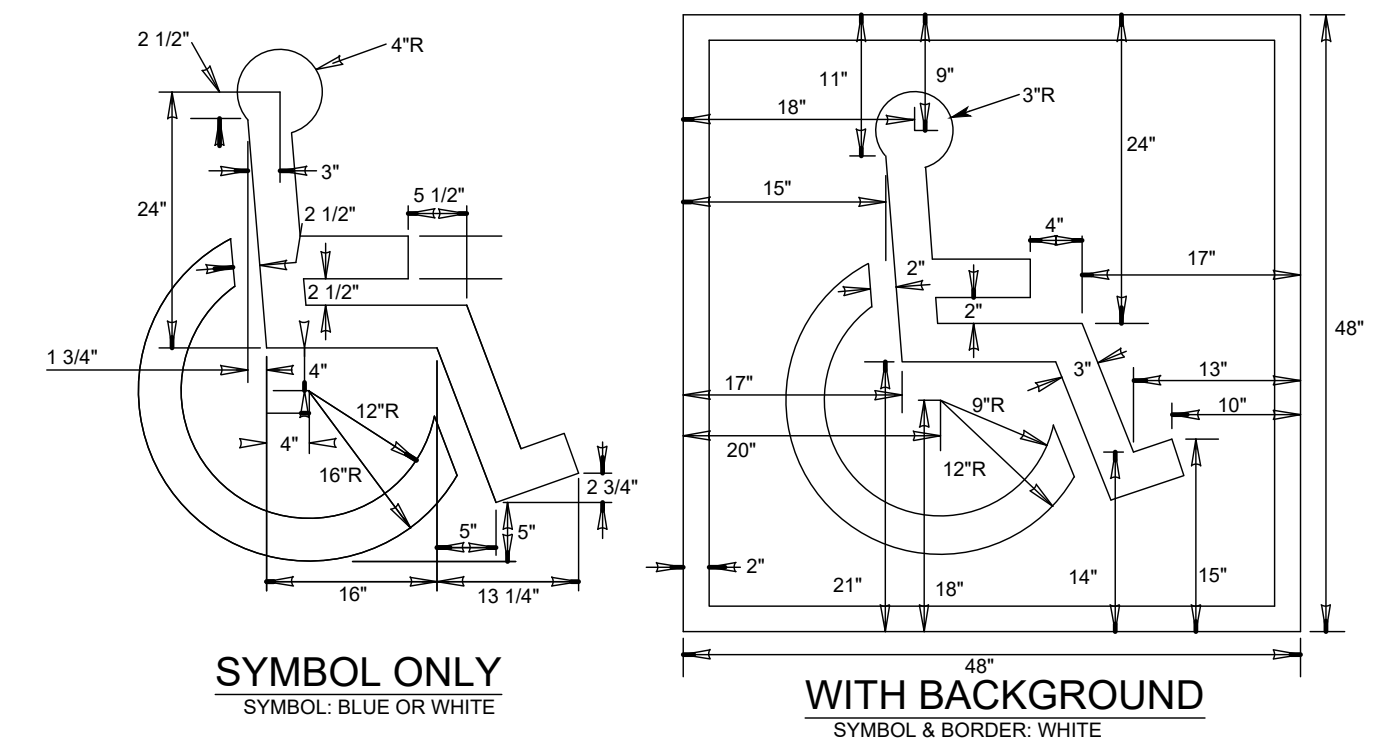
BIKE RACK
NOT TO SCALE



HANDICAP PARKING STRIPING
NOT TO SCALE



HANDICAP PARKING SIGN
NOT TO SCALE

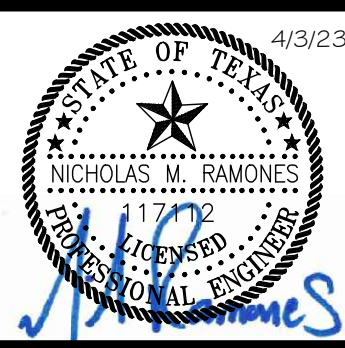


HANDICAP SYMBOL
NOT TO SCALE

NOTES:
 1. MINIMUM 8 FOOT WHITE MARKINGS SHALL BE USED, UNLESS OTHERWISE NOTED. IF MESSAGE CONSISTS OF MORE THAN ONE WORD, IT SHOULD BE PLACED WITH FIRST WORD NEAREST THE DRIVER.
 2. THESE DETAILS ARE STANDARD SIZE FOR NORMAL INSTALLATION; SIZES MAY BE REDUCED APPROXIMATELY ONE-THIRD DEPENDING ON CONDITIONS.
 3. UNCONTROLLED USE OF PAVEMENT MARKINGS CAN RESULT IN DRIVER CONFUSION. WORD AND SYMBOL MARKINGS SHOULD BE NO MORE THAN ONE LANE IN WIDTH, WITH SCHOOL MESSAGES BEING THE EXCEPTION. FOR DETAILS OF SCHOOL AND SCHOOL CROSSING PAVEMENT MARKINGS, REFER TO PART VII OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 4. PAVEMENT MARKINGS SHOULD GENERALLY BE NO MORE THAN ONE LANE IN WIDTH, WITH SCHOOL MESSAGES BEING THE EXCEPTION. FOR DETAILS OF SCHOOL AND SCHOOL CROSSING PAVEMENT MARKINGS, REFER TO PART VII OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 5. SPACING BETWEEN LETTERS SHOULD BE APPROXIMATELY 4 INCHES. THE WIDTH OF LETTERS MAY VARY DEPENDING ON THE WIDTH OF THE TRAVEL LANES.
 6. LANE-USE ARROW MARKINGS MAY BE USED TO CONVEY EITHER GUIDANCE OR MANDATORY MESSAGES. ARROWS USED TO CONVEY A MANDATORY MOVEMENT MUST BE ACCOMPANIED BY STANDARD SIGNS AND THE PAVEMENT MARKING WORD "ONLY".
 7. PAVEMENT MARKINGS ARE TO BE LOCATED AS SPECIFIED ELSEWHERE IN THE PLANS.



RAMONES ENGINEERING
 622 W. MONTELEONE AVE | SAN ANTONIO, TX 78212 | 214.342.2600 | 11816PES-PL-002

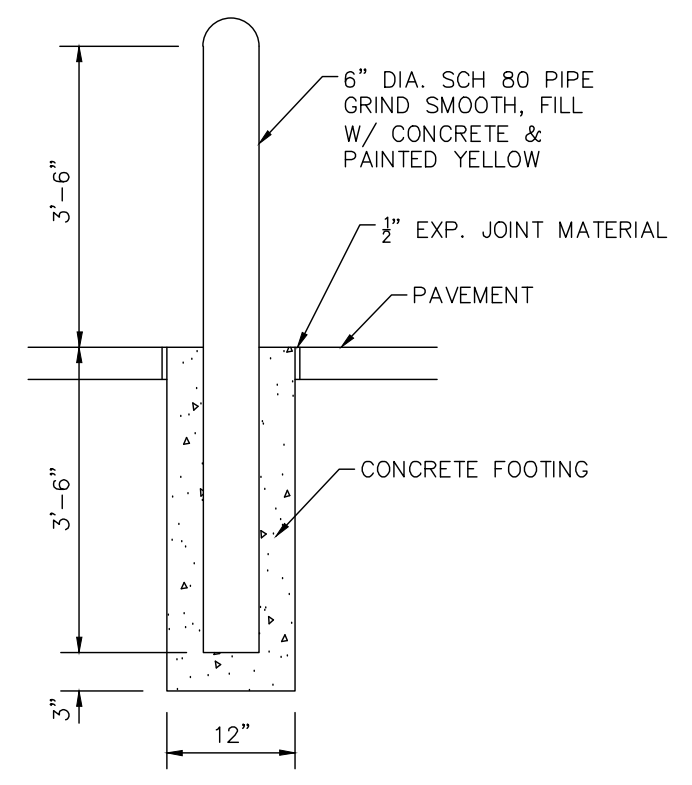


SITE DETAILS (1 OF 2)
 for
LION & ROSE RESTAURANT AT DOMINION CREEK
 23330 IH-10 W, SAN ANTONIO, TX 78257

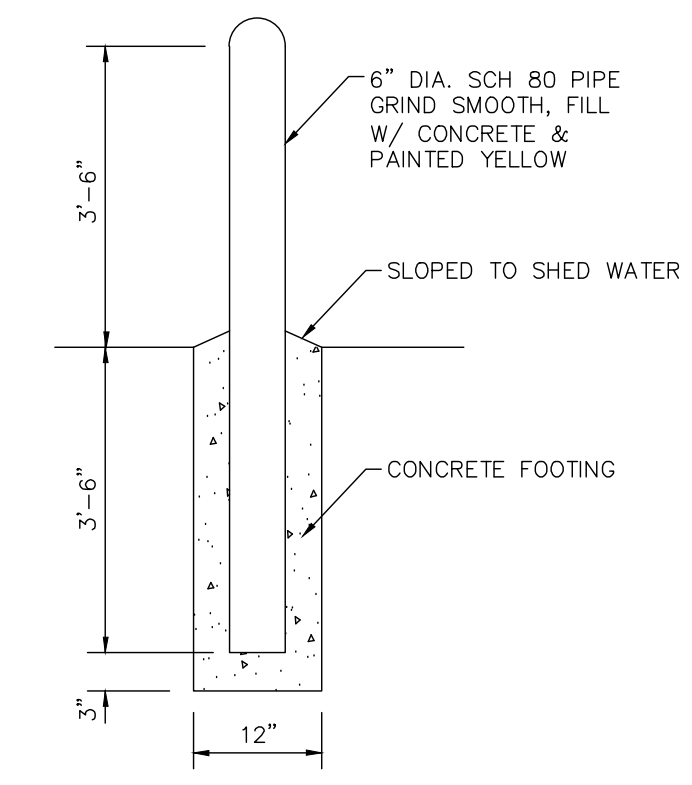
JOB #: C-2213
 DATE: 1/28/2023
 DESIGN: N.M.R.
 DRAWN: N.M.R.
 CHECKED:
 SHEET: C-7.0

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT HAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADEQUATELY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.

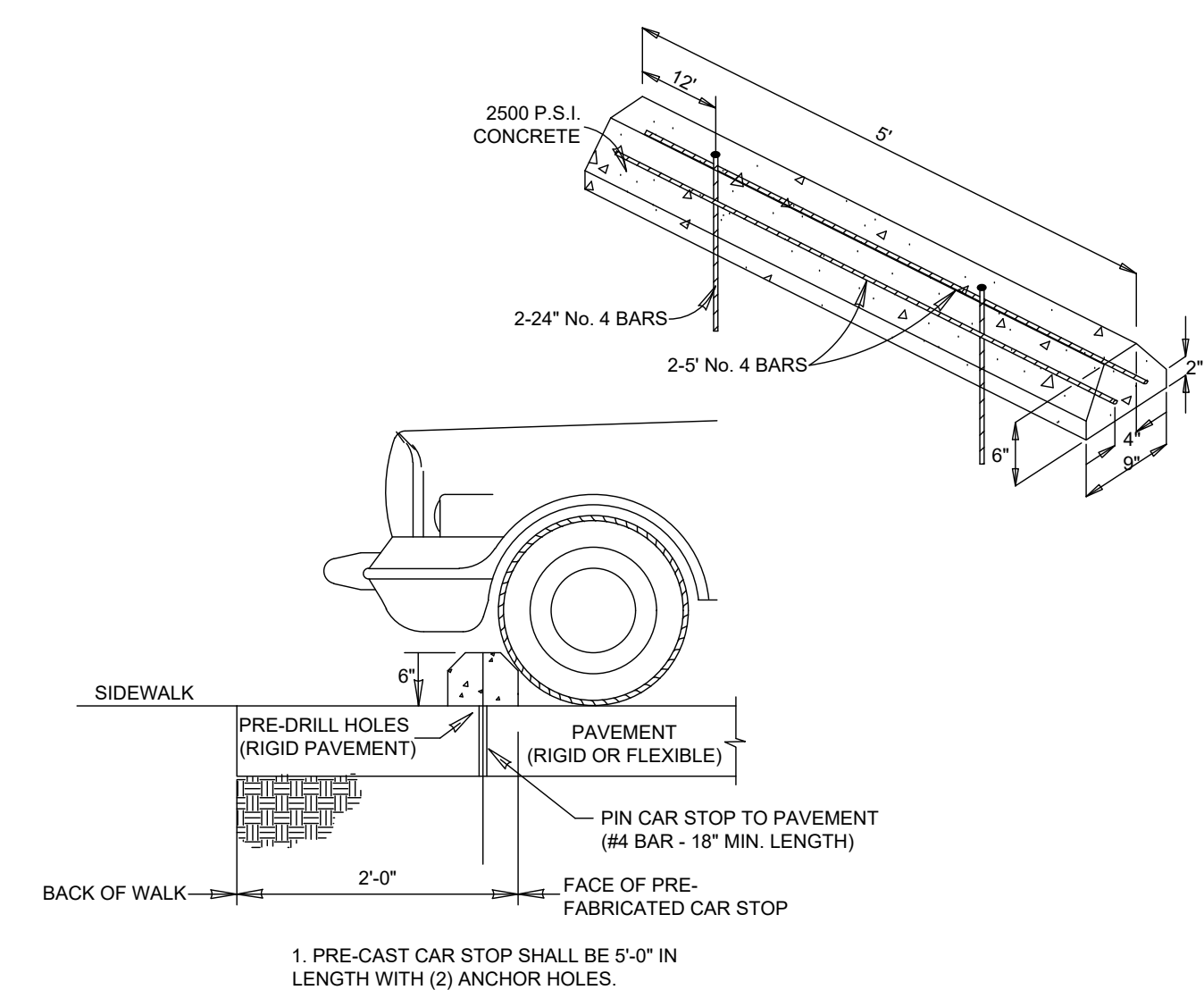
THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.



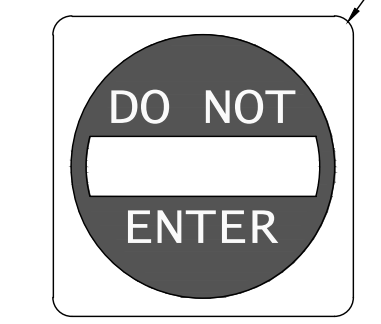
**PIPE BOLLARD
(IN PAVEMENT)
NOT TO SCALE**



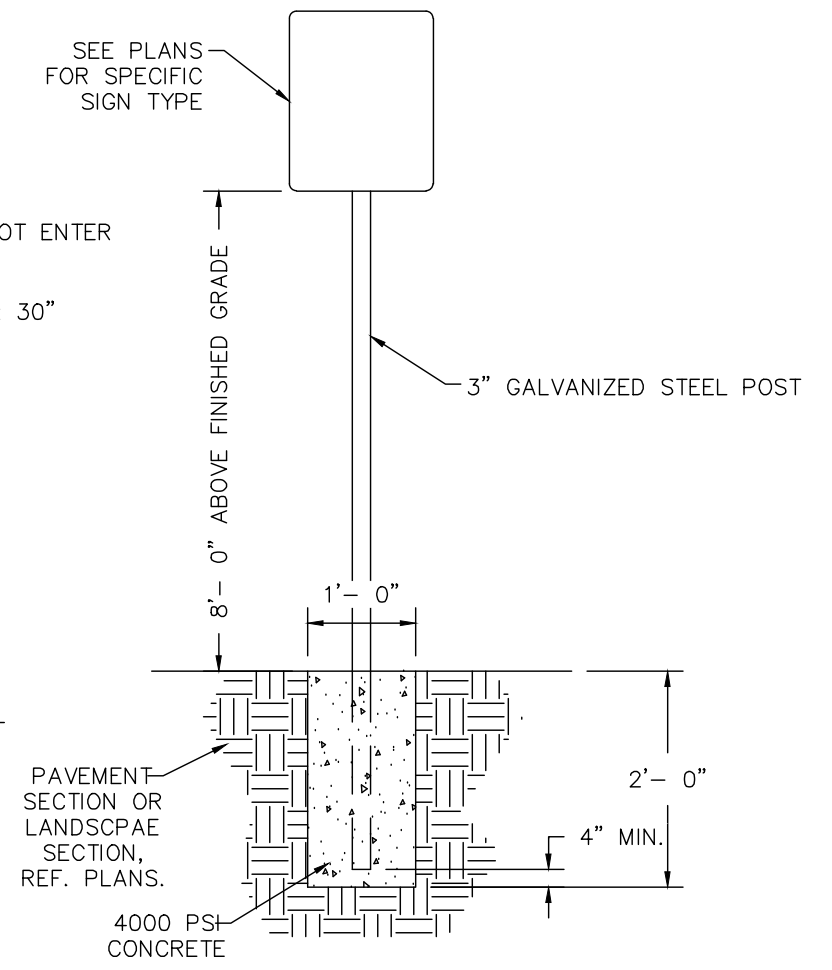
**PIPE BOLLARD
(IN GRASS/MULCH)
NOT TO SCALE**



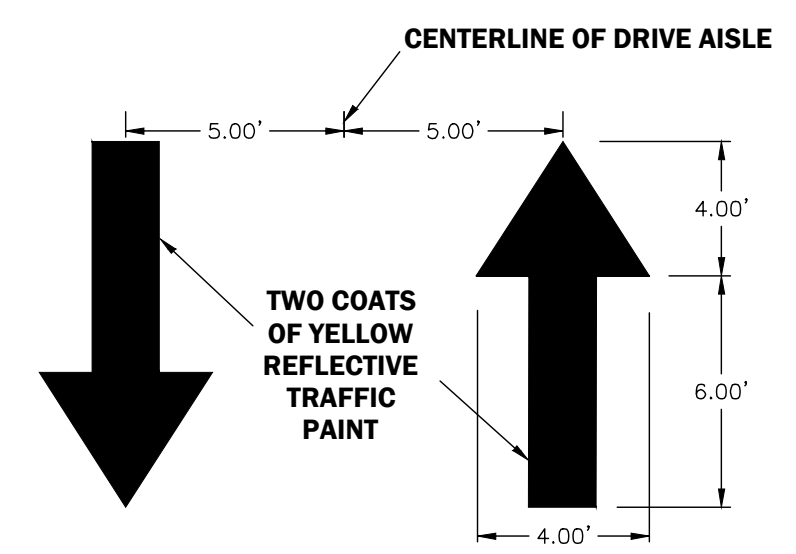
**WHEEL STOP
NOT TO SCALE**



REFERENCE MANUAL ON
UNIFORM TRAFFIC CONTROL
DEVICES FOR MORE SIGN
DETAILS



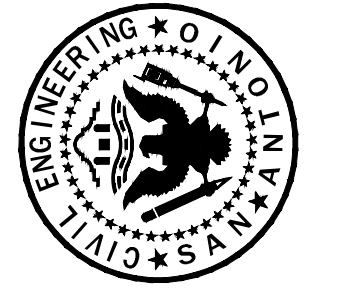
**NO ENTRY SIGN
NOT TO SCALE**



**NOTE:
TEMPLATE AVAILABLE FROM SIGN
VENDORS.**

**TRAFFIC FLOW DIRECTIONAL ARROW
NOT TO SCALE**

REVISIONS:



**RAMONES
ENGINEERING**
624 W. MONTELEONE AVE | SAN ANTONIO, TX 78215 | TEL: 214.342.2800 | FAX: 214.342.2801



SITE DETAILS (2 OF 2)

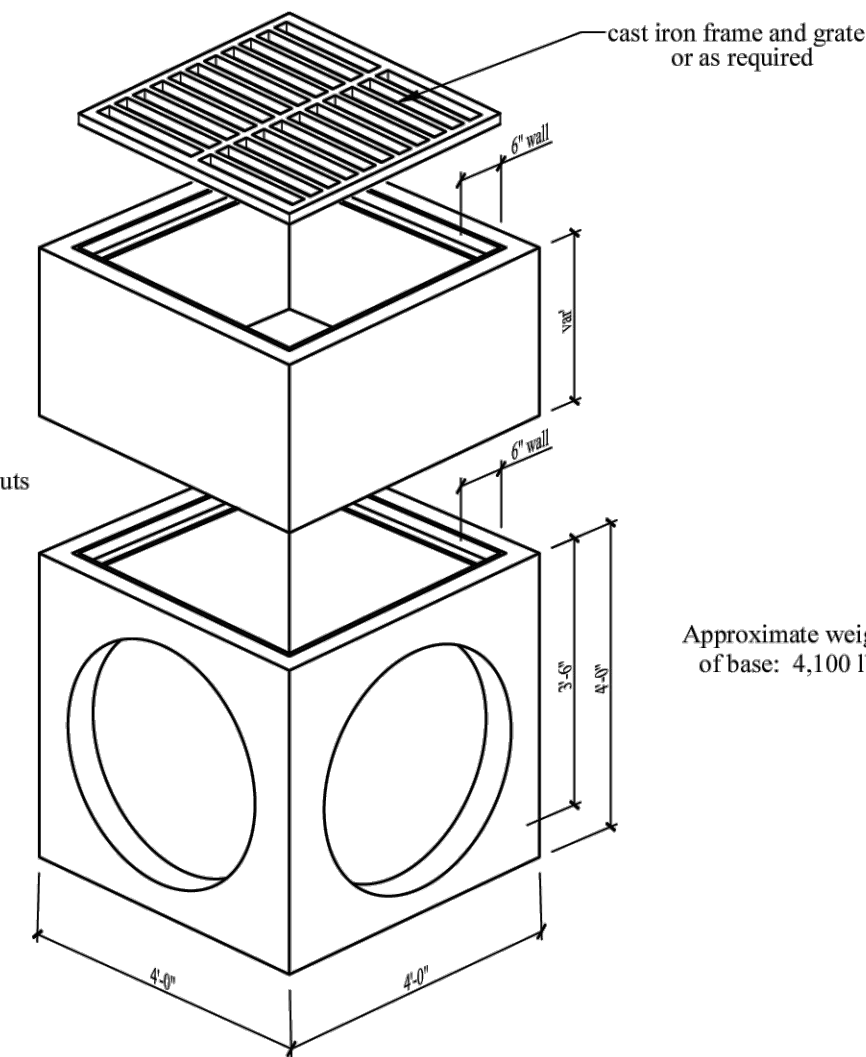
for

LION & ROSE RESTAURANT AT DOMINION CREEK
23330 IH-10 W, SAN ANTONIO, TX 78257

JOB #: C-2213
DATE: 1/28/2023
DESIGN: N.M.R.
DRAWN: N.M.R.
CHECKED:
SHEET: C-7.1

DATE: APR 03, 2023, 12:29pm User: G:\msd\pds\c:\users\pds\appdata\local\temp\157123121\157123121.dwg Plot: Commercial Construction Plot10.dwt Plotter: C:\windows\system32\cmd.exe SHEET: C-7.1.dwg

3' x 3' x var Grate Inlet



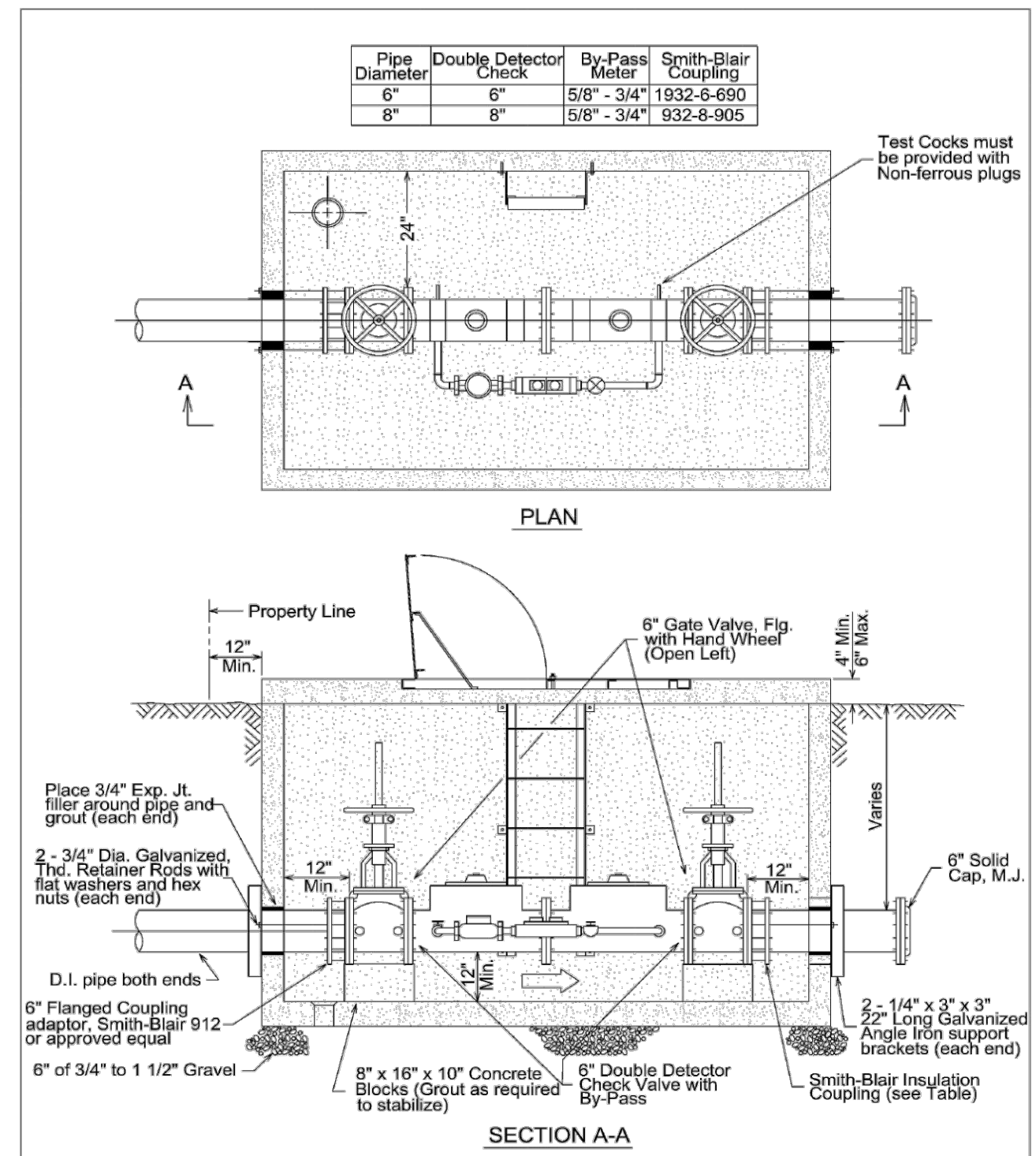
Specifications:
- Concrete has a 28 day strength of 5,000 psi
- Steel reinforcement is ASTM A615 grade 60
- Load design is H-20

Notes:
- Consult manufacturer before handling

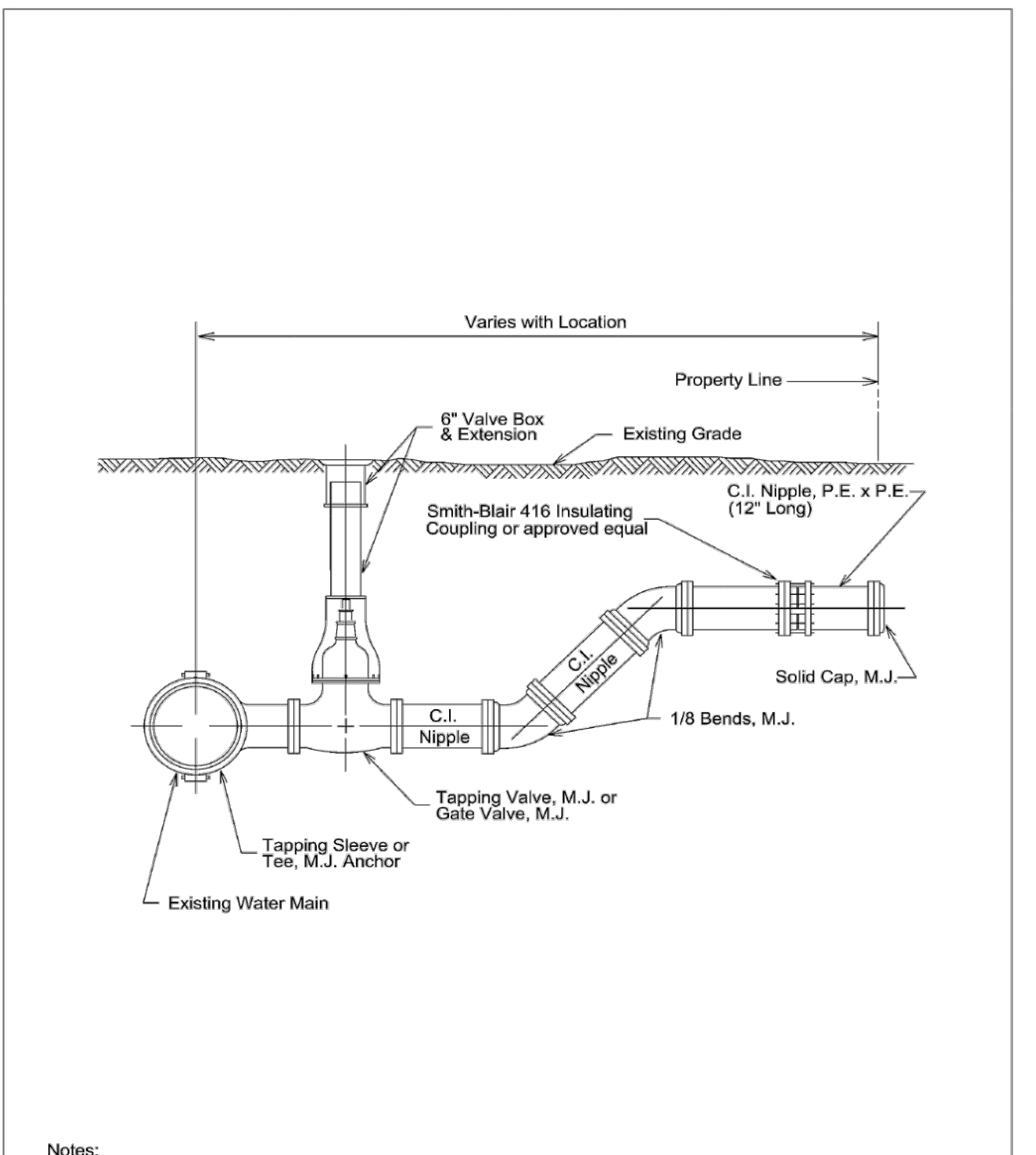


CAPITAL PRECAST, INC.
6905 SOUTH OLD BASTROP HWY
SAN MARCOS, TEXAS 78666
TEL (335) 406-6200

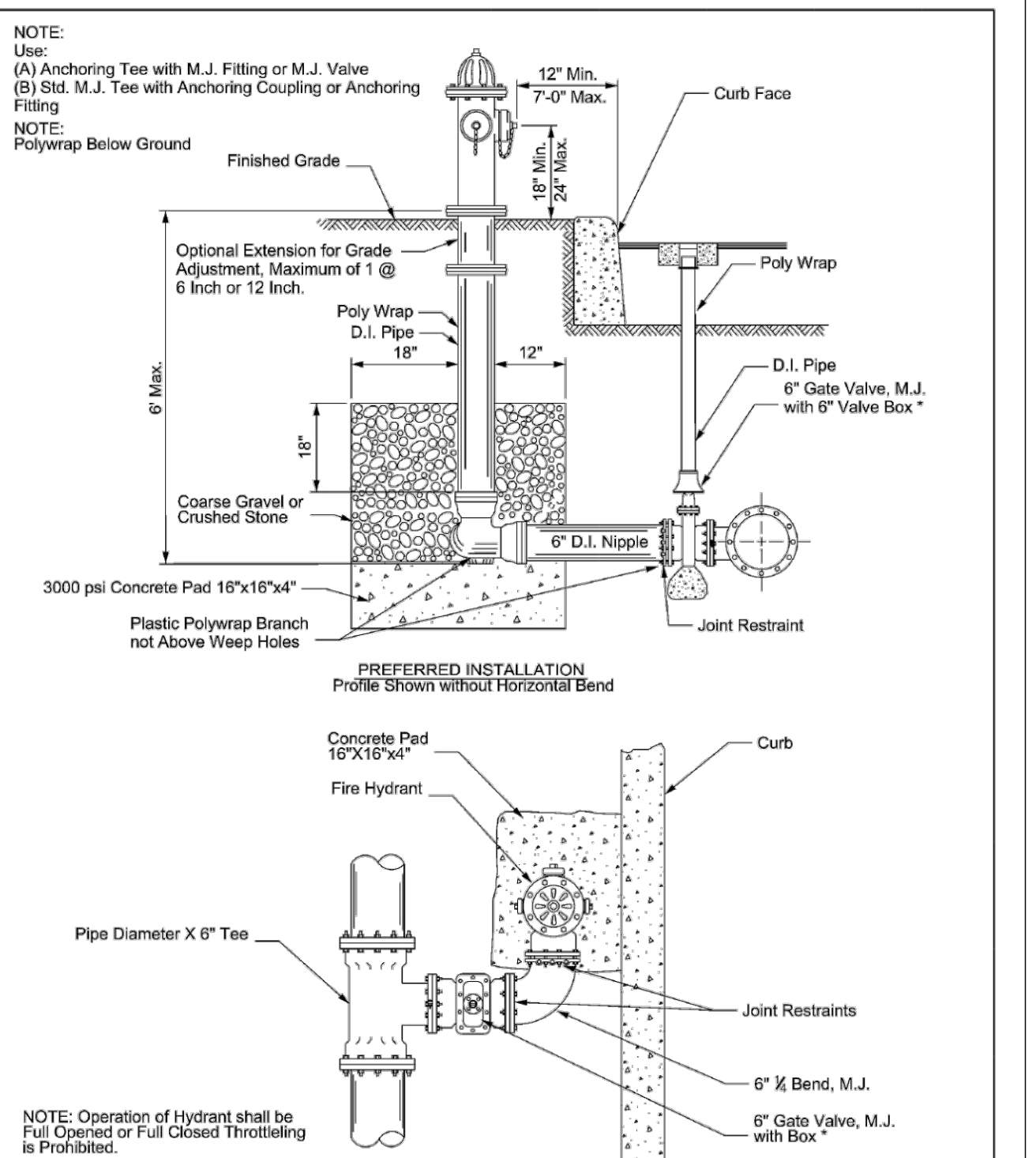
FOR JOB	3' x 3' x var Grate Inlet
DRAWN BY	DATE
FILE	catalog/grate inlet/3x3 Grate Inlet



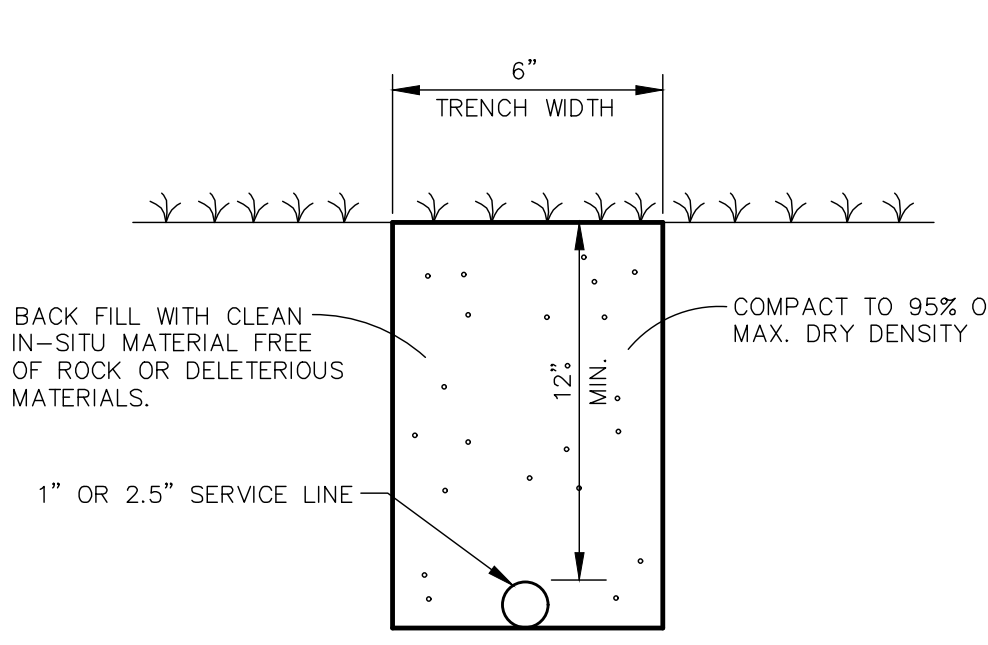
PROPERTY OF	SAN ANTONIO WATER SYSTEM	6" & 8" DOUBLE CHECK (DCCA) DETECTOR ASSEMBLY INSTALLATION	APPROVED	REVIS
			March 2008	AUG 2019
			DD-824-19	SHEET 1 OF 1



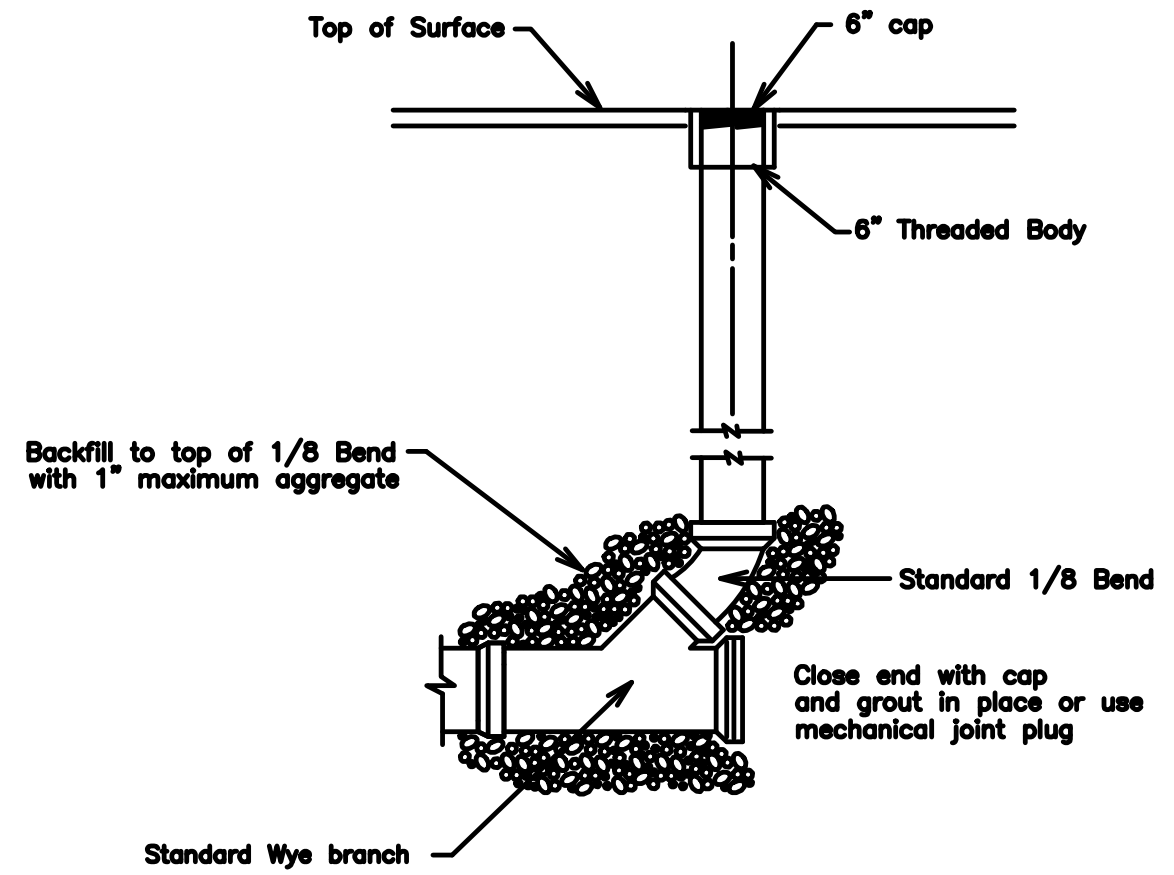
PROPERTY OF	SAN ANTONIO WATER SYSTEM	4", 6" & 8" NON-METERED FIRE SERVICE	APPROVED	REVIS
			March 2008	AUG 2019
			DD-824-21	SHEET 1 OF 1



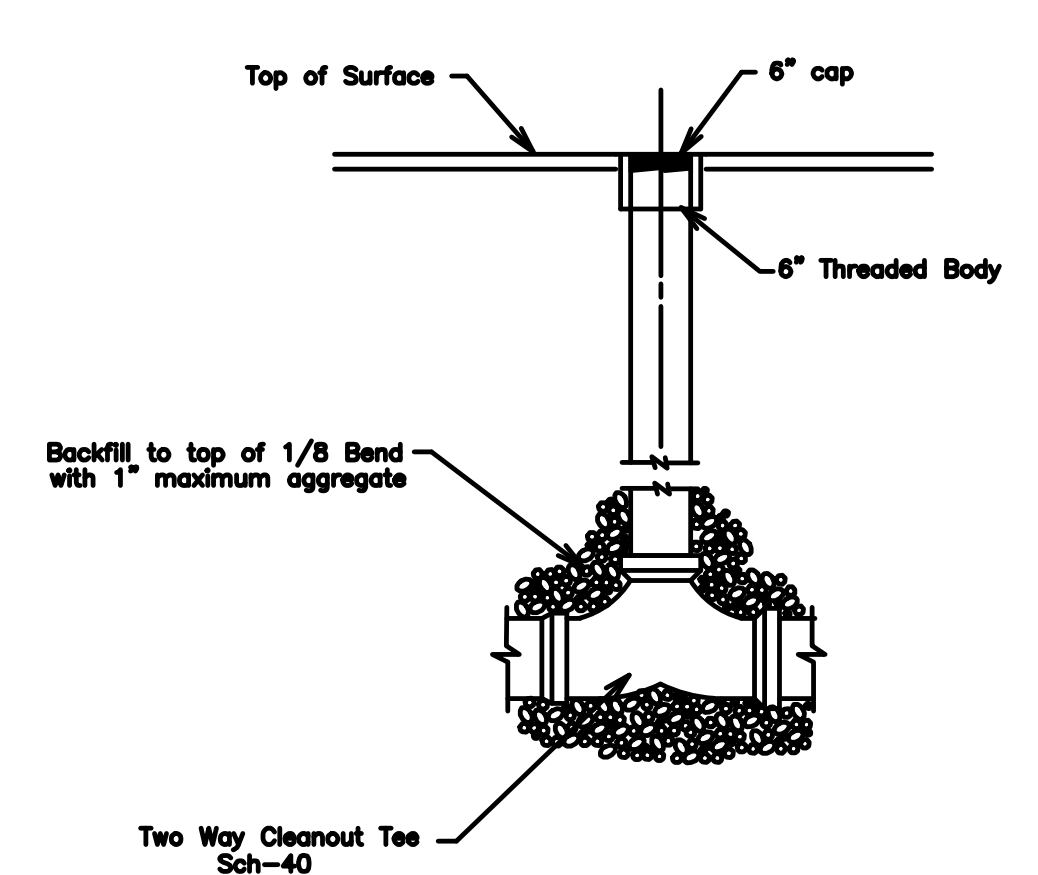
PROPERTY OF	SAN ANTONIO WATER SYSTEM	FIRE HYDRANT INSTALLATION (JOINT RESTRAINT)	APPROVED	REVIS
			MAY 2013	AUG 2019
			DD-834-01	SHEET 1 OF 3



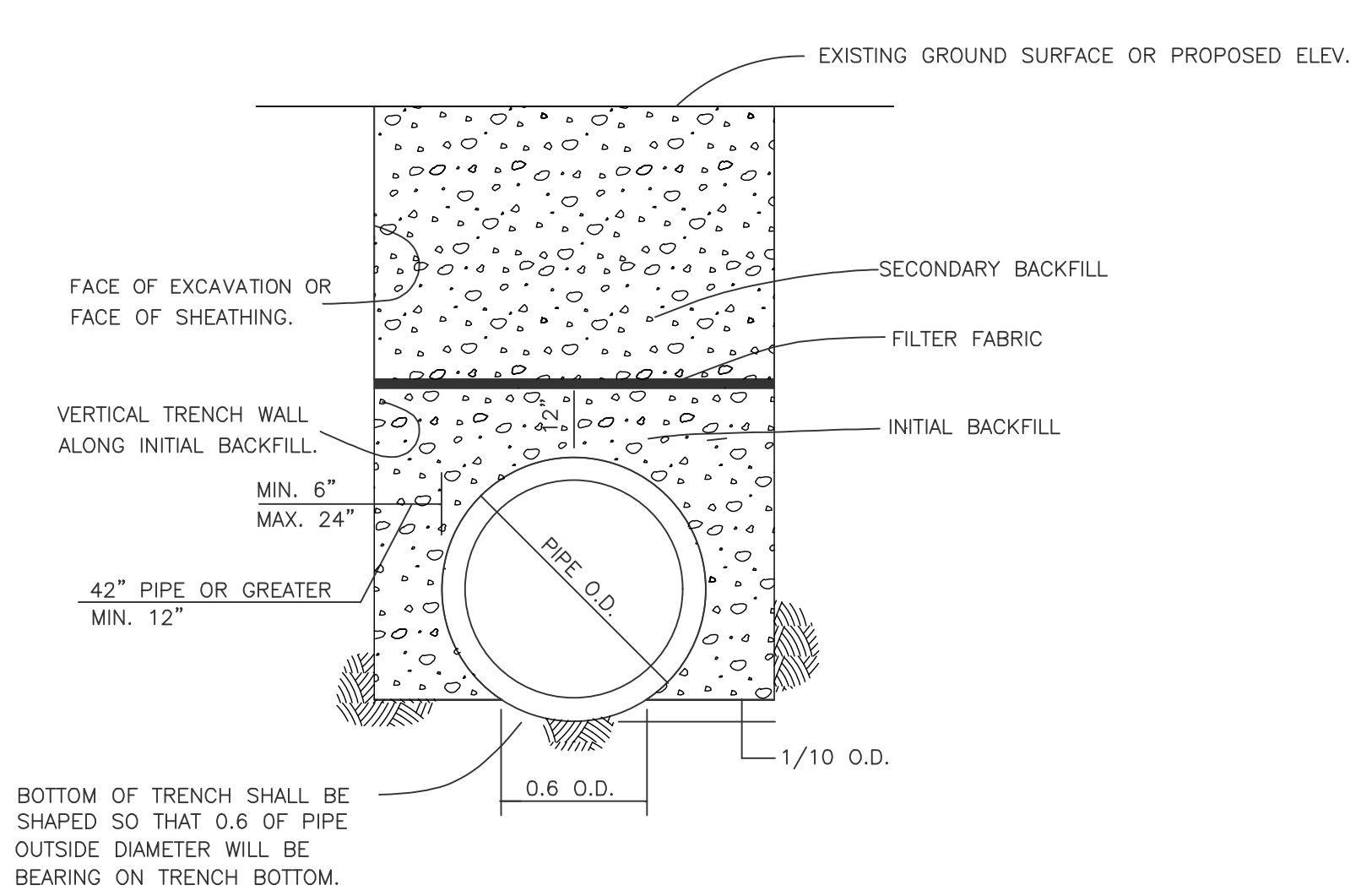
TYPICAL WATER SERVICE TRENCH
NOT TO SCALE



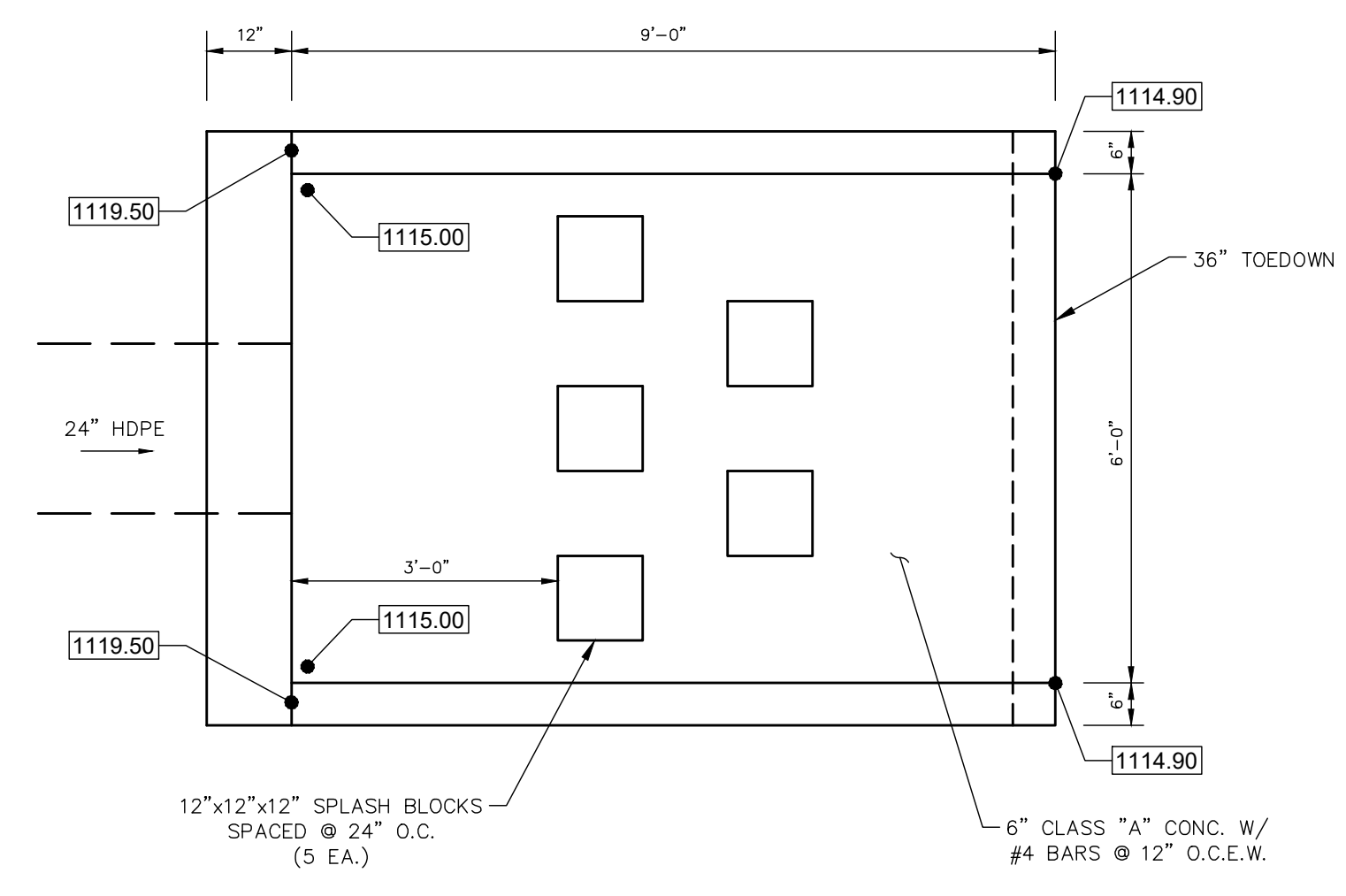
ON-WAY CLEANOUT
NOT TO SCALE



TWO-WAY CLEANOUT
NOT TO SCALE



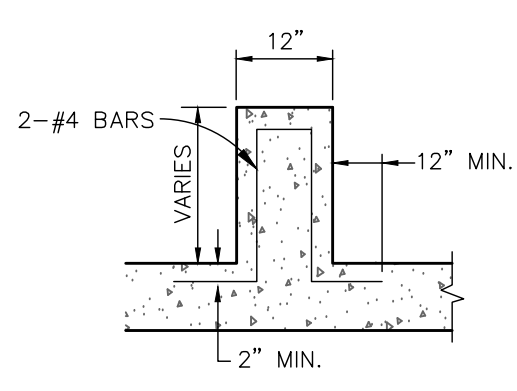
STORM PIPE TRENCH
NOT TO SCALE



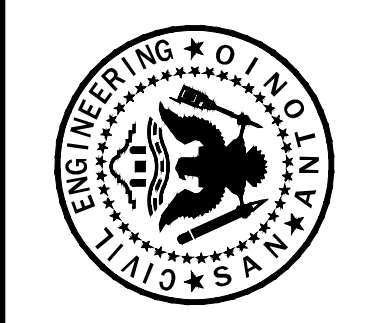
DRAIN OUTFALL HEADWALL
NOT TO SCALE

CONCRETE NOTES

- ALL EXPOSED CORNERS SHALL BE CHAMFERED 3/4"
- ALL CONCRETE SHALL BE A MINIMUM CLASS "A" 3000 psi. @ 28 DAYS UNLESS NOTED.
- COVER FOR REINFORCING STEEL IS 2" UNLESS NOTED.
- MINIMUM BAR DEVELOPMENT LENGTH FOR SPLICE AND BENDS SHALL BE 24 INCHES.



SPLASH BLOCK
NOT TO SCALE



RAMONES ENGINEERING
682 W. MONSTER AVE | SAN ANTONIO, TX 78221 | 210.882.2600 | 1000165-F-1002



UTILITY DETAILS for
LION & ROSE RESTAURANT AT DOMINION CREEK
23330 IH-10 W, SAN ANTONIO, TX 78257

JOB #:	C-2213
DATE:	1/28/2023
DESIGN:	N.M.R.
DRAWN:	N.M.R.
CHECKED:	
SHEET:	C-7.2

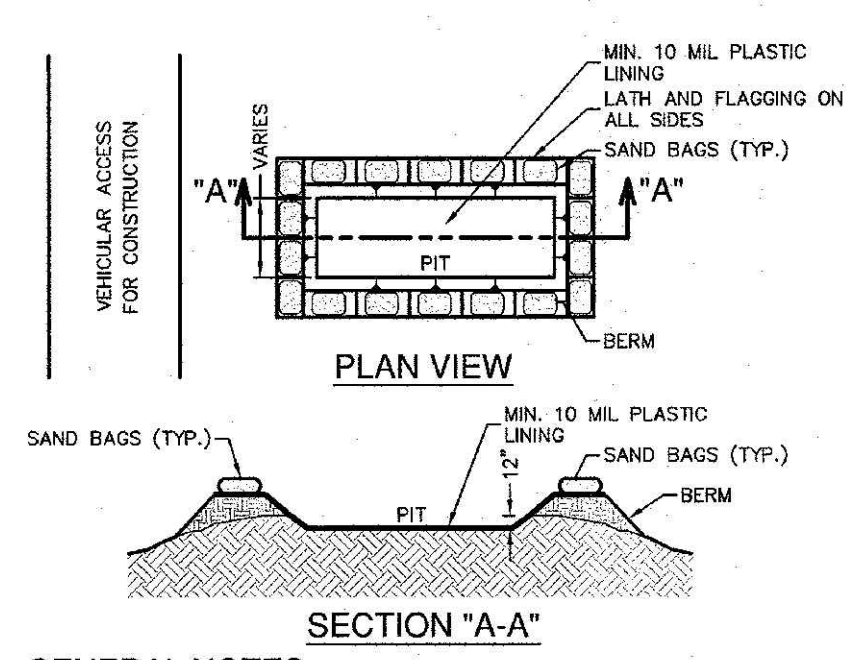
THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.

TEMPORARY POLLUTION ABATEMENT NOTES

- DO NOT DISTURB VEGETATED AREAS (TREES, GRASS, WEEDS, BRUSH, ETC.) ANY MORE THAN NECESSARY FOR CONSTRUCTION.
- LOCATIONS OF CONSTRUCTION ENTRANCE/EXITS, CONCRETE WASHOUT PITS, AND CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARDS TO BE DETERMINED IN THE FIELD.
- STORM WATER POLLUTION PREVENTION CONTROLS MAY NEED TO BE MODIFIED IN THE FIELD TO ACCOMPLISH THE DESIRED EFFECT. ALL MODIFICATIONS ARE TO BE NOTED ON THIS EXHIBIT AND SIGNED AND DATED BY THE RESPONSIBLE PARTY.
- RESTRICT ENTRY/EXIT TO THE PROJECT SITE TO DESIGNATED LOCATIONS BY USE OF ADEQUATE FENCING, IF NECESSARY.
- ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED AND IN WORKING CONDITIONS AT ALL TIMES.
- CONTRACTOR, TO THE EXTENT PRACTICAL, SHALL MINIMIZE THE AMOUNT OF AREA DISTURBED. AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SUCH AS PARKWAY AREAS, EASEMENT AREAS, EMBANKMENT SLOPES, ETC. WILL BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS.
- BEST MANAGEMENT PRACTICES MAY BE INSTALLED IN STAGES TO COINCIDE WITH THE DISTURBANCE OF UPGRADE AREAS.
- BEST MANAGEMENT PRACTICES MAY BE REMOVED IN STAGES ONCE THE WATERSHED FOR THAT PORTION CONTROLLED BY THE BEST MANAGEMENT PRACTICES HAS BEEN STABILIZED.
- ALL TEMPORARY BMPs WILL BE REMOVED ONCE WATERSHED IS STABILIZED.
- MUD OR DIRT INADVERTENTLY TRACKED OFF-SITE AND ONTO EXISTING STREETS SHALL BE REMOVED IMMEDIATELY BY HAND OR MECHANICAL BROOM SWEEPING.
- PRIOR TO INITIATION OF SUBSEQUENT PHASES OF CONSTRUCTION, TEMPORARY BMPs INCLUDING SILT FENCING, CONSTRUCTION ENTRANCE/EXIT, CONCRETE WASHOUT PIT, AND CONSTRUCTION STAGING AREA SHALL BE FIELD LOCATED AS APPROPRIATE FOR THE AREA OF CONSTRUCTION.
- TEMPORARY POLLUTION ABATEMENT MEASURES SHOWN ON THE PLAN ARE FOR THE OVERALL DEVELOPMENT. TEMPORARY BMPs MAY REQUIRE ADJUSTMENT BASED ON PHASING OF CONSTRUCTION OF THE DEVELOPMENT. RECORDS OF ADJUSTMENTS AND REVISIONS SHALL BE MAINTAINED AS APPROPRIATE.
- TEMPORARY BMPs SHOWN ON THIS SHEET ARE FOR GRAPHICAL PURPOSES AND MAY NOT BE TO SCALE. BMPs SHALL BE LOCATED WITHIN THE PROJECT LIMITS.
- UPON COMPLETION OF THE PROJECT AND BEFORE FINAL PAYMENT IS ISSUED, CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SEQUENCING AND REMOVAL OF TEMPORARY POLLUTION ABATEMENT MEASURES THAT CONFLICT WITH SITE IMPROVEMENTS SUCH AS LANDSCAPING AND FENCES SO AS TO PREVENT SEDIMENT FROM ESCAPING THE PROJECT SITE.

PERMANENT POLLUTION ABATEMENT NOTES:

- TEMPORARY BMPs WILL BE MAINTAINED UNTIL THE SITE IMPROVEMENTS ARE COMPLETED AND THE SITE HAS BEEN STABILIZED, INCLUDING SUFFICIENT VEGETATION BEING ESTABLISHED.
- DURING CONSTRUCTION, TO THE EXTENT PRACTICAL, CONTRACTOR SHALL MINIMIZE THE AREA OF SOIL DISTURBANCE. AREAS OF DISTURBED SOIL SHALL BE REVEGETATED TO STABILIZE SOIL. SEE DETAIL ON TEMPORARY POLLUTION ABATEMENT DETAIL SHEET AND REFER TO SECTION 1.3.11 IN TCEQ'S TECHNICAL GUIDANCE MANUAL RG-348 (2005). SOD SHOULD BE USED IN CHANNELS AND ON SLOPES > 15%. THE CONTRACTOR MAY SUBSTITUTE THE USE OF SOD WITH THE PLACEMENT OF TOP SOIL AND A FRIBL SEED BED WITH A PROTECTIVE MATTING OR HYDRAULIC MULCH ALONG WITH WATERING UNTIL VEGETATION IS ESTABLISHED. APPLICATIONS AND PRODUCTS SHALL BE THOSE APPROVED BY TXDOT AS OF FEBRUARY 2001 AND IN COMPLIANCE WITH THE TGM RG-348 (2005). SEED MIXTURE AND/OR GRASS TYPE TO BE DETERMINED BY OWNER AND SHOULD BE IN COMPLIANCE WITH TGM RG-348 (2005) GUIDELINES. IRRIGATION MAY BE REQUIRED IN ORDER TO ESTABLISH SUFFICIENT VEGETATION.
- FOR DISTURBED AREAS WHERE INSUFFICIENT SOIL EXISTS TO ESTABLISH VEGETATION, CONTRACTOR SHALL PLACE A MINIMUM OF 6" OF TOPSOIL PRIOR TO REVEGETATION.
- PERMANENT BMPs FOR THIS SITE INCLUDE NATURAL AND ENGINEERED VEGETATIVE FILTER STRIPS. THESE PERMANENT BMPs HAVE BEEN DESIGNED TO REMOVE AT LEAST 80% OF THE INCREASED TOTAL SUSPENDED SOLIDS (TSS) FOR THE 26.1 ACRES IN ACCORDANCE WITH THE TCEQ'S TECHNICAL GUIDANCE MANUAL (TGM) RG-348 (2005).
- TYPICAL SLOPES ON THIS PROJECT RANGE FROM APPROXIMATELY 1.4% TO 34%.
- SILT FENCING AND ROCK BERMS, WHERE APPROPRIATE, WILL BE MAINTAINED UNTIL THE ROADWAY, UTILITY, DRAINAGE IMPROVEMENTS, AND BUILDING CONSTRUCTION ARE COMPLETED.
- ENERGY DISSIPATORS (TO HELP REDUCE EROSION) WILL BE PROVIDED AT POINTS OF CONCENTRATED DISCHARGE WHERE EXCESSIVE VELOCITIES MAY BE ENCOUNTERED.
- CONTRACTOR SHALL INSTALL AND ESTABLISH VEGETATION FOR SOIL STABILIZATION PRIOR TO SITE CLOSEOUT.
- ALL PERMANENT BMPs MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.



GENERAL NOTES

- DETAIL ABOVE ILLUSTRATES MINIMUM DIMENSIONS. PIT CAN BE INCREASED IN SIZE DEPENDING ON EXPECTED FREQUENCY OF USE.
- WASHOUT PIT SHALL BE LOCATED IN AN AREA EASILY ACCESSIBLE TO CONSTRUCTION TRAFFIC.
- WASHOUT PIT SHALL NOT BE LOCATED IN AREAS SUBJECT TO INUNDATION FROM STORM WATER RUNOFF.
- LOCATE WASHOUT AREA AT LEAST 50 FEET FROM SENSITIVE FEATURES, STORM DRAINS, OPEN DITCHES OR WATER BODIES.
- TEMPORARY CONCRETE WASHOUT FACILITY SHOULD BE CONSTRUCTED WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.

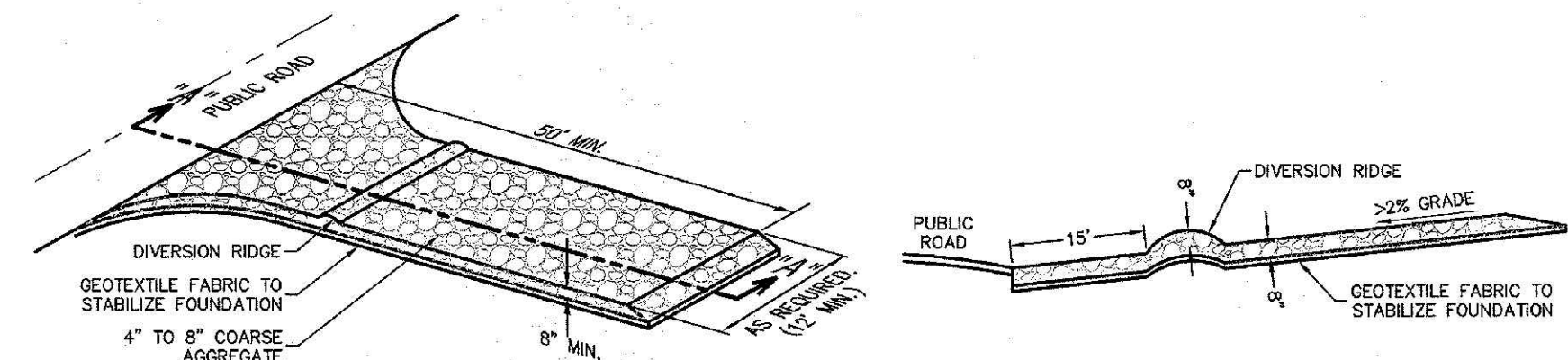
MATERIALS

PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL IN POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

MAINTENANCE

- WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF.
- MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF.
- HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCES CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE BACKFILLED AND REPAIRED.

CONCRETE TRUCK WASHOUT PIT DETAIL
NOT-TO-SCALE



SCHEMATIC OF TEMPORARY CONSTRUCTION ENTRANCE/EXIT

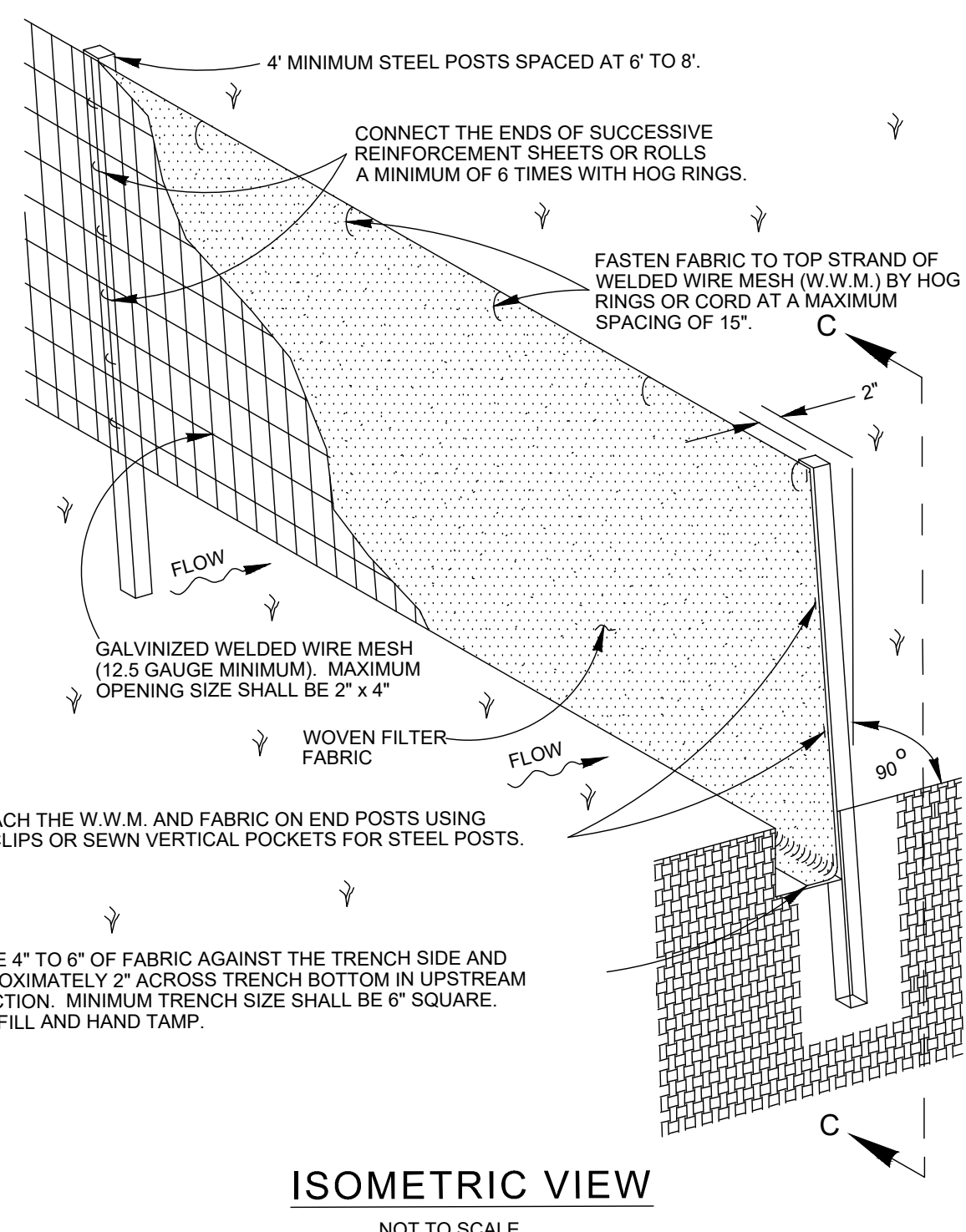
MATERIALS

- THE AGGREGATE SHOULD CONSIST OF 4-INCH TO 8-INCH WASHED STONE OVER A STABLE FOUNDATION AS SPECIFIED IN THE PLAN.
- THE AGGREGATE SHOULD BE PLACED WITH A MINIMUM THICKNESS OF 8-INCHES.
- THE GEOTEXTILE FABRIC SHOULD BE DESIGNED SPECIFICALLY FOR USE AS A SOIL FILTRATION MEDIA WITH AN APPROXIMATE HEIGHT OF 6 OZ/YD², A MULLEN BURST RATING OF 140 LB/IN², AND AN EQUIVALENT OPENING SIZE GREATER THAN A NUMBER 50 SIEVE.
- IF A WASHING FACILITY IS REQUIRED, A LEVEL AREA WITH A MINIMUM OF 4-INCH DIAMETER WASHED STONE OR COMMERCIAL ROCK SHOULD BE INCLUDED IN THE PLANS. DIVERT WASTEWATER TO A SEDIMENT TRAP OR BASIN.

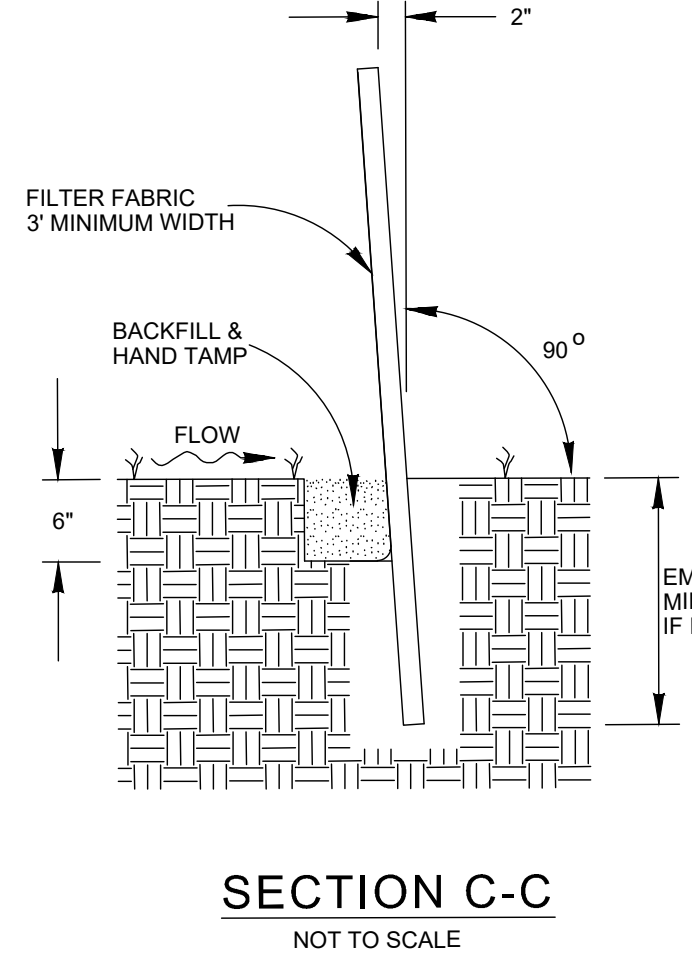
INSTALLATION

- AVOID CURVES ON PUBLIC ROADS AND STEEP SLOPES. REMOVE VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. GRADE CROWN FOUNDATION FOR POSITIVE DRAINAGE.
- THE MINIMUM WIDTH OF THE ENTRANCE/EXIT SHOULD BE 12 FEET OR THE FULL WIDTH OF EXIT ROADWAY, WHICHEVER IS GREATER.
- THE CONSTRUCTION ENTRANCE SHOULD BE AT LEAST 50 FEET LONG.
- IF THE SLOPE TOWARD THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE, 6-INCHES TO 8-INCHES HIGH WITH 3:1 (H:V) SIDE SLOPES, ACROSS THE FOUNDATION APPROXIMATELY 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.
- PLACE GEOTEXTILE FABRIC AND GRADE FOUNDATION TO IMPROVE STABILITY, ESPECIALLY WHERE WET CONDITIONS ARE ANTICIPATED.
- PLACE STONE TO DIMENSIONS AND GRADE SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPE FOR DRAINAGE.
- DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN.
- INSTALL PIPE UNDER PAD AS NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.

STABILIZED CONSTRUCTION ENTRANCE/EXIT DETAIL
NOT-TO-SCALE



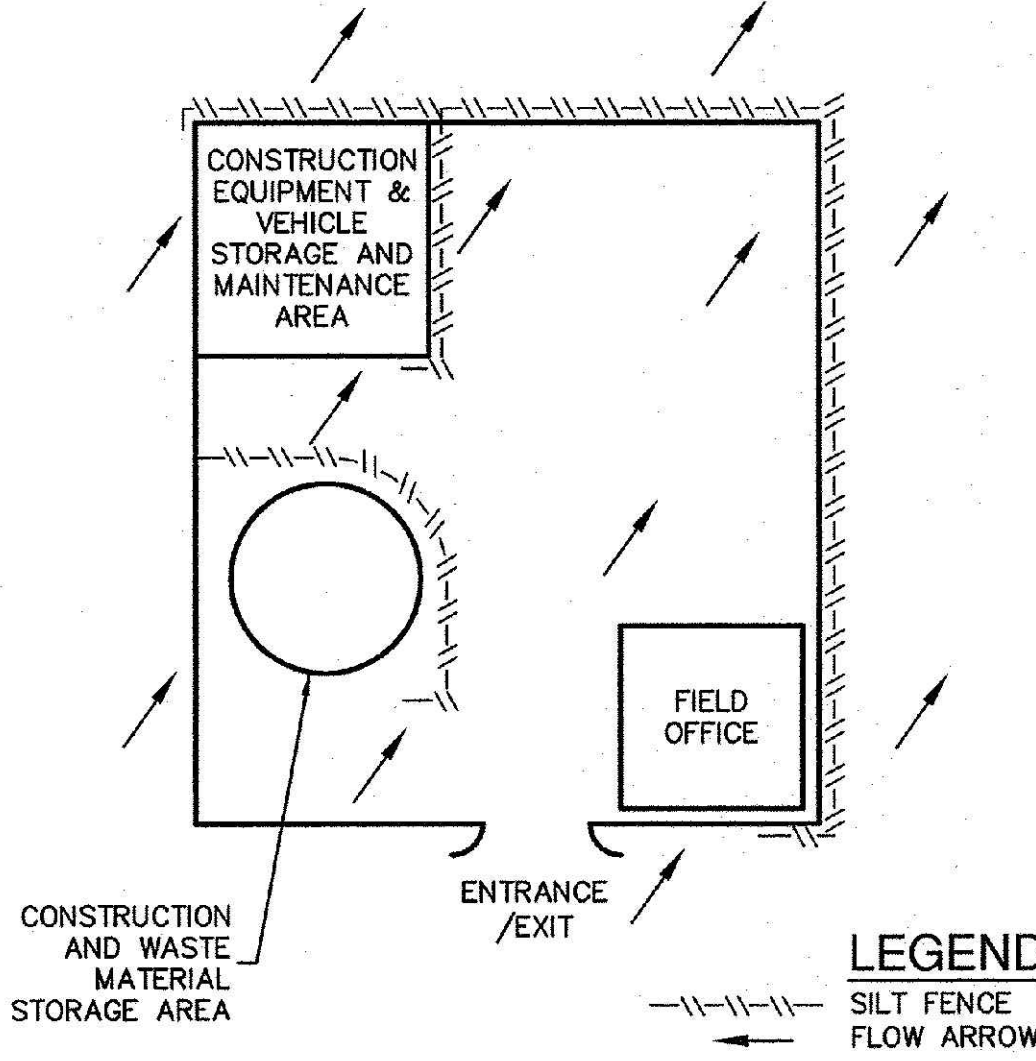
TEMPORARY SEDIMENT CONTROL FENCE
NOT TO SCALE



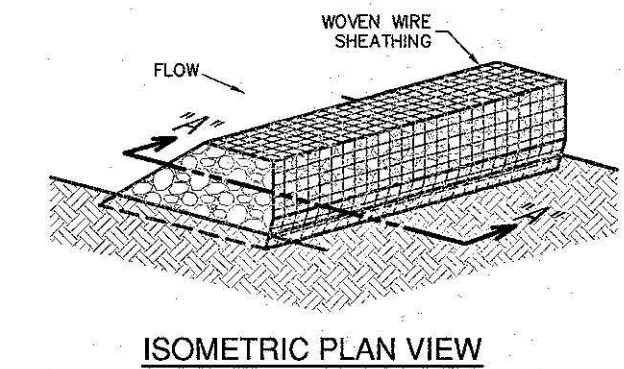
SEDIMENT CONTROL FENCE USAGE GUIDELINES

A SEDIMENT CONTROL FENCE MAY BE CONSTRUCTED NEAR THE DOWNSTREAM PERIMETER OF A DISTURBED AREA ALONG A CONTOUR TO INTERCEPT SEDIMENT FROM OVERLAND RUN-OFF. A 2 YEAR STORM FREQUENCY MAY BE USED TO CALCULATE THE FLOW RATE TO BE FILTERED.

SEDIMENT CONTROL FENCE SHOULD BE SIZED TO FILTER A MAXIMUM FLOW THRU RATE OF 100 GPM / FT SQUARED. SEDIMENT CONTROL FENCE IS NOT RECOMMENDED TO CONTROL EROSION FROM A DRAINAGE AREA LARGER THAN 2 ACRES.



CONSTRUCTION STAGING AREA
NOT-TO-SCALE



ROCK BERMS

THE PURPOSE OF A ROCK BERM IS TO SERVE AS A CHECK DAM IN AREAS OF CONCENTRATED FLOW, TO INTERCEPT SEDIMENT-LADEN RUNOFF, DETAIN THE SEDIMENT AND RELEASE THE WATER IN SHEET FLOW. THE ROCK BERM SHOULD BE USED WHEN THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 2 ACRES. ROCK BERMS ARE USED IN AREAS WHERE THE VOLUME OF RUNOFF IS TOO GREAT FOR A SILT FENCE TO CONTAIN. THEY ARE LESS EFFECTIVE FOR SEDIMENT REMOVAL THAN SILT FENCES, PARTICULARLY FOR FINE PARTICLES, BUT ARE ABLE TO WITHSTAND HIGHER FLOWS THAN A SILT FENCE. AS SUCH, ROCK BERMS ARE OFTEN USED IN AREAS OF CHANNEL FLOWS (DITCHES, CULLETS, ETC.). ROCK BERMS ARE MOST EFFECTIVE AT REDUCING BED LOAD IN CHANNELS AND SHOULD NOT BE SUBSTITUTED FOR OTHER EROSION AND SEDIMENT CONTROL MEASURES FURTHER UP THE WATERSHED.

INSPECTION AND MAINTENANCE GUIDELINES

- INSPECTION SHOULD BE MADE WEEKLY AND AFTER EACH RAINFALL BY THE RESPONSIBLE PARTY. FOR INSTALLATIONS IN STREAMBEDS, ADDITIONAL DAILY INSPECTIONS SHOULD BE MADE.
- REMOVE SEDIMENT AND OTHER DEBRIS WHEN BUILDUP REACHES 6 INCHES AND DISPOSE OF THE ACCUMULATED SILT IN AN APPROVED MANNER THAT WILL NOT CAUSE ANY ADDITIONAL SILTATION.
- REPAIR ANY LOOSE WIRE SHEATHING.
- THE BERM SHOULD BE RESHAPED AS NEEDED DURING INSPECTION.
- THE BERM SHOULD BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
- THE ROCK BERM SHOULD BE LEFT IN PLACE UNTIL ALL UPSTREAM AREAS ARE STABILIZED AND ACCUMULATED SILT REMOVED.

MATERIALS

- THE BERM STRUCTURE SHOULD BE SECURED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM OPENING OF 1 INCH AND A MINIMUM WIRE DIAMETER OF 20 GAUGE GALVANIZED AND SHOULD BE SECURED WITH GREAT RINGS.
- CLEAN, OPEN GRADED 3-INCH TO 5-INCH DIAMETER ROCK SHOULD BE USED, EXCEPT IN AREAS WHERE HIGH VELOCITIES OR LARGE VOLUMES OF FLOW ARE EXPECTED, WHERE 5-INCH TO 8-INCH DIAMETER ROCKS MAY BE USED.

INSTALLATION

- LAY OUT THE WOVEN WIRE SHEATHING PERPENDICULAR TO THE FLOW LINE. THE SHEATHING SHOULD BE 20 GAUGE WOVEN WIRE MESH WITH 1 INCH OPENINGS.
- BERM SHOULD HAVE A TOP WIDTH OF 2 FEET MINIMUM WITH SIDE SLOPES BEING 2:1 (H:V) OR FLATTER.
- PLACE THE ROCK ALONG THE CONTOUR AT ZERO PERCENT GRADE TO A HEIGHT NOT LESS THAN 18".
- WRAP THE WIRE SHEATHING AROUND THE ROCK AND SECURE WITH THE WIRE SO THAT THE ENDS OF THE SHEATHING OVERLAP AT LEAST 2 INCHES, AND THE BERM REMAINS ITS SHAPE WHEN WALKED UPON.
- BERM SHOULD BE BUILT ALONG THE CONTOUR AT ZERO PERCENT GRADE OR AS NEAR AS POSSIBLE.
- THE ENDS OF THE BERM SHOULD BE TIED INTO EXISTING UPSLOPE GRADE AND THE BERM SHOULD BE BURIED IN A TRENCH APPROXIMATELY 3 TO 4 INCHES DEEP TO PREVENT FAILURE OF THE CONTROL.

COMMON TROUBLE POINTS

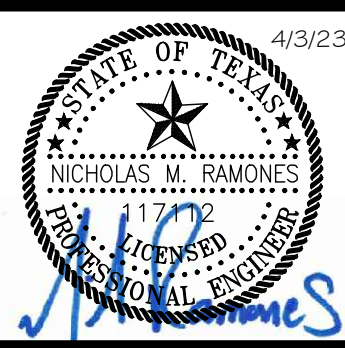
- INSUFFICIENT BERM HEIGHT OR LENGTH (RUNOFF QUICKLY ESCAPES OVER THE TOP OR AROUND THE SIDES OF BERM).
- BERM NOT INSTALLED PERPENDICULAR TO FLOW LINE (RUNOFF ESCAPING AROUND ONE SIDE).

ROCK BERM DETAIL
NOT-TO-SCALE

REVISIONS:



RAMONES ENGINEERING
15849 N. INDUSTRIAL AVE. | SAN ANTONIO, TX 78257 | 214.582.8800 | TFBLES-F-1002



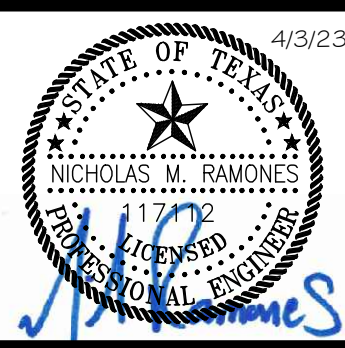
EROSION CONTROL DETAILS
for
LION & ROSE RESTAURANT AT DOMINION CREEK
23330 IH-10 W, SAN ANTONIO, TX 78257

JOB #: C-2213
DATE: 1/28/2023
DESIGN: N.M.R.
DRAWN: N.M.R.
CHECKED:
SHEET: C-7.3

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.



RAMONES ENGINEERING
 652 W. MONTELEONE AVE | SAN ANTONIO, TX 78212 | 214.882.2600 | 1000 PILES P-17-02



CONTECH JELLYFISH FILTER DETAILS
 for
LION & ROSE RESTAURANT AT DOMINION CREEK
 23330 IH-10 W, SAN ANTONIO, TX 78257

JOB #: C-2213
 DATE: 1/28/2023
 DESIGN: N.M.R.
 DRAWN: N.M.R.
 CHECKED:
 SHEET: C-7.4

JELLYFISH DESIGN NOTES

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE LENGTH AND THE NUMBER OF CARTRIDGES. THE STANDARD PEAK DIVERSION STYLE WITH PRECAST TOP SLAB IS SHOWN. ALTERNATE OFFLINE VAULT AND/OR SHALLOW ORIENTATIONS ARE AVAILABLE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD

CARTRIDGE LENGTH	54"
OUTLET INVERT TO STRUCTURE INVERT (A)	6'-6"
FLOW RATE HI-FLO / DRAINDOWN (CFS) (PER CART)	0.178 / 0.089
MAX. TREATMENT (CFS)	1.96
DECK TO INSIDE TOP (MIN) (B)	5.00

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	BASIN A
WATER QUALITY FLOW RATE (cfs)	1.07
PEAK FLOW RATE (cfs)	12.8
RETURN PERIOD OF PEAK FLOW (yrs)	100
# OF CARTRIDGES REQUIRED (HF / DD)	5 / 2
CARTRIDGE LENGTH	54"

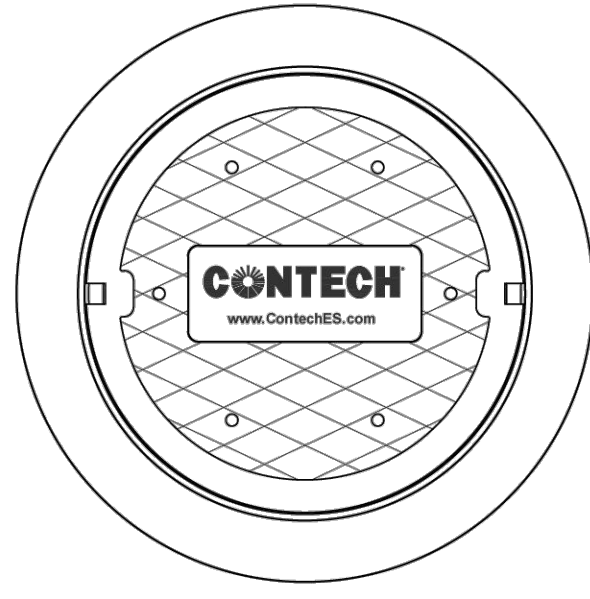
PIPE DATA:	I.E.	MATL	DIA	SLOPE %	HGL
INLET #1	1115.50'	HDPE	24"	0.50%	*
INLET #2	*	*	*	*	*
OUTLET	1115.00'	HDPE	24"	0.50%	*

SEE GENERAL NOTES 6-7 FOR INLET AND OUTLET HYDRAULIC AND SIZING REQUIREMENTS.

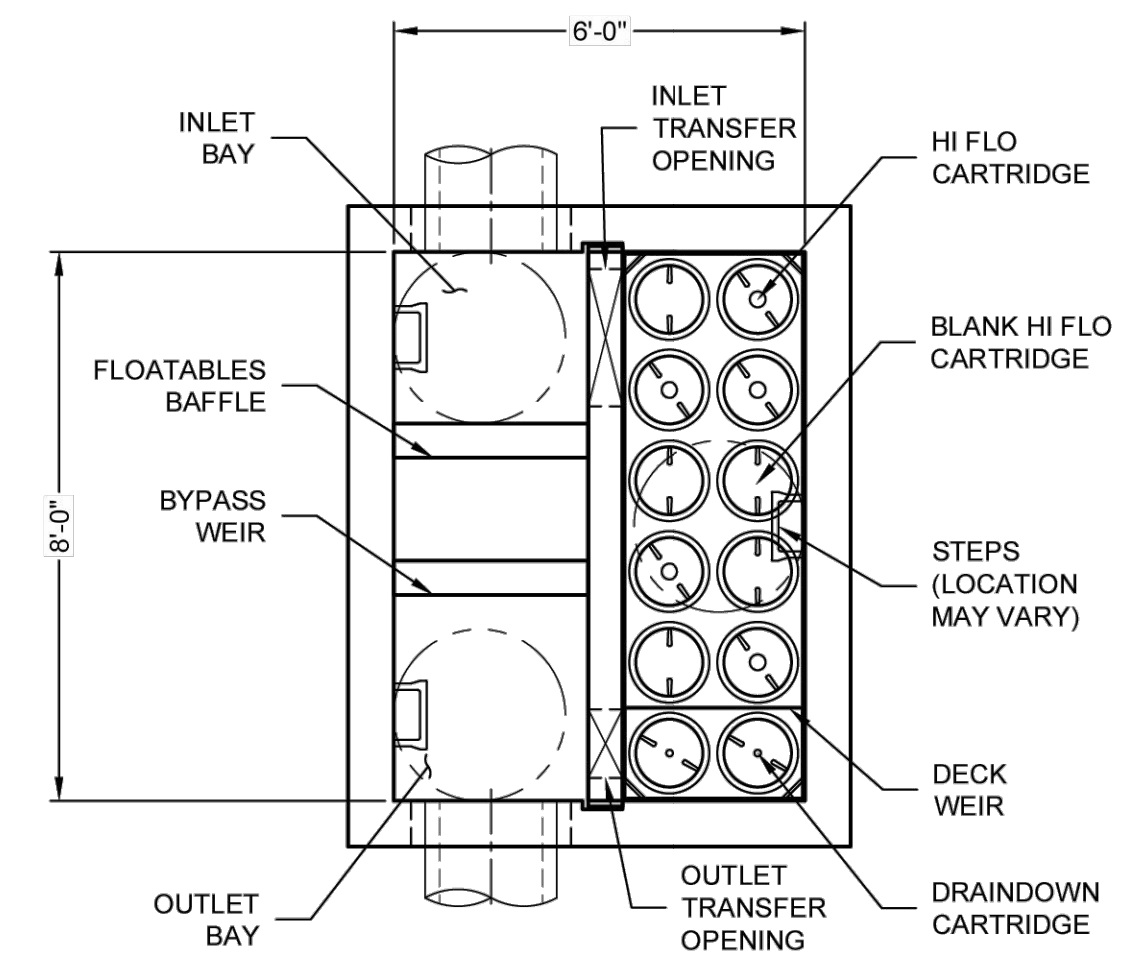
RIM ELEVATION	1121.00'
---------------	----------

ANTI-FLOTATION BALLAST	WIDTH	HEIGHT
	*	*

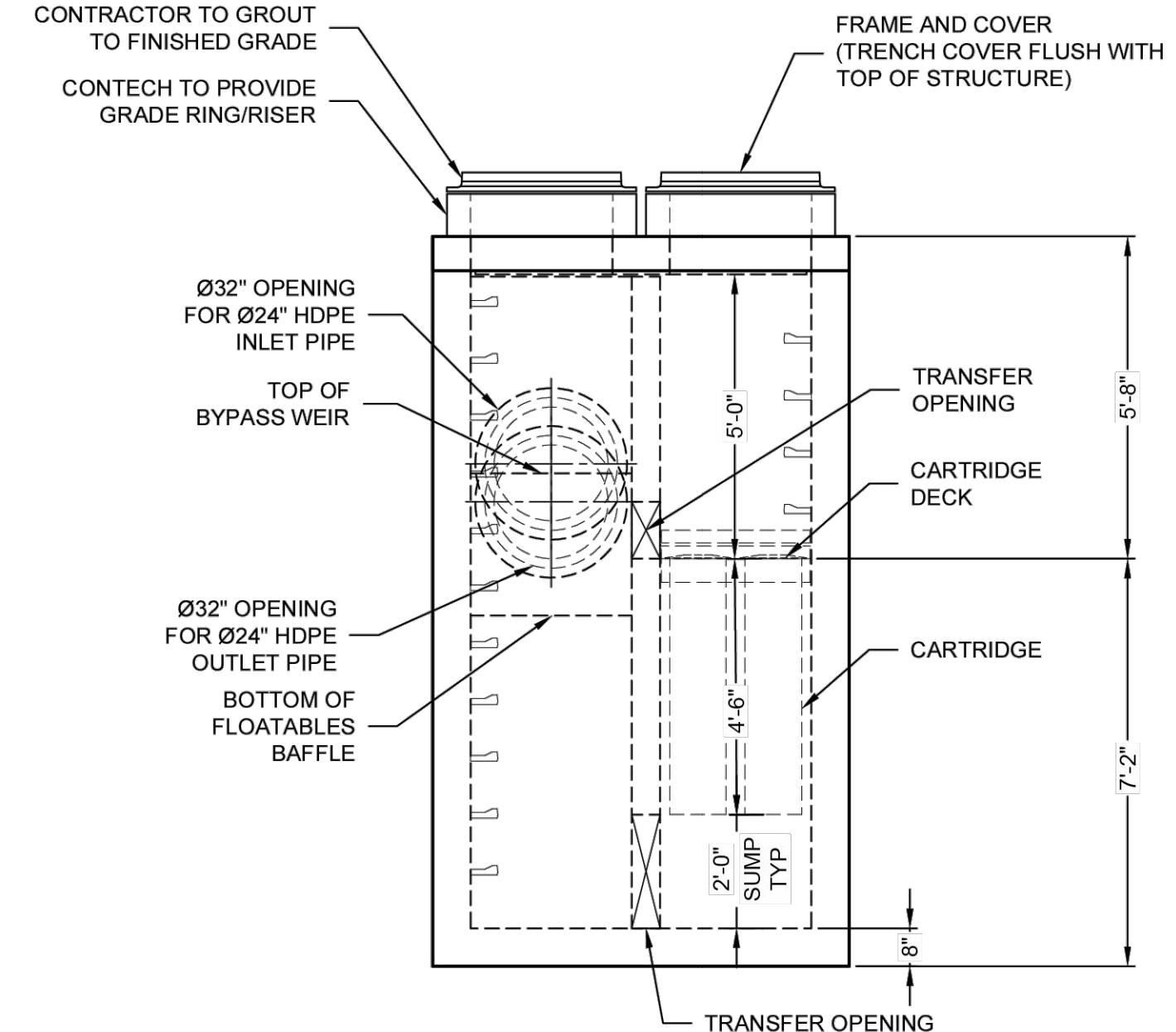
NOTES/SPECIAL REQUIREMENTS:
 * PER ENGINEER OF RECORD



FRAME AND COVER
 (DIAMETER VARIES)
 N.T.S.



PLAN VIEW
 (TOP SLAB NOT SHOWN FOR CLARITY)



ELEVATION VIEW

RIM ELEV. = 1121.00'

TOP OF STRUCTURE ELEV. = 1120.67'

WEIR ELEV. = 1116.50'
 INLET INV. ELEV. = 1115.50'

OUTLET INV. ELEV. = 1115.00'

STRUCTURE INV. ELEV. = 1108.50'

BOTTOM OF STRUCTURE ELEV. = 1107.83'

GENERAL NOTES:

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE www.ContechES.com
- JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO HS-20 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 0' - 10'. AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
- STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-857, ASTM C-918, AND AASHTO LOAD FACTOR DESIGN METHOD.
- OUTLET PIPE INVERT IS EQUAL TO THE CARTRIDGE DECK ELEVATION.
- THE OUTLET PIPE DIAMETER FOR NEW INSTALLATIONS IS RECOMMENDED TO BE ONE PIPE SIZE LARGER THAN THE INLET PIPE AT EQUAL OR GREATER SLOPE.
- NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

INSTALLATION NOTES

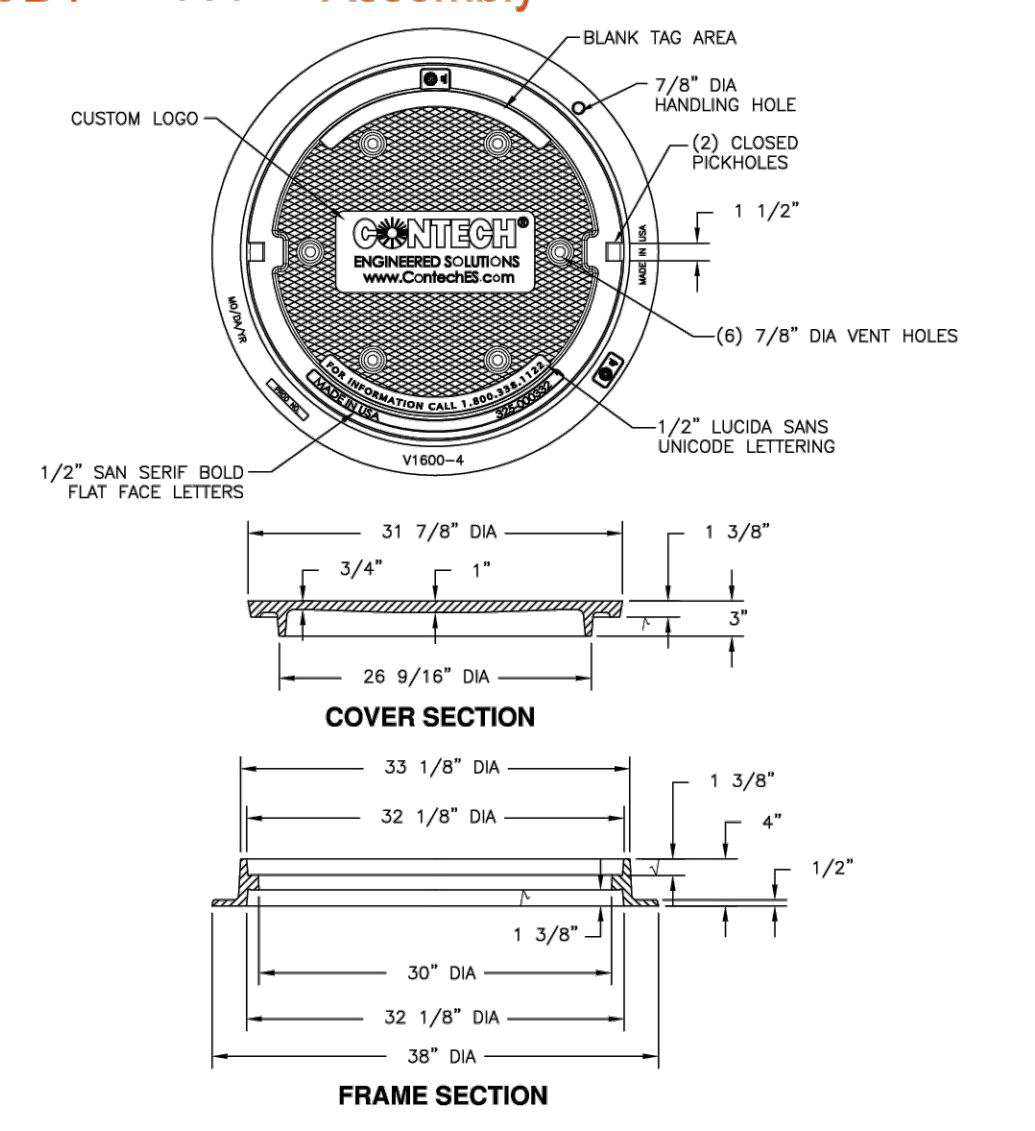
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE.
- CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).
- CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION.

Jellyfish Filter
 THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING: U.S. PATENT NO. 8,287,726; 8,221,818; US 8,123,935; OTHER INTERNATIONAL PATENTS PENDING

CONTECH
 ENGINEERED SOLUTIONS LLC
www.ContechES.com
 9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
 800-338-1122 513-645-7000 513-645-7993 FAX

8' x 6' JELLYFISH - 735640-010
 LION & ROSE AT DOMINION CREEK
 BEXAR, TX
 SITE DESIGNATION: BASIN A

1810B4 V1600-4 Assembly



Product Number
 41600483

Design Features
 -Material: Gray Iron (CL358)
 -Cover: Gray Iron (CL358)
 -Frame: Gray Iron (CL358)

-Design Load: Heavy Duty
 -Open Area: 50%
 -Coating: Uncoated
 -/ : Designates Machined Surface

Certification
 -ASTM A48
 -Country of Origin: USA

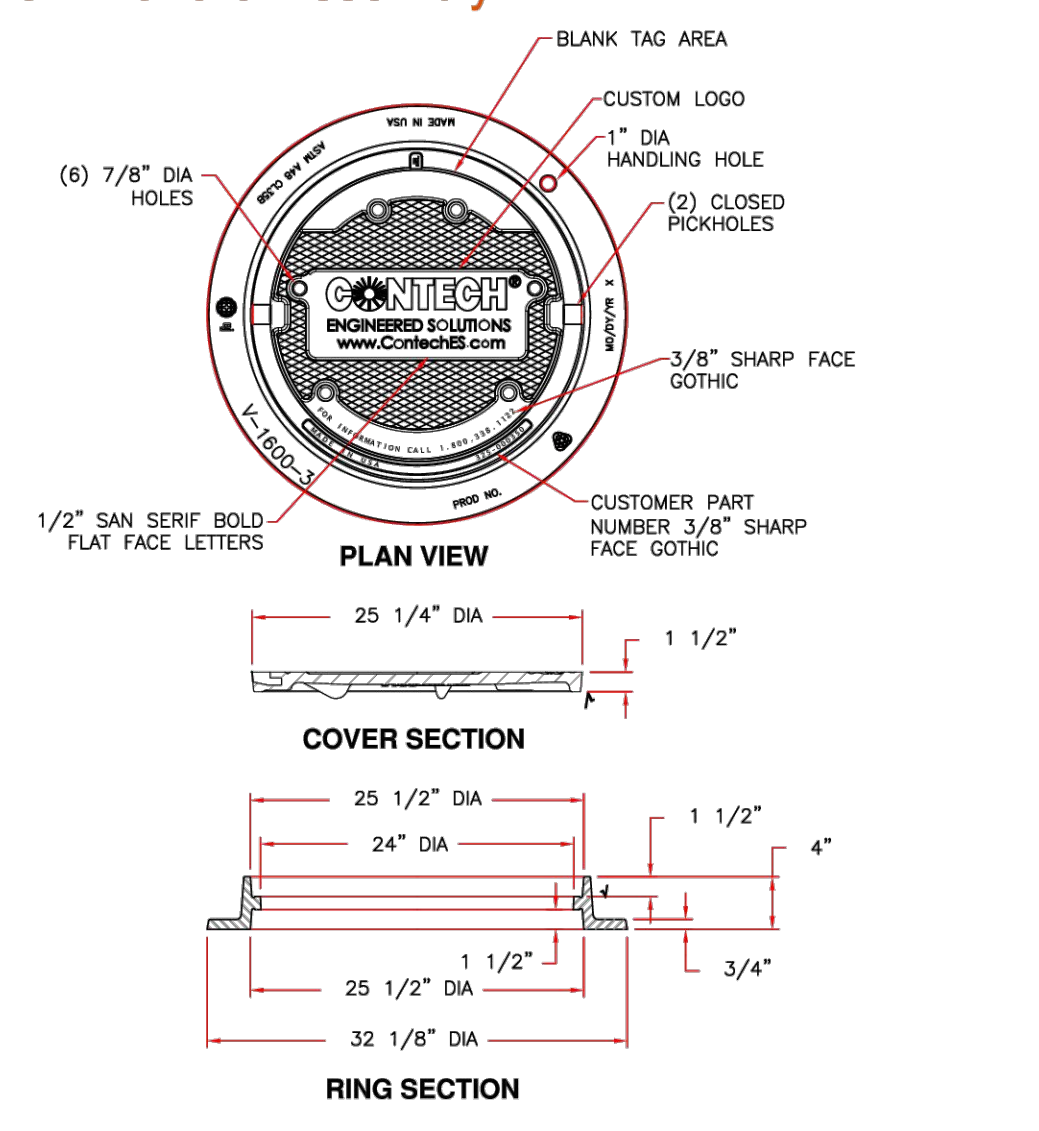
Major Components
 00180783
 41600410

Drawing Revision
 02/20/2017 Designer: SMH
 6/26/2017 Revised By: DAE

Disclaimer
 While the design (as shown) and drawings are provided by your customer, the responsibility for the final design and construction remains with the customer. This drawing is the property of CONTECH, Inc. and remains confidential information. Registered marks, patents, trade secret information and/or know-how are the property of CONTECH, Inc. All rights reserved.
 Copyright © 2015 CONTECH, Inc.
 All rights reserved.

Contact
 800 338 4653
 ejco.com

V1600-3 V1610-3 Assembly



Product Number
 41600389

Design Features
 -Material: Gray Iron (CL358)
 -Frame: Gray Iron (CL358)
 -Cover: Gray Iron (CL358)

-Design Load: Heavy Duty
 -Open Area: 50%
 -Coating: Uncoated
 -/ : Designates Machined Surface

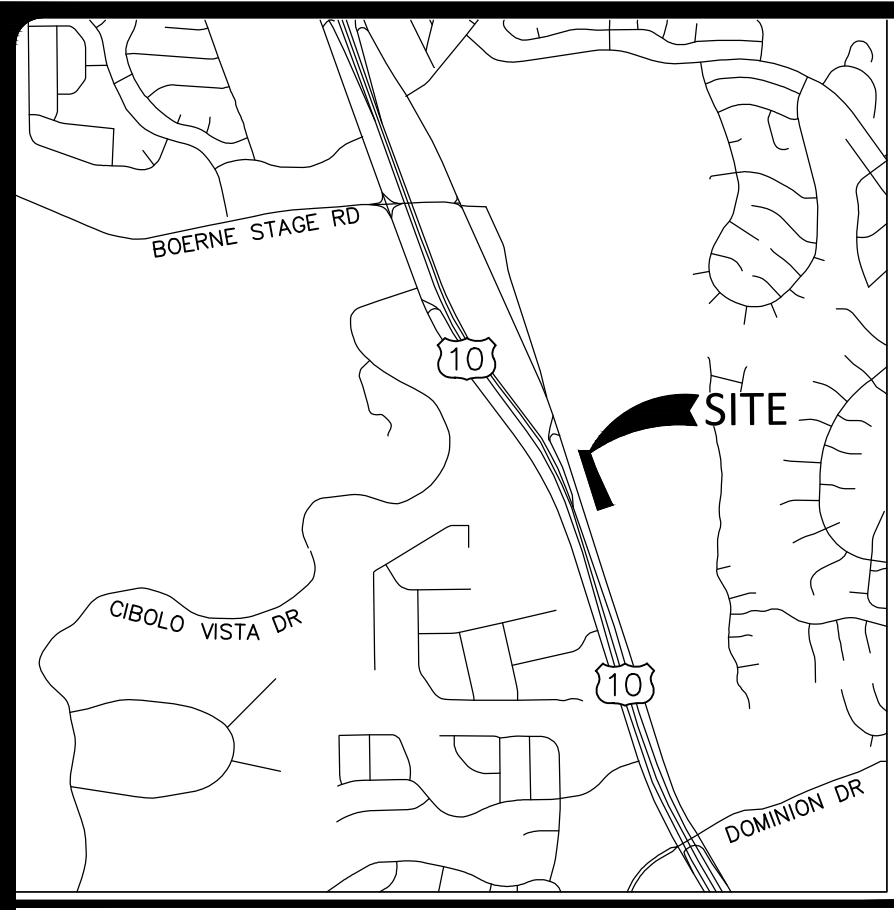
Certification
 -ASTM A48
 -Country of Origin: USA

Major Components
 41600310
 41600374

Drawing Revision
 02/20/2017 Designer: DEW
 6/26/2017 Revised By: DAE

Disclaimer
 While the design (as shown) and drawings are provided by your customer, the responsibility for the final design and construction remains with the customer. This drawing is the property of CONTECH, Inc. and remains confidential information. Registered marks, patents, trade secret information and/or know-how are the property of CONTECH, Inc. All rights reserved.
 Copyright © 2015 CONTECH, Inc.
 All rights reserved.

Contact
 800 338 4653
 ejco.com



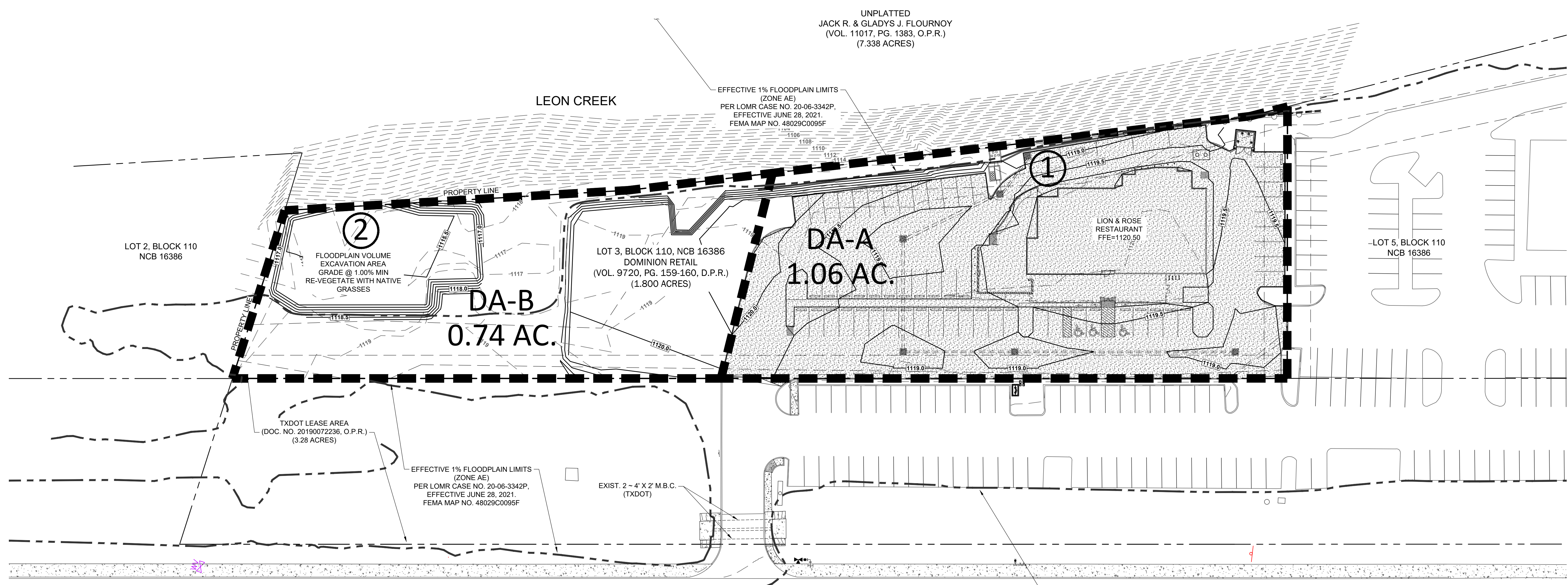
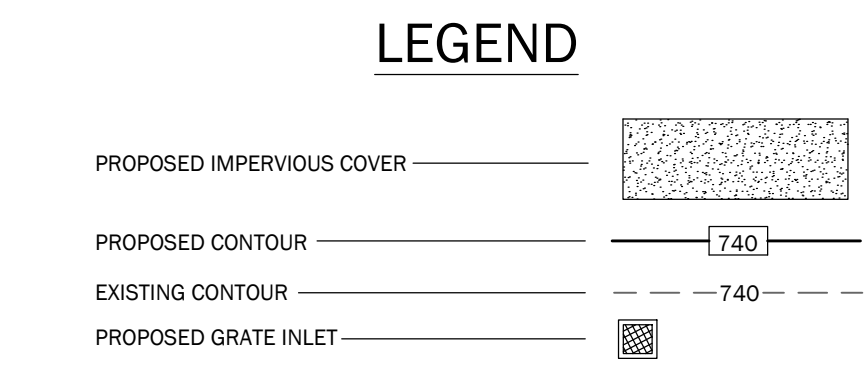
★ LOCATION MAP ★

LION & ROSE RESTAURANT - DOMINION CREEK
RATIONAL METHOD
PEAK DISCHARGE CALCULATIONS

POINT NO.	DRAINAGE AREAS (DA)	AREA (AC.)	RUNOFF COEFFICIENT C	TOTAL CA	TIME OF CONCENTRATION (MIN)	INTENSITY			FLOW (Q=CIA)			COMMENTS
						I ₅ IN/HR	I ₂₅ IN/HR	I ₁₀₀ IN/HR	Q ₅ CFS	Q ₂₅ CFS	Q ₁₀₀ CFS	
EXIST												
1	A	1.06	0.39	0.41	16.0	5.14	7.15	8.94	2.1	3.0	3.7	
2	B	0.74	0.39	0.29	16.0	5.14	7.15	8.94	1.5	2.1	2.6	
PROP/ULT												
1	A	1.06	0.87	0.92	5.2	7.86	11.02	13.88	7.2	10.2	12.8	
2	B	0.74	0.39	0.29	16.0	5.14	7.15	8.94	1.5	2.1	2.6	

PROPOSED IMPERVIOUS COVER

TOTAL SITE ACREAGE: 1.800 AC / 78,400 SF
 PROPOSED IMPERVIOUS COVER: 0.960 AC / 41,800 SF
 IMPERVIOUS COVER %: 53.3%



LION & ROSE RESTAURANT - DOMINION CREEK
RATIONAL METHOD
TIME OF CONCENTRATION CALCULATIONS

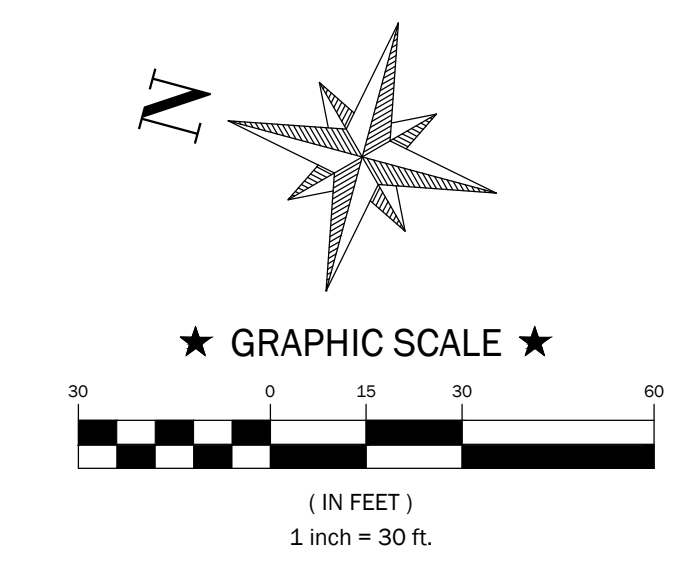
PT. NO.	OVERLAND FLOW (MANNING KINEMATIC EQUATION)				CHANNEL FLOW (MANNING EQUATION)				TIME OF CONCENTRATION (MIN)
	$T_1 = (0.42(nL)^{0.8} / (P2)^{0.5}S^{0.4})$				$T_3 = L / (60V)$				
	LENGTH (FT)	MANNING'S N	SLOPE (FT/FT)	TRAVEL TIME (MIN)	LENGTH (FT)	MANNING'S N	SLOPE (FT/FT)	VELOCITY (FT/S)	
EXISTING									
1	100	0.240	0.010	16.0					16.0
2	100	0.240	0.010	16.0					16.0
PROP/ULT									
1	140	0.018	0.005	3.5	360	0.013	0.005	3.5	1.7
2	100	0.240	0.010	16.0					16.0

LION & ROSE - DOMINION CREEK
RATIONAL METHOD
DRAINAGE AREA CALCULATION SHEET

DRAINAGE AREA	SLOPE		1%-3%				TOTAL CA
	TOTAL ACRES	AVG. RESIDENTIAL R-5, R-6	UNDEVELOPED	GRASS COVER > 75%	SCHOOL SITE / R-4	BUSINESS	
EXIST							
A	1.06						0.41
B	0.74						0.29
PROP/ULT							
A	1.06						0.96
B	0.74						0.29

INTERSTATE HIGHWAY 10
(ASPHALT PAVEMENT)
(ROW VARIES)

EFFECTIVE 1% FLOODPLAIN LIMITS (ZONE AE)
PER LOMR CASE NO. 20-06-3342P,
EFFECTIVE JUNE 28, 2021.
FEMA MAP NO. 48029C0095F



REVISIONS:

RAMONES ENGINEERING
12608, NICHOLAS W. RAMONES, STATE OF TEXAS, LICENSE NO. 12608

PROF/ULT DRAINAGE MASTER
for
LION & ROSE RESTAURANT AT DOMINION CREEK
23330 IH-10 W, SAN ANTONIO, TX 78257

JOB #: C-2213
 DATE: 1/28/2023
 DESIGN: N.M.R.
 DRAWN: N.M.R.
 CHECKED:
 SHEET: 1

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN IMPROPERLY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.



1/31/23
The user of this file agrees to assume all responsibility for any modifications to or use of this drawing file that is inconsistent with the requirements of the Rules and Regulations of the Texas Board of Architectural Examiners. No person may make any modifications to this electronic drawing file without the Landscape Architect's express written permission.

EXISTING TREE PRESERVATION AND REMOVAL NOTES:

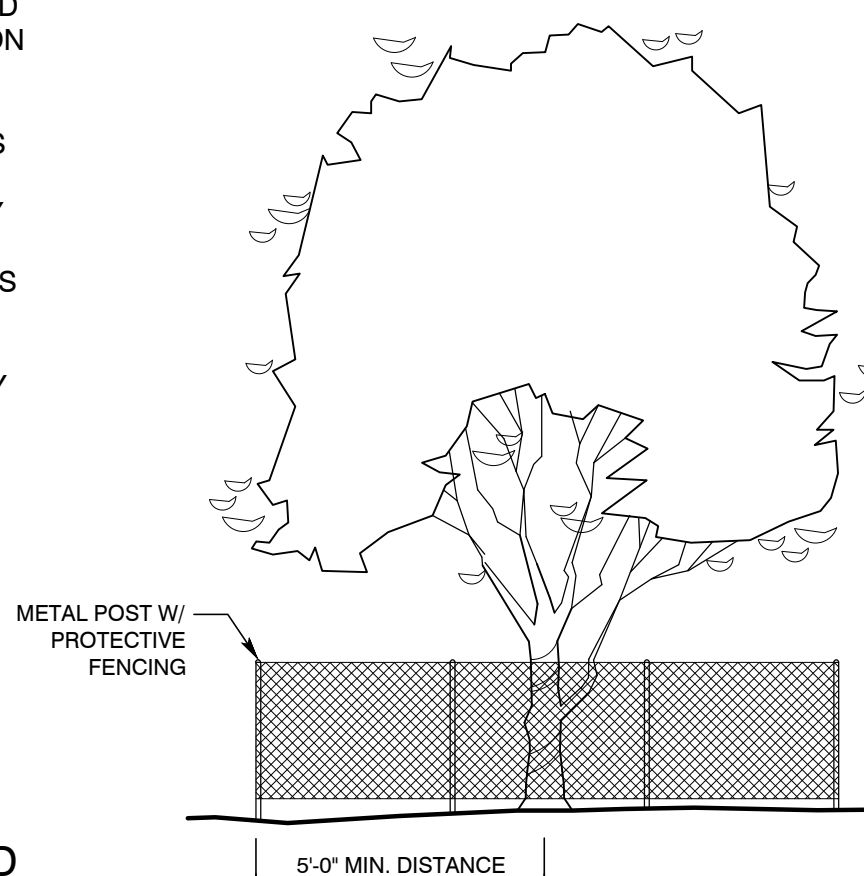
- UNLESS OTHERWISE SPECIFICALLY INDICATED, THIS DOCUMENT SHOWS ONLY EXISTING PROTECTED-SIZE TREES AS DEFINED BY THE CITY OF SAN ANTONIO UNIFIED DEVELOPMENT CODE (THE "UDC") IN EFFECT ON THE DATE HEREOF. CONTRACTOR IS SOLELY RESPONSIBLE FOR INSPECTING THE PROJECT SITE AND DETERMINING FOR HIMSELF IF OTHER EXISTING TREES, SHRUBS, OR VEGETATION ARE PRESENT WHICH MUST BE REMOVED IN ORDER TO CONSTRUCT THE IMPROVEMENTS PROPOSED HEREBY.
- BY ACT OF SUBMITTING A BID TO REMOVE THE EXISTING TREES SHOWN ON THIS PLAN, CONTRACTOR WARRANTS THAT HE (A) HAS PERSONALLY VISITED THE PROJECT SITE, (B) HAS INVESTIGATED THE EXISTING CONDITIONS SUFFICIENTLY TO DETERMINE WHAT, IF ANY, ADDITIONAL EXISTING TREES, SHRUBS, AND VEGETATION MUST BE REMOVED IN ORDER TO CONSTRUCT THE IMPROVEMENTS PROPOSED HEREBY, AND (C) HAS A CLEAR UNDERSTANDING OF THE TERMS "PROTECTED TREE, SIGNIFICANT TREE, HERITAGE TREE, AND FLOOD PLAIN, AND OF ANY OTHER CITY GUIDELINES, STANDARDS, AND REQUIREMENTS WHICH MAY IMPACT REMOVAL OF THE EXISTING TREES DEPICTED ON THIS PLAN.
- IN THE EVENT CONTRACTOR ENCOUNTERS ADDITIONAL EXISTING TREES, SHRUBS, AND VEGETATION NOT SHOWN ON THIS PLAN, BUT WHICH MUST REASONABLY BE REMOVED IN ORDER TO CONSTRUCT THE IMPROVEMENTS PROPOSED HEREBY, CONTRACTOR SHALL REMOVE THE ADDITIONAL EXISTING TREES, SHRUBS, AND VEGETATION AT NO ADDITIONAL COST TO THE OWNER, SUBJECT TO ANY APPLICABLE REQUIREMENTS, GUIDELINES, STIPULATIONS, OR APPROVALS ENFORCED BY THE CITY OF SAN ANTONIO.

EXISTING TREE LEGEND

- = EXISTING PROTECTED TREE TO BE PRESERVED
- = EXISTING EXEMPT TREE TO BE PRESERVED
- = EXISTING EXEMPT TREE TO BE REMOVED
- = EXISTING OFF-SITE TREE

NOTES:

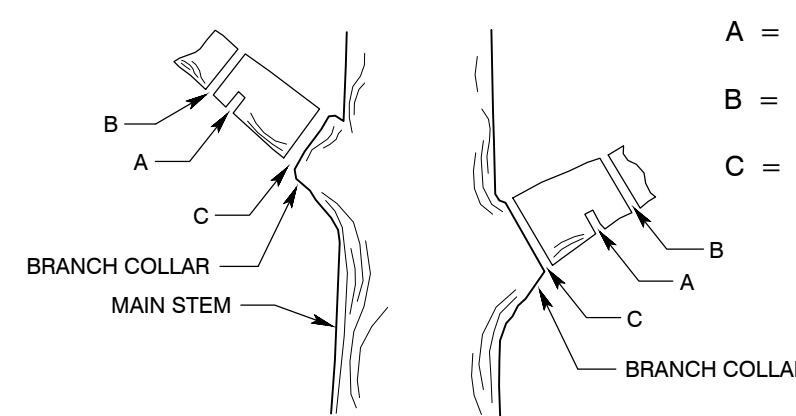
- LANDSCAPE SUBCONTRACTOR TO PROVIDE PRUNING AND FERTILIZATION FOR ALL EXISTING TREES TO BE PRESERVED BY A CITY OF SAN ANTONIO TREE MAINTENANCE LICENSED AND I.S.A. CERTIFIED ARBORIST.
- APPLY APPROVED SLOW-RELEASE FERTILIZER INJECTED INTO SOIL BEFORE CONSTRUCTION COMMENCES AND AGAIN AFTER CONSTRUCTION IS COMPLETE.
- ALL PRUNING OF EXISTING TREES MUST COMPLY WITH THE CITY OF SAN ANTONIO'S APPROVED PRUNING DETAIL AND IS TO BE DONE UNDER THE FIELD DIRECTION OF THE OWNER AND/OR LANDSCAPE ARCHITECT.
- PROTECTIVE FENCING MUST BE IN PLACE BEFORE ANY CONSTRUCTION ACTIVITIES MAY COMMENCE.
- PROTECTIVE FENCING TO BE A MIN. 4'-0" HT. EXTENDING FROM TRUNK 12" PER CALIPER INCH OF TREE (MINIMUM 5'-0" ON ONE SIDE ONLY). THE OPTIMUM DISTANCE IS TO INSTALL FENCE DIRECTLY BENEATH DRIPLINE OF TREE AS SHOWN.
- PROTECTIVE FENCING TO BE STAKED IN FIELD BY CONTRACTOR AND APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- DURING CONSTRUCTION, NO EXCESS SOIL, FILL MATERIAL, EQUIPMENT, LIQUIDS, OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE PROTECTIVE FENCING, NOR SHALL ANY SOIL BE REMOVED FROM WITHIN THE FENCING.
- APPLY COARSE GROUND OR SHREDDED ORGANIC BARK MULCH TO 6" DEPTH @ ALL EXISTING TREES TO BE PRESERVED.
- THE PROPOSED FINISH GRADE WITHIN THE ROOT PROTECTION ZONE ("RPZ") OF ANY TREE TO BE PRESERVED SHALL NOT BE RAISED OR LOWERED MORE THAN THREE (3) INCHES.



TREE PROTECTION DETAIL
NOT TO SCALE

PRUNING NOTES:

- ALL PRUNING IS TO BE DONE BY A LICENSED ARBORIST UNDER THE FIELD DIRECTION OF THE OWNER AND/OR LANDSCAPE ARCHITECT.
- WHERE FEASIBLE, PRUNE TREES BEFORE COMMENCEMENT OF CONSTRUCTION.
- PAINT ALL WOUNDS ON OAK TREES WITHIN 30 MINUTES OF PRUNING.



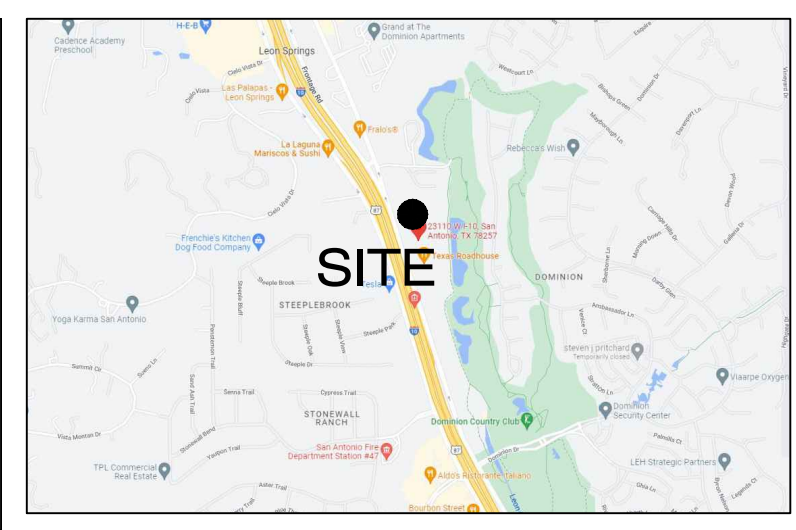
TREE PRUNING DETAIL
NOT TO SCALE

EXISTING TREE INVENTORY - 1997 Ordinance per RD #22-12500025

TAG#	SPECIES	SIZE	SIGNIFICANT PRESERVED	SIGNIFICANT REMOVED	HERITAGE PRESERVED	HERITAGE REMOVED	PROTECTED CAL. INCHES EXEMPT	COMMENTS
2501	Cedar	12					12	Easement; Removed
2502	Pecan	7					7	Easement; Removed
2503	Sycamore	10	10					
2504	Hackberry	15					15	Offsite; Preserved
2505	Cedar	12	12					
2506	Pecan	7					7	Easement; Removed
2507	Mesquite	10					10	Easement; Removed
2508	Mesquite	12					12	Easement; Preserved
2509	Hackberry	16					16	Offsite; Preserved
2510	Hackberry	10					10	Offsite; Preserved
2511	Hackberry	15					15	Offsite; Preserved
2512	Sycamore	16					16	Easement; Removed
2513	Sycamore	15					15	Easement; Preserved
2514	Sycamore	11	11					
2515	Hackberry	16					16	Offsite; Preserved
2516	Persimmon	7					7	Offsite; Preserved
2517	Pecan	18					18	Easement; Removed
2518	Mesquite	18					18	Easement; Preserved
2519	Live Oak	10					10	Easement; Preserved
2520	Mesquite	12					12	Easement; Preserved
TOTALS		249	33	0	0	0	216	

TREE PRESERVATION SUMMARY

TOTAL CAL. INCHES ON-SITE:	249
PROTECTED CAL. INCHES ON-SITE:	33
Significant Cal. Inches On-Site:	33
Significant Cal. Inches Preserved:	33
Significant Cal. Inches Exempt:	216
Significant Class Preservation Ratio:	100.00%
Required Significant Preservation Ratio:	25%
Significant Class Excess / (Mitigation):	24.8
HERITAGE CAL. INCHES ON-SITE:	0
Heritage Cal. Inches Removed:	0
Heritage Class Mitigation Ratio:	2.1
Heritage Class Excess / (Mitigation):	0.0
Significant Class Excess / Mitigation:	24.8
TOTAL EXCESS / (MITIGATION)	25



VICINITY MAP (N.T.S.)

OWNER
MR. A. THARP

16109 University Oak
San Antonio, TX 78249

PROJECT
DOMINION CREEK RESTAURANTS

23110 W I-10
San Antonio, Texas 78257

REVISIONS

PROJECT NUMBER
2022-285

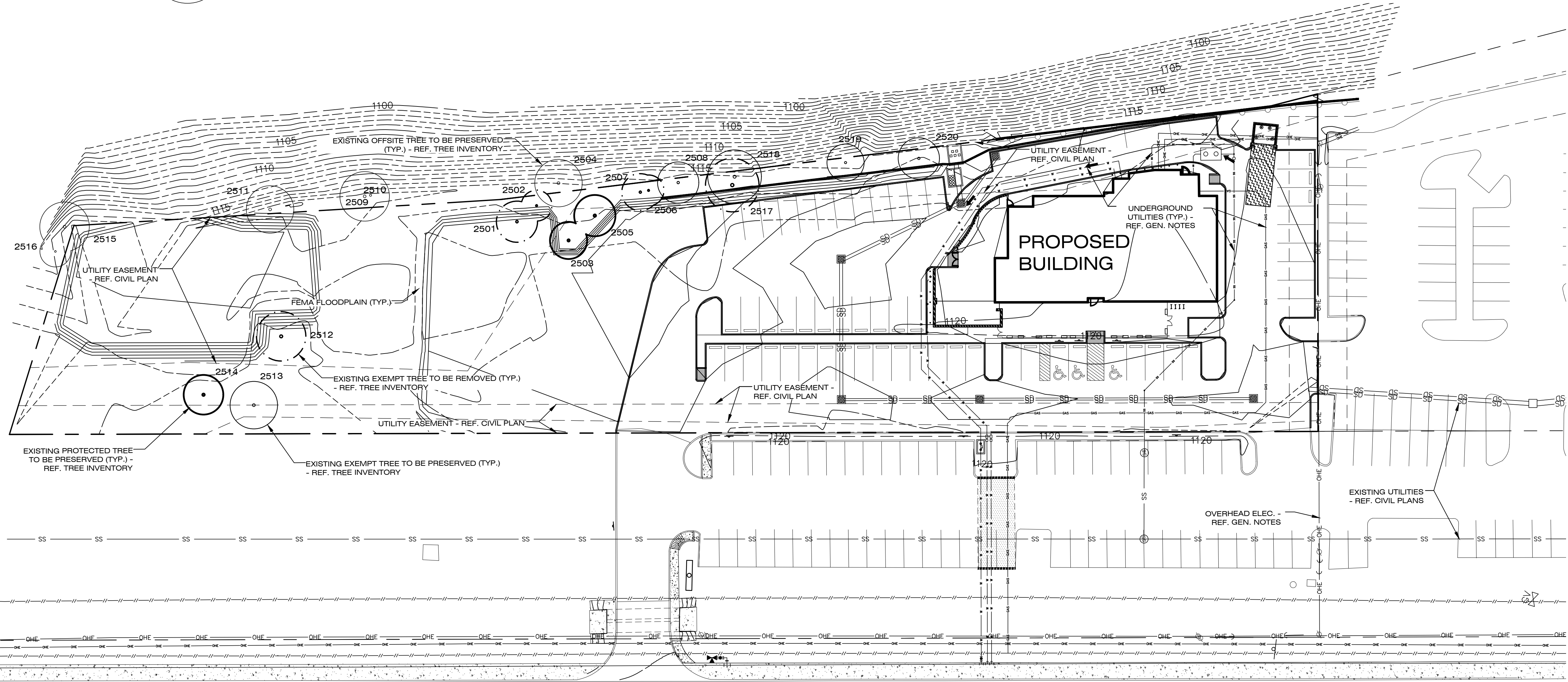
Drawn By: ev
Checked By: jr

Sheet Title:
TREE PRESERVATION PLAN

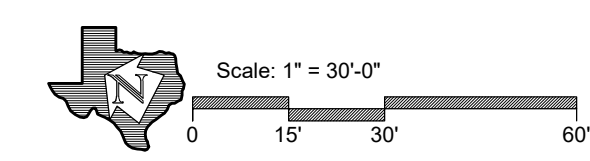
Sheet Number:

TP1.0

Issue Date:
January 31, 2023



IH-10 Frontage Road



LANDSCAPE ORDINANCE COMPLIANCE
60 POINT MINIMUM (1997 UDC)

- 1. TREE PRESERVATION 14.5 POINTS**
FULL CREDIT TREES WITHIN THE STREET YARD (20 Point Maximum):
(1) 15" SYCAMORE (#2513): 5 Points
(1) 12" SYCAMORE (#2511): 5 Points
HALF CREDIT TREES OUTSIDE THE STREET YARD (15 Point Maximum):
(1) 12" CEDAR (#s 2505): 2.5 Points
(1) 10" SYCAMORE (#2503): 1.5 Points
TOTAL POINTS: 14.5 Points
- 2. PARKING LOT LANDSCAPING 25 POINTS**
PROVIDED AS REQUIRED.
- 2. UNDERSTORY PRESERVATION 5 POINTS**
PROVIDED AS REQUIRED.
- TOTAL: 64.5 POINTS**

TREE PRESERVATION ORDINANCE COMPLIANCE
REF. TO TP1.0 FOR TREE INVENTORY.

TREE CANOPY and BUFFER ORDINANCE COMPLIANCE

Per RD #22-1250025, this project maintains vested development rights to June 22, 1983 and is exempt from the tree canopy and buffer Ordinance requirements.

GENERAL NOTES:

- REFER TO SPECIFICATIONS FOR ALL CONTRACT PLANTING.
- INSTALL APPROVED IMPORTED PLANTING MIX TO MIN. DEPTH OF 6" IN ALL AREAS SCHEDULED AS LANDSCAPE PLANTING AREAS.
- INSTALL APPROVED IMPORTED TOPSOIL TO 4" DEPTH IN ALL TURFGRASS AREAS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN THE FIELD PRIOR TO INSTALLATION AND MUST REPORT ANY DEVIATION IN SITE CONDITIONS TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK IN THE AFFECTED AREA.
- WHERE SHOWN ON THESE PLANS, UTILITY INFORMATION IS PROVIDED FOR REFERENCE ONLY. REF. CIVIL AND MEP PLANS FOR ALL UTILITY INFORMATION.
- VERIFY LOCATION AND DEPTH OF ALL EXISTING AND PROPOSED UTILITIES PRIOR TO ANY EXCAVATION. IN THE EVENT POTENTIAL CONFLICT(S) OCCUR BETWEEN UTILITIES AND LANDSCAPE IMPROVEMENTS, IMMEDIATELY CEASE WORK IN THE AFFECTED AREA, REPORT THE CONFLICT(S) TO THE OWNER'S REPRESENTATIVE, AND DO NOT PROCEED UNTIL RECEIPT OF SPECIFIC WRITTEN DIRECTION.

URBAN DEER NOTES:

- AT THE TIME THESE DOCUMENTS WERE PREPARED THE LANDSCAPE ARCHITECT WAS NOT AWARE OF A LOCAL URBAN DEER POPULATION.
- IN THE EVENT AN URBAN DEER POPULATION IS DISCOVERED, CONTRACTOR IS SOLELY RESPONSIBLE FOR PROTECTING ALL NEWLY-INSTALLED PLANTS THROUGH THE 30-DAY MAINTENANCE PERIOD.
- APPLY "LIQUID FENCE" (OR APPROVED EQUAL) TO ALL PLANTS AS NEEDED TO DISCOURAGE BROWSING BY DEER.
- ANY NEWLY-INSTALLED PLANTS EATEN OR BROWSED BY DEER PRIOR TO THE EXPIRATION OF THE 30-DAY MAINTENANCE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.

OVERHEAD ELECTRIC NOTES:

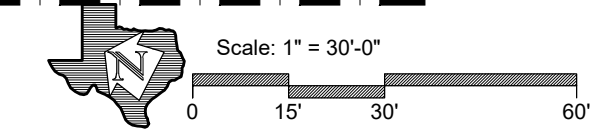
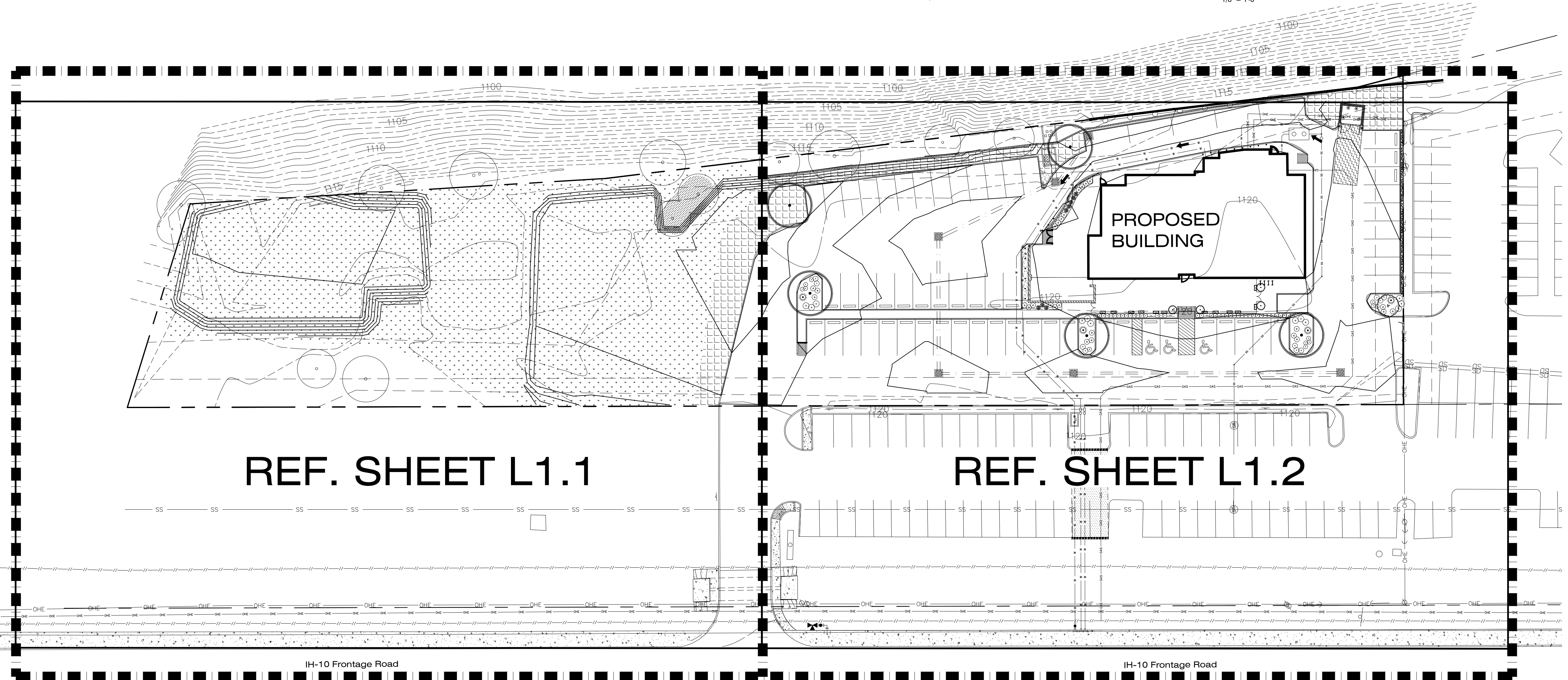
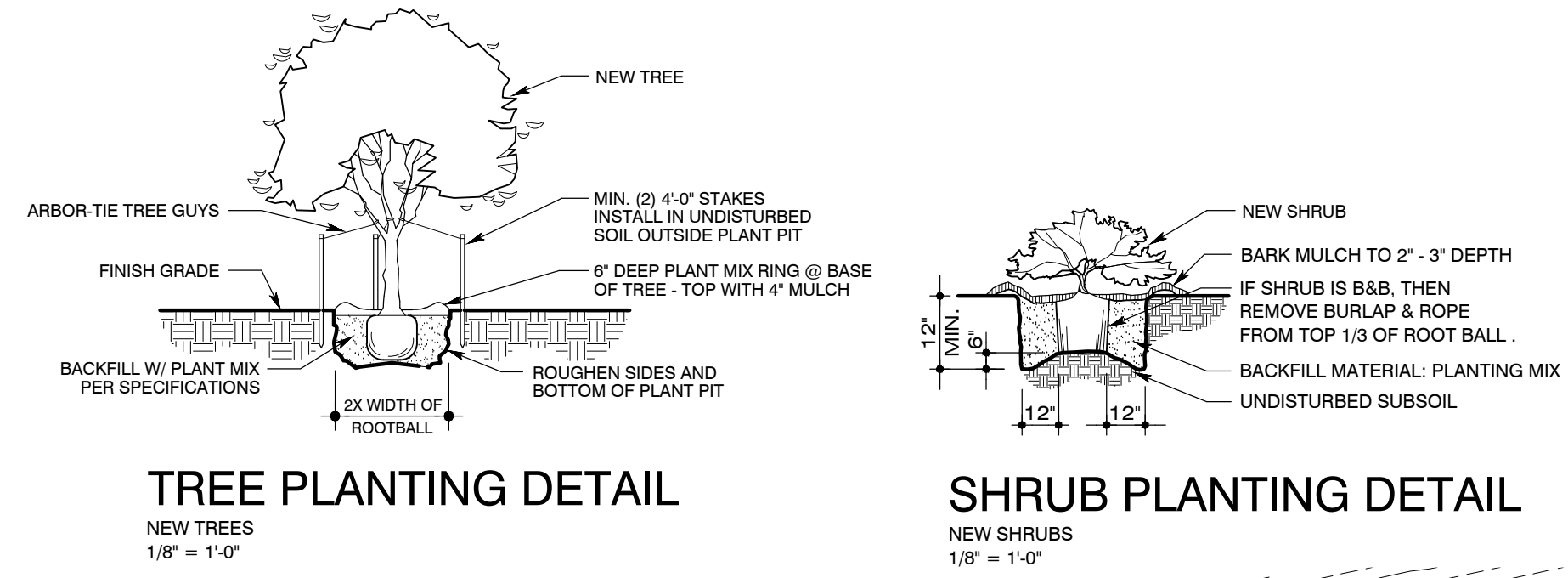
- ALL PROPOSED LARGE SPECIES TREES (AS DEFINED BY THE UNIFIED DEVELOPMENT CODE IN EFFECT HEREOF) SHALL BE PLANTED NO CLOSER THAN 20' TO ALL OVERHEAD ELECTRIC UTILITY LINES.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD LOCATING ALL OVERHEAD ELECTRIC UTILITY LINES AND ENSURING THAT NO LARGE SPECIES TREES ARE PLANTED WITHIN 20' OF ANY OVERHEAD ELECTRIC UTILITY LINES.
- WHERE CITY INSPECTORS FIND ANY PROPOSED LARGE SPECIES TREES TO BE IN VIOLATION OF PROXIMITY TO OVERHEAD ELECTRIC UTILITY LINES, THE CONTRACTOR SHALL RELOCATE TREES AT NO ADDITIONAL COST TO THE OWNER.

PLANT SCHEDULE

SIZE = CALIPER OR SPREAD

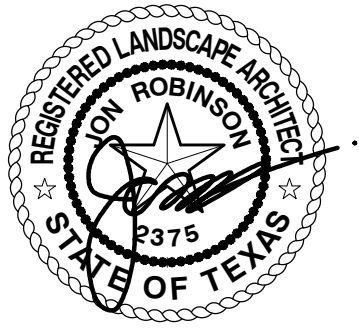
SYM.	SCIENTIFIC NAME	COMMON NAME	HGT.	SIZE	CONDITION	REMARKS
TREES						
CS	Cupressus sempervirens	MEDITERRANEAN CYPRESS	-	15 - GAL	B and B	EVERGREEN / SINGLE STEM
OS	Quercus shumardii	SHUMARD OAK	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM
OV	Quercus virginiana	LIVE OAK	-	3" CAL.	B and B	EVERGREEN / SINGLE STEM
SS	Sophora secundiflora	MOUNTAIN LAUREL	-	2" CAL.	B and B	EVERGREEN / MULTI-TRUNKED
UC	Ulmus crassifolia	CEDAR ELM	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM
SHRUBS						
DW	Dasyliroton wheeleri	SOTOL	-	5 GAL.		ACCENT / PLANT AT AS SHOWN
LMY	Lantana montevidensis 'New Gold'	'NEW GOLD' LANTANA	-	1 GAL.		PERENNIAL / PLANT AT 30" O.C.
NT	Nassella tenuissima	INDIAN FEATHER GRASS	-	1 GAL.		ACCENT / PLANT AS SHOWN
ROP	Rosmarinus officinalis 'Prostrata'	PROSTRATE ROSEMARY	-	1 GAL.		EVERGREEN / PLANT @ 24" O.C.
SG	Salvia greggii	RED SALVIA	-	3 GAL.		EVERGREEN / PLANT AT 30" O.C.
SL	Salvia leucantha	MEXICAN BUSH SAGE	-	5 GAL.		EVERGREEN / PLANT AT 3'-0" O.C.
GROUNDCOVERS AND GRASSES						
	Cynodon dactylon '419'	'419' HYBRID BERMUDAGRASS	-		SOLID SOD	SEE SPECIFICATIONS
		ANNUAL COLOR	-	4" POTS		SELECTED BY CONTRACTOR / PLANT @ 9" O.C.
		DECOMPOSED GRANITE	-			APPLY TO 3" COMPACTED DEPTH OVER SUBGRADE W/ GEO-TEXTILE WEED BARRIER AND PRE-EMERGENT HERBICIDE. FILL UNDER ADJACENT SHRUBS.
		3" - 4" TEXAS BLEND RIVER ROCK	-			APPLY TO 4" DEPTH OVER COMPACTED SUBGRADE W/ GEO-TEXTILE WEED BARRIER AND PRE-EMERGENT HERBICIDE. FILL UNDER ADJACENT SHRUBS.
		ORGANIC BARK MULCH	-			PROVIDE TO 6" DEPTH @ EXISTING TREES TO BE PRESERVED

2



HORIZON
DESIGN AND DEVELOPMENT

PLANNING LANDSCAPE ARCHITECTURE
DEVELOPMENT CONSULTING
14607 San Pedro Ave., Suite 200
San Antonio, Texas 78232
210.831.8564 jrobison@horizondesign-sa.com



3823
The user of this file agrees to assume all responsibility for any modifications to or use of this drawing file that is inconsistent with the requirements of the Rules and Regulations of the Texas Board of Architectural Examiners. No person may make any modifications to this electronic drawing file without the Landscape Architect's express written permission.

OWNER
MR. A. THARP

16109 University Oak
San Antonio, TX 78249

PROJECT
DOMINION CREEK RESTAURANTS

23110 W I-10
San Antonio, Texas 78257

- REVISIONS**
- Site Update 02/24/23
 - Site Update 03/08/23

PROJECT NUMBER
2022-285

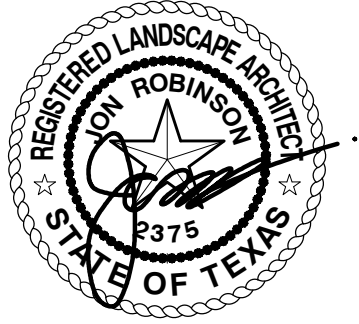
Drawn By: ev
Checked By: jr

Sheet Title:
OVERALL LANDSCAPE PLANTING PLAN

Sheet Number:

L1.0

Issue Date:
January 31, 2023



2.24.23

The user of this file agrees to assume all responsibility for any modifications to or use of this drawing file that is inconsistent with the requirements of the Rules and Regulations of the Texas Board of Architectural Examiners. No person may make any modifications to this electronic drawing file without the Landscape Architect's express written permission.

OWNER
MR. A. THARP

16109 University Oak
 San Antonio, TX 78249

PROJECT
DOMINION CREEK RESTAURANTS

23110 W I-10
 San Antonio, Texas 78257

REVISIONS
 1. Site Update 02/24/23

PROJECT NUMBER
2022-285

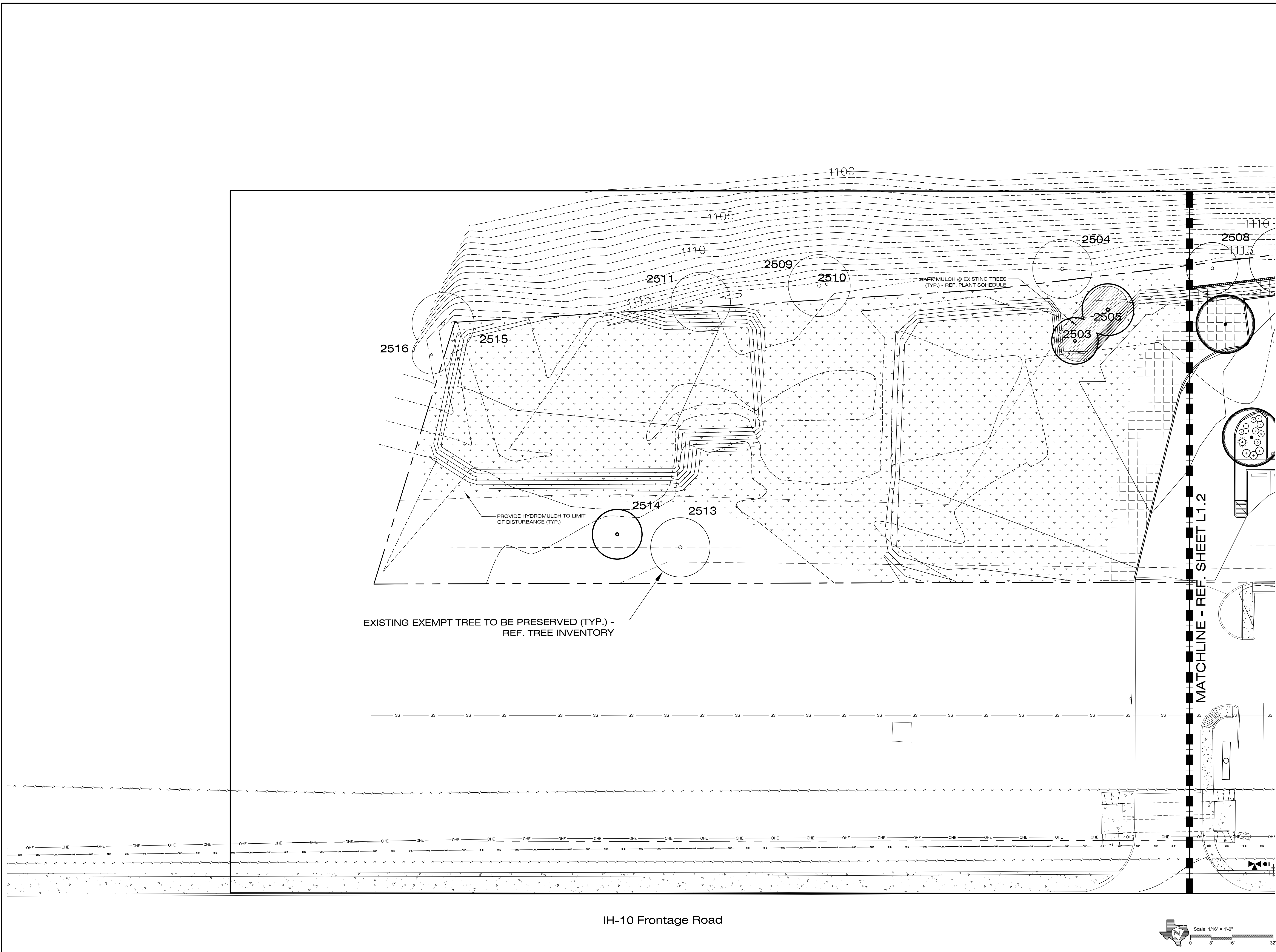
Drawn By: ev
 Checked By: jr

Sheet Title:
ENLARGED LANDSCAPE PLANTING PLAN

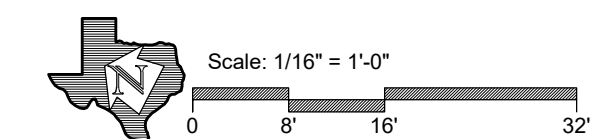
Sheet Number:

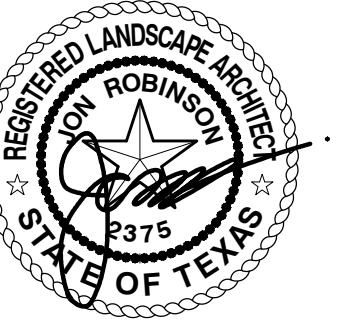
L1.1

Issue Date:
January 31, 2023



IH-10 Frontage Road





3823

The user of this file agrees to assume all responsibility for any modifications to or use of this drawing file that is inconsistent with the requirements of the Rules and Regulations of the Texas Board of Architectural Examiners. No person may make any modifications to this electronic drawing file without the Landscape Architect's express written permission.

OWNER
MR. A. THARP

16109 University Oak
 San Antonio, TX 78249

PROJECT
DOMINION CREEK RESTAURANTS

23110 W I-10
 San Antonio, Texas 78257

REVISIONS
 1. Site Update 02/24/23
 2. Site Update 03/08/23

PROJECT NUMBER
2022-285

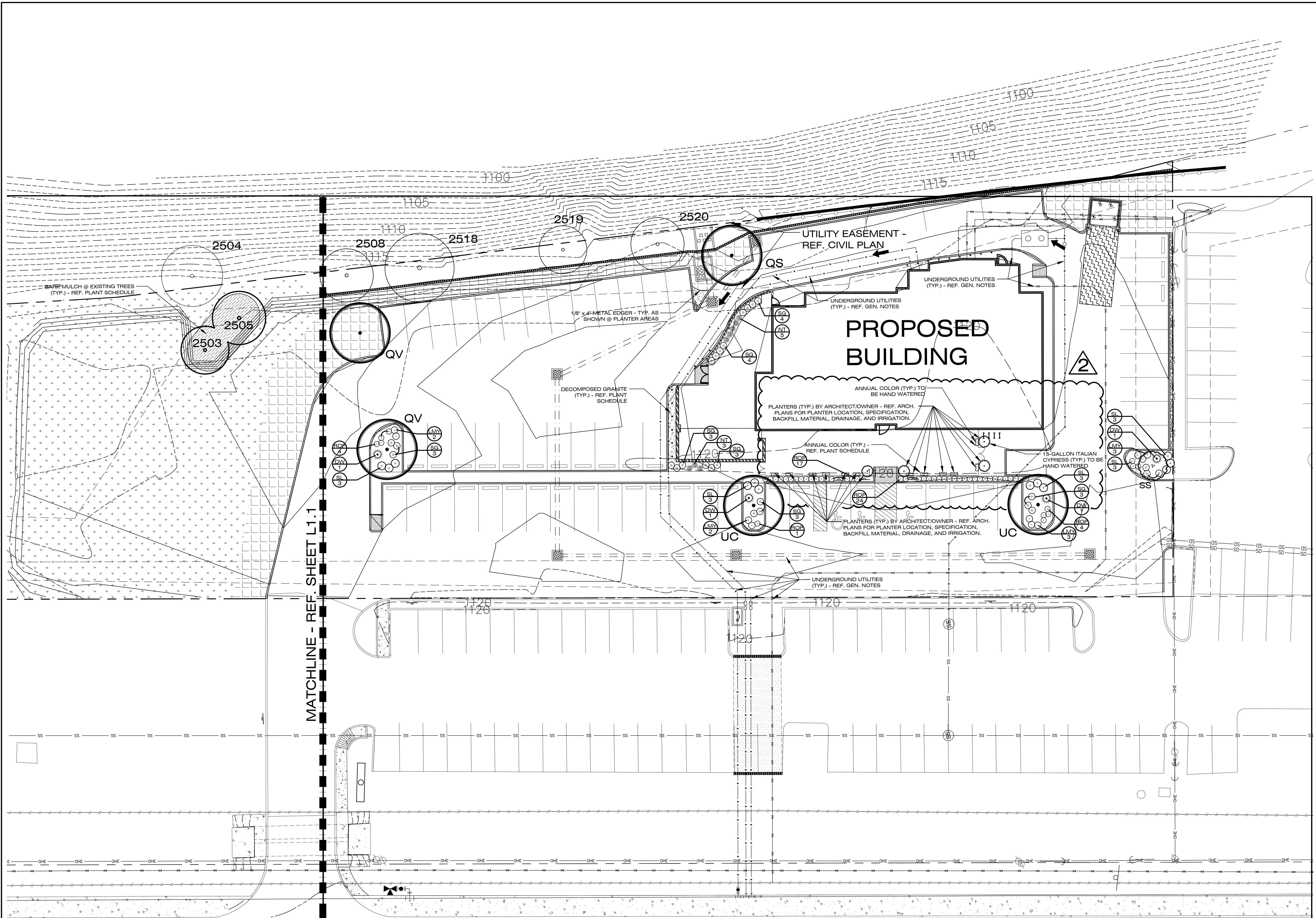
Drawn By: ev
 Checked By: jr

Sheet Title:
ENLARGED LANDSCAPE PLANTING PLAN

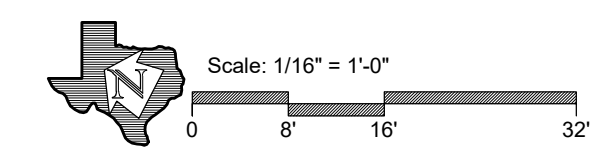
Sheet Number:

L1.2

Issue Date:
January 31, 2023



IH-10 Frontage Road



PRESSURE REQUIREMENT CALCULATIONS @ ZONE No. 2	
DESIGN STATISTICS FOR CALCULATIONS	
Total Zone Flow:	11.4 g.p.m.
Electric Valve Size:	1"
Static Pressure Less 10% (static @ 65 psi):	58.5 p.s.i.
ACCUMULATIVE LOSSES FROM CITY MAIN TO FURTHEST HEAD	
Sprinkler head requirement:	40 p.s.i.
Zone Pipe/Fitting Loss:	1.9 p.s.i.
1" Electric Valve Loss:	2.3 p.s.i.
Elevation Net Loss (+/- FT.):	n/a
System Mainline Loss (1.5" Sch-40 Main):	2.4 p.s.i.
Backflow Preventer Loss (1"):	4.0 p.s.i.
Water Meter Loss (5/8"):	5.1 p.s.i.
Master Electric Valve Loss (1"):	2.3 p.s.i.
Type K Copper Service Loss:	
Total Net Loss:	18.00 p.s.i.
Design Pressure:	58.00 p.s.i.

Notes: System requires a minimum of 58 psi static pressure for system to operate properly. Irrigation Contractor shall conduct on site pressure test to verify site pressure prior to starting work. Contractor shall notify Owners Representative of pressure deficiencies or any other on site problems that may alter the effectiveness of the system. Pipe has been size to insure that velocity does not exceed 5 FPS. do not change pipe size in the field without consulting system designer.

4 CRITICAL LOSS CHART

TYPICAL WEEKLY SCHEDULE BASED ON PRECIPITATION RATE				
Precipitation Rate (in/hr)	Water Desired (in/wk)	Time/Cycle (min)	No. of Zones	Total Time * (Min. Hrs.)
Turf Rotor Zone .64	.80			
MP Rotator Spray .44	.80	107.0	2	214 3.5
Turf Drip Zones .85	.80			
Drip Zones .55	.80	88.0	1	88 1.5
Tree Bubblers 3.87	.80	12.0	1	12 .20
Total System Hours of Operation Per Week				5.2

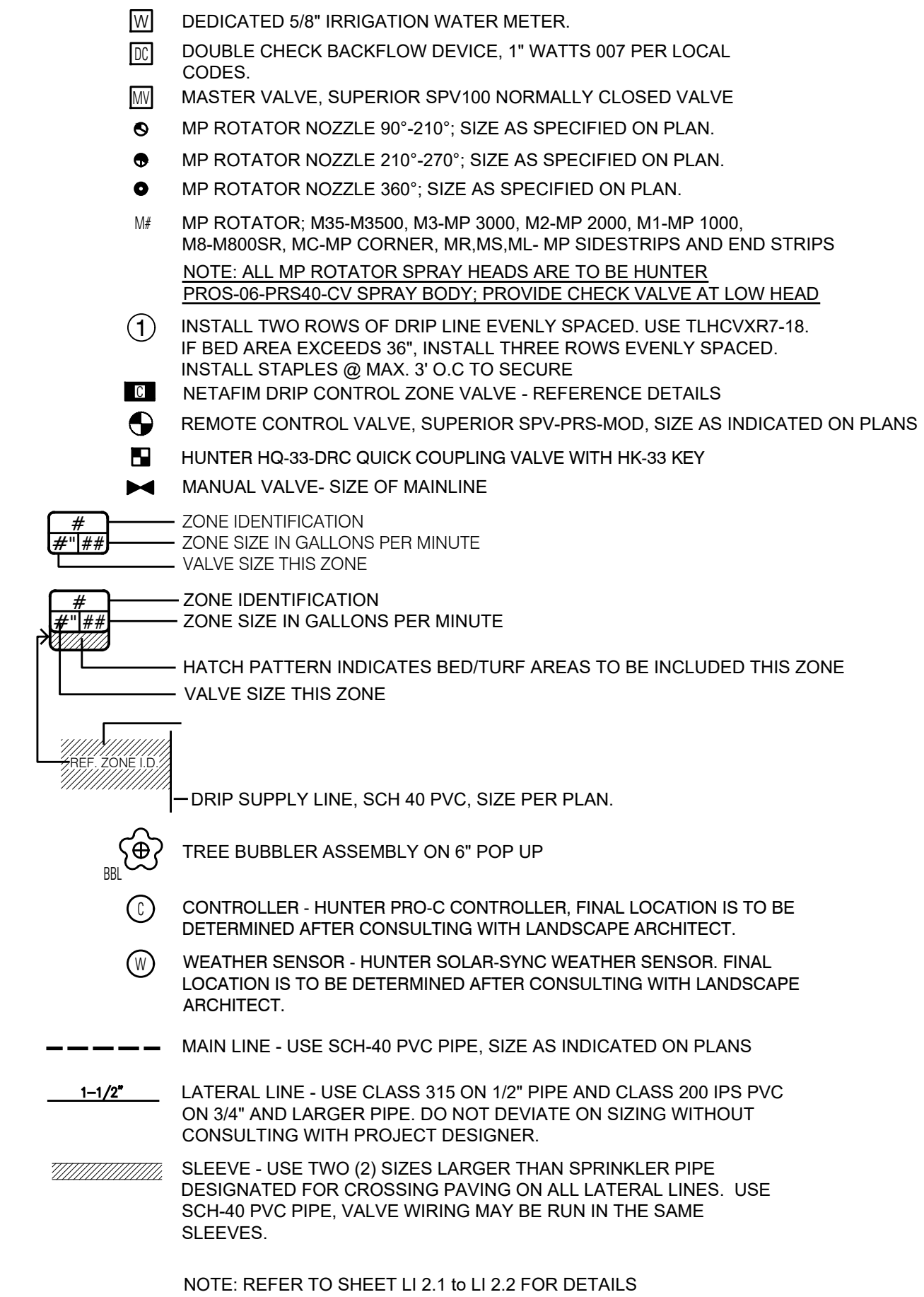
* IT WILL BE NECESSARY TO WATER MULTIPLE ZONES AT ONE TIME TO MEET WATERING WINDOW. A TYPICAL SCHEDULE WOULD ALLOW WATERING TO OCCUR TWO TIMES PER WEEK. TOTAL WATERING TIME WOULD BE DIVIDED BY THE NUMBER OF WATERING DAYS. THIS SCHEDULE IS DESIGNED FOR SUMMER WATER USAGE AND ESTABLISHMENT OF NEW PLANTING.

3 VALVE SCHEDULE

CONSTRUCTION NOTES:

- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH THE SPECIFICATIONS AND ALL SUBMITTAL REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO NOTIFY THE OWNER'S REPRESENTATIVE FOR SITE INSPECTIONS AS SPECIFIED IN THE SPECIFICATIONS. FAILURE TO NOTIFY THE OWNER'S REPRESENTATIVE DOES NOT RELIEVE THE CONTRACTOR FROM INSPECTION APPROVAL AND WILL REQUIRE THE CONTRACTOR TO UNCOVER WORK AS REQUIRED FOR APPROVAL AT THE COST OF THE CONTRACTOR. IRRIGATION CONTRACTOR IS TO INFORM OWNER'S REPRESENTATIVE OF THE START DATE OF WORK.
- THE IRRIGATION CONTRACTOR IS REQUIRED BY LAW TO NOTIFY TEXAS ONE CALL (800-245-4545) 72 HOURS PRIOR TO ANY EXCAVATION. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. IRRIGATION CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES WHETHER OR NOT TEXAS ONE CALL IS NOTIFIED.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WITHOUT VERIFYING ACTUAL ON-SITE WATER PRESSURE FROM THE SOURCE. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS AS REQUIRED TO ACCOMPLISH IRRIGATION INSTALLATION.
- DUE TO SCALE OF DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS SLEEVES, ETC., WHICH MAY BE REQUIRED. IRRIGATION CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK AND PLAN HIS WORK ACCORDINGLY. FURNISHING SUCH FITTINGS, ETC., AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEM, PLANTING AND ARCHITECTURAL FEATURES. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS AND WITHIN PROPERTY LINES.
- DURING INSTALLATION IT IS THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO COORDINATE PIPING WITH THE LANDSCAPE SUBCONTRACTOR TO AVOID CONFLICT WITH PROPOSED PLANTING. IT WILL BE THE RESPONSIBILITY OF THE IRRIGATION SUBCONTRACTOR TO MOVE PIPING TO ALLOW PROPER PLACEMENT OF PLANT MATERIAL. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
- NO MACHINE TRENCHING IS TO BE DONE WITHIN THE DRIPLINE OF EXISTING TREES. TRENCHING IS TO BE DONE BY HAND, AIR-SPADE OR BY TUNNELING UNDER ROOT SYSTEM BY METHOD APPROVED BY LANDSCAPE ARCHITECT. PIPING LAYOUT IS DIAGRAMMATIC AND PIPING SHALL BE ROUTED AROUND EXISTING TREES AS POSSIBLE TO AVOID DAMAGE TO THE ROOT SYSTEMS. DO NOT CUT ANY ROOT OVER 3/4" DIAMETER UNLESS APPROVAL FROM THE LANDSCAPE ARCHITECT IS FIRST OBTAINED. ANY CUTS MADE SHALL BE CLEAN AND WITHOUT FRADED ENDS.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR SLEEVES AND CHASES WHEREVER PIPING OR CONDUIT PASSES, UNDER ALL PAVING, THROUGH WALLS, ETC. ALL SLEEVE LOCATIONS MAY NOT BE SHOWN ON PLAN. COORDINATE WITH ARCHITECTURAL AND CIVIL DRAWINGS. GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS AS REQUIRED. ALL SLEEVE AND CHASE LOCATIONS ARE NOT NOTED ON PLAN. ALL SLEEVES 4" OR LESS SHALL BE SCH-40 PVC. ALL SLEEVES 6" OR GREATER SHALL BE CLASS-200 PVC. ALL SLEEVES TO BE SIZED TWICE THE DIAMETER OF PIPE OR COMBINATION OF PIPES ENCLOSED WITHIN THE SLEEVE.
- CONFIRM STATIC WATER PRESSURE AT LEAST 7 DAYS BEFORE BEGINNING WORK. IF STATIC WATER PRESSURE IS LESS THAN STATED IN PRESSURE CALCULATIONS DO NOT PROCEED UNTIL DIRECTED SO BY THE LANDSCAPE ARCHITECT. IF ACTUAL SITE STATIC PRESSURE EXCEEDS DESIGN PRESSURE BY 15 P.S.I. IN ANY ZONE, A PRESSURE REDUCING VALVE SHALL BE INSTALLED. REFER TO DETAILS FOR MODEL.
- ADJUSTABLE FLOW CONTROLS SHALL BE REQUIRED ON CIRCUIT REMOTE CONTROL VALVE. PRESSURE AT ANY POINT WITHIN A ZONE SHALL NOT VARY BY MORE THAN 10% FROM THE DESIGN SPRINKLER OPERATING PRESSURE. SEE SPECIFICATIONS FOR TESTING.
- THE CONTRACTOR SHALL BE A REGISTERED LICENSED IRRIGATOR IN THE STATE OF TEXAS. CONTRACTOR MUST CONFORM TO ALL CODES AS STATED IN SECTION 344 OF THE TEXAS WATER CODE AS OUTLINED BY TCEQ.
- OBTAIN COVERAGE TEST APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO PLANTING, SODDING OR SEEDING.
- ALL UNDESIGNATED END LATERAL PIPING SHALL BE 1/2" IN SPRAY ZONES AND 3/4" IN ROTOR ZONES.
- SPRINKLER HEAD SPACING SHALL NOT EXCEED 50% OF SPRAY DIAMETER BASED ON MANUFACTURERS OPERATING SPECIFICATIONS. SPRINKLER HEAD SPACING SHALL BE DESIGNED FOR HEAD-TO-HEAD COVERAGE OR HEADS SHALL BE SPACED AS PER MANUFACTURER'S RECOMMENDATIONS AND ADJUSTED FOR PREVAILING WINDS. THE SYSTEM SHALL BE DESIGNED SO THAT IRRIGATION IS NOT APPLIED TO VEHICULAR TRAFFIC LANES, OTHER PAVEMENT OR STRUCTURES.
- ALL ROTORS SHALL BE LOCATED 12" FROM PAVEMENT, CURBS OR EDGE OF STRUCTURE. ALL SPRAY HEADS SHALL BE LOCATED 6" FROM PAVEMENT, CURBS OR EDGE OF STRUCTURE.
- VALVE AND CIRCUITS SHALL BE SEPARATED BASED ON WATER USE, SO THAT TURF AREAS ARE WATERED SEPARATELY FROM SHRUB AND GROUND COVER AREAS. IRRIGATION HEADS IN THE TURF AREAS WILL BE VALVED SEPARATELY FROM SHRUB AND/OR GROUND COVER AREAS. IT IS RECOMMENDED THAT SEASONAL COLOR AREAS BE WATERED SEPARATELY. UNDER NO CIRCUMSTANCES ARE ZONE TYPES TO BE COMBINED I.E. ROTARY HEADS WITH SPRAYS, TURF AREAS WITH PLANTING BEDS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM STATIC PRESSURE ON SITE PRIOR TO STARTING WORK. REFER TO NOTES #9 AND #10.
- IT IS THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS AND PAY ALL ASSOCIATED FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY DISCREPANCIES CONTAINED IN THESE DOCUMENTS.
- UNSLEEVED PIPES MAY BE SHOWN UNDER PAVEMENT FOR GRAPHIC CLARITY. INSTALL PIPES IN ADJACENT SLEEVES WITHIN LANDSCAPE AREAS.
- 120 VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER WITH A HARDWIRE CONNECTION APPROVED AND INSTALLED BY A LICENSED ELECTRICIAN.
- SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE CIRCUIT.
- SERVICEABLE CHECK VALVES SHALL BE REQUIRED ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE.
- ALL AUTOMATIC IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A CONTROLLER CAPABLE OF DUAL OR MULTIPLE PROGRAMMING. CONTROLLERS SHALL HAVE MULTIPLE CYCLE START CAPACITY AND A FLEXIBLE CALENDAR PROGRAM, INCLUDING THE CAPABILITY OF BEING SET TO WATER EVERY FIVE DAYS. ALL AUTOMATIC IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A RAIN SENSOR SHUT-OFF DEVICE.
- ALL IRRIGATION WIRES SHALL BE UL LISTED FOR DIRECT UNDERGROUND BURIAL AND SHALL BE SIZED PER THE MANUFACTURER'S RECOMMENDATIONS. 3M-D8BY WATERPROOF CONNECTORS TO BE USED ON ALL WIRE CONNECTIONS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT.
- ALL IRRIGATION HEADS SHALL BE ADJUSTED TO MINIMIZE OVER-SPRAY ONTO ALL IMPERVIOUS SURFACES.
- ALL PIPE CONNECTIONS SHALL BE PRIMED WITH AN APPROVED COLOR PRIMER BEFORE BEING CHEMICAL WELDED.
- AFTER AWARD OF CONTRACT AND BEFORE ANY IRRIGATION SYSTEM MATERIALS ARE ORDERED FROM SUPPLIERS OR DELIVERED TO THE JOB SITE, SUBMIT TO THE OWNER A COMPLETE LIST OF ALL IRRIGATION SYSTEM MATERIALS, OR PROCESSES PROPOSED TO BE FURNISHED AND INSTALLED AS PART OF THIS CONTRACT. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE WILL ALLOW NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN ACCEPTANCE. MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE. SUCH WARRANTIES SHALL ONLY SUPPLEMENT THE GUARANTEE.
- IRRIGATION CLOSEOUT DOCUMENTS SHALL INCLUDE A WATER BUDGET. A LAMINATED COPY OF THE WATER BUDGET SHALL BE PERMANENTLY INSTALLED INSIDE THE IRRIGATION CONTROLLER DOOR.
 - CHART CONTAINING ZONE NUMBER, PRECIPITATION RATE AND GPM.
 - LOCATION OF EMERGENCY IRRIGATION SYSTEM SHUT-OFF VALVE.

2 NOTES



FIELD LOCATE BY STAKING. THE CONTROLLER, WATER METER, BACKFLOW DEVICE, MASTER VALVE AND FLOW SENSOR FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

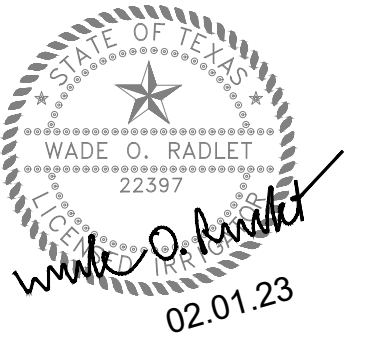
1 LEGEND

STATEMENT OF IRRIGATION DESIGN STANDARDS CONFORMITY:
 This plan is complete and conforms to the design and installation parameters of the irrigation design and equipment standards set out 35-510(j) and 35-511 (c)(9) of the City of San Antonio Unified Development Code.

Wade O. Radlet TX LI # 22397

- SPECIAL NOTES:
- THE IRRIGATION CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE MANDATED IRRIGATION ORDINANCES AND CODES AND WILL SECURE ALL REQUIRED PERMITS.
 - ALL WIRES, CONTROL VALVES, AND PRESSURIZED WATER SUPPLY LINES SHALL NOT BE LOCATED WITHIN THE EXISTING ROW OR OUTSIDE PROPERTY BOUNDARIES.

"Irrigation in Texas is regulated by the Texas Commission on Environmental Quality (TCEQ), MC-178, PO Box 13087, Austin, Texas 78711-3087 TCEQ's website is: www.tceq.state.tx.us"



OWNER
MR. A. THARP

16109 University Oak
 San Antonio, TX 78249

PROJECT
DOMINION CREEK RESTAURANTS

23110 W I-10
 San Antonio, Texas 78257

REVISIONS

PROJECT NUMBER
2022-285

Drawn By: pra
 Checked By: jr

Sheet Title:
IRRIGATION NOTES & LEGEND

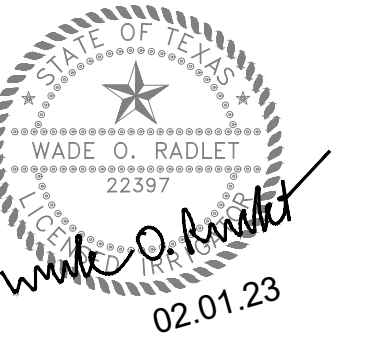
Sheet Number:

LI1.0

Issue Date:

January 30, 2023





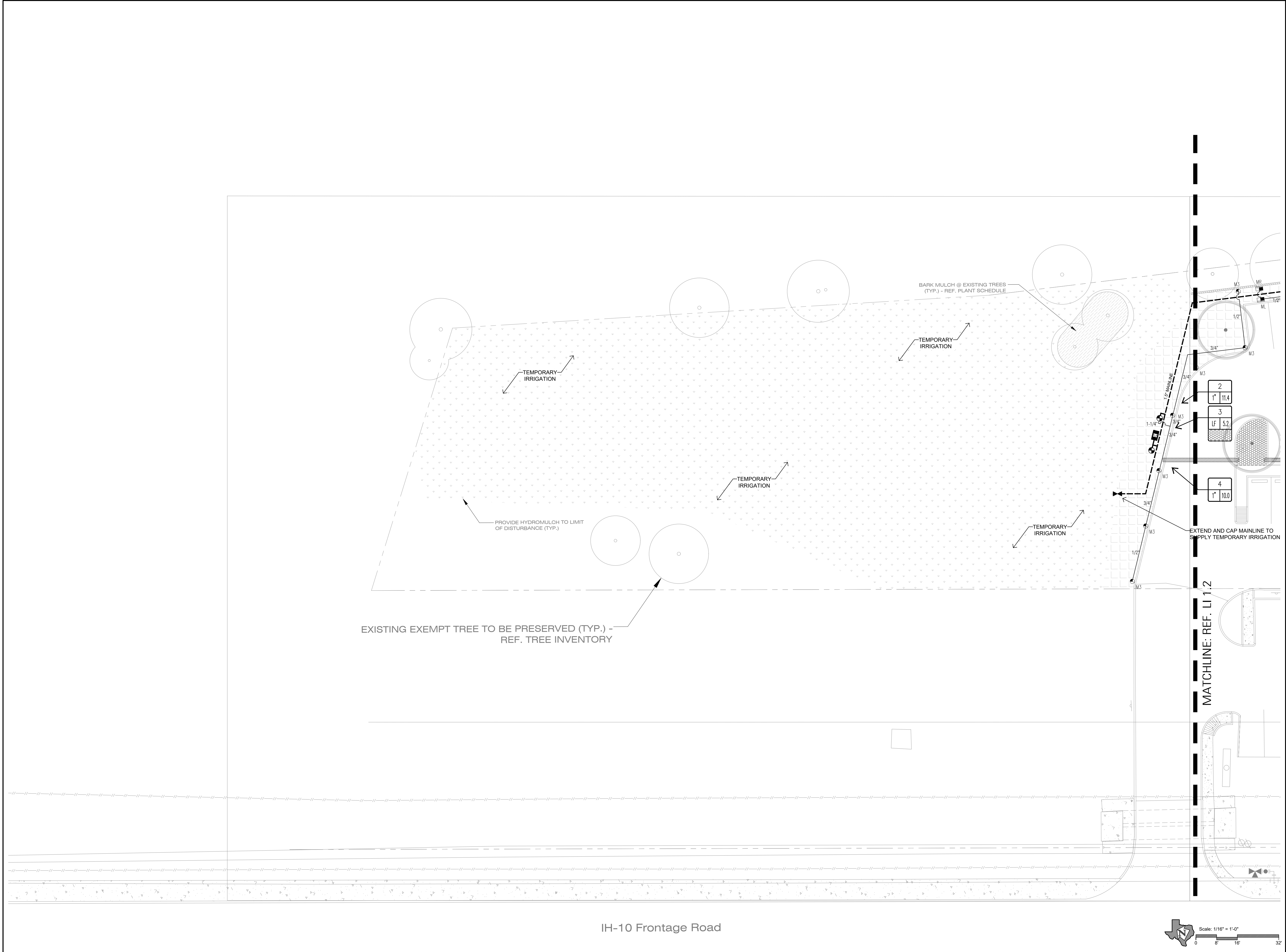
OWNER
MR. A. THARP

16109 University Oak
 San Antonio, TX 78249

PROJECT
**DOMINION CREEK
 RESTAURANTS**

23110 W I-10
 San Antonio, Texas 78257

REVISIONS



PROJECT NUMBER
2022-285

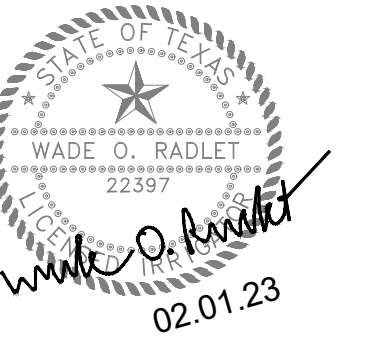
Drawn By: pra
 Checked By: jr

Sheet Title:
**IRRIGATION
 PLAN**

Sheet Number:

LI1.1

Issue Date:
January 30, 2023



OWNER
MR. A. THARP

16109 University Oak
 San Antonio, TX 78249

PROJECT
**DOMINION CREEK
 RESTAURANTS**

23110 W I-10
 San Antonio, Texas 78257

REVISIONS

PROJECT NUMBER
2022-285

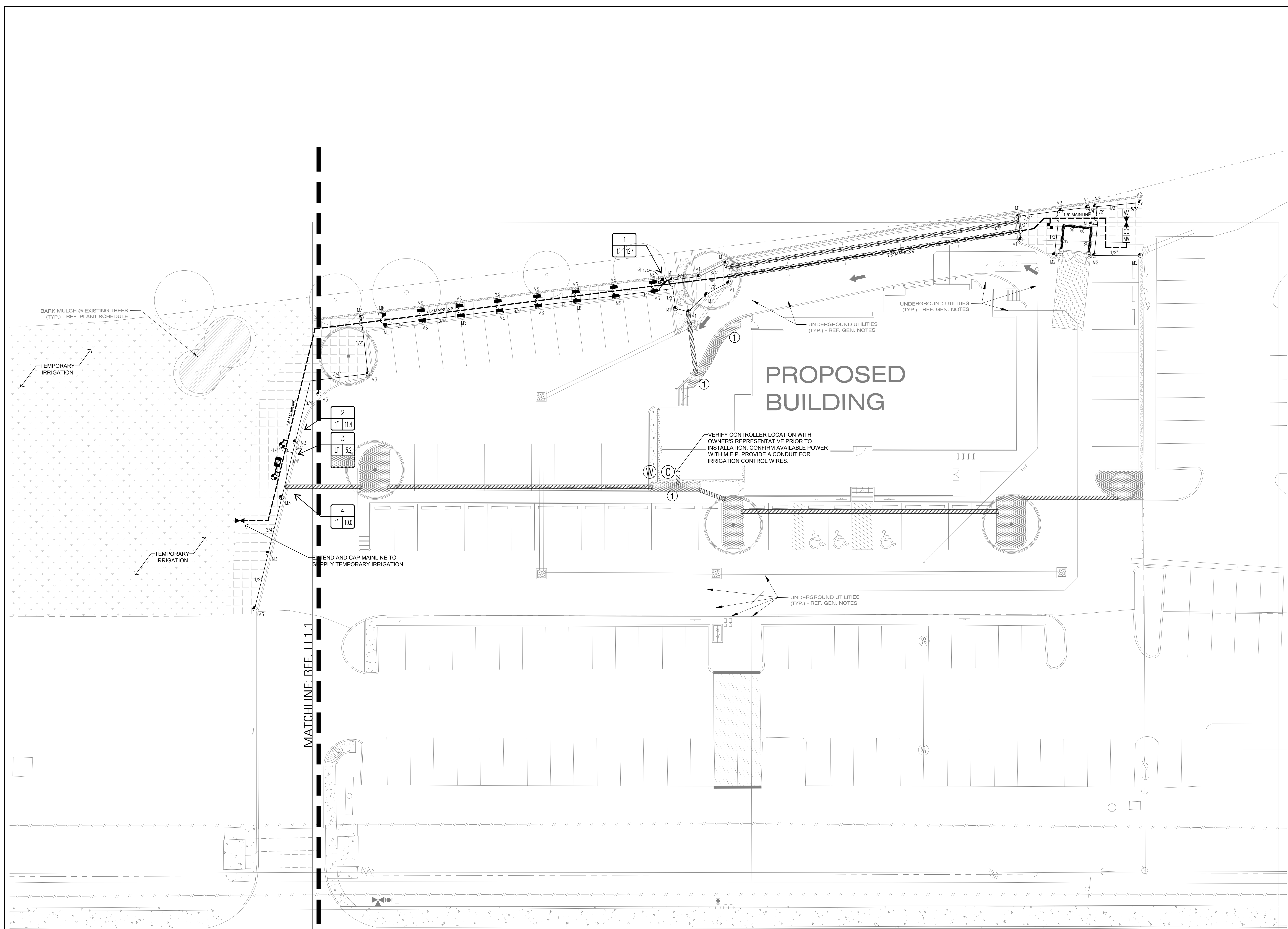
Drawn By: pra
 Checked By: jr

Sheet Title:
**IRRIGATION
 PLAN**

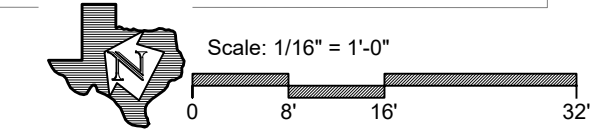
Sheet Number:

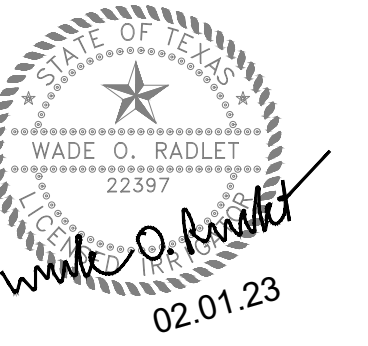
L1.2

Issue Date:
January 30, 2023



IH-10 Frontage Road





OWNER
MR. A. THARP

16109 University Oak
 San Antonio, TX 78249

PROJECT
**DOMINION CREEK
 RESTAURANTS**

23110 W I-10
 San Antonio, Texas 78257

REVISIONS

PROJECT NUMBER
2022-285

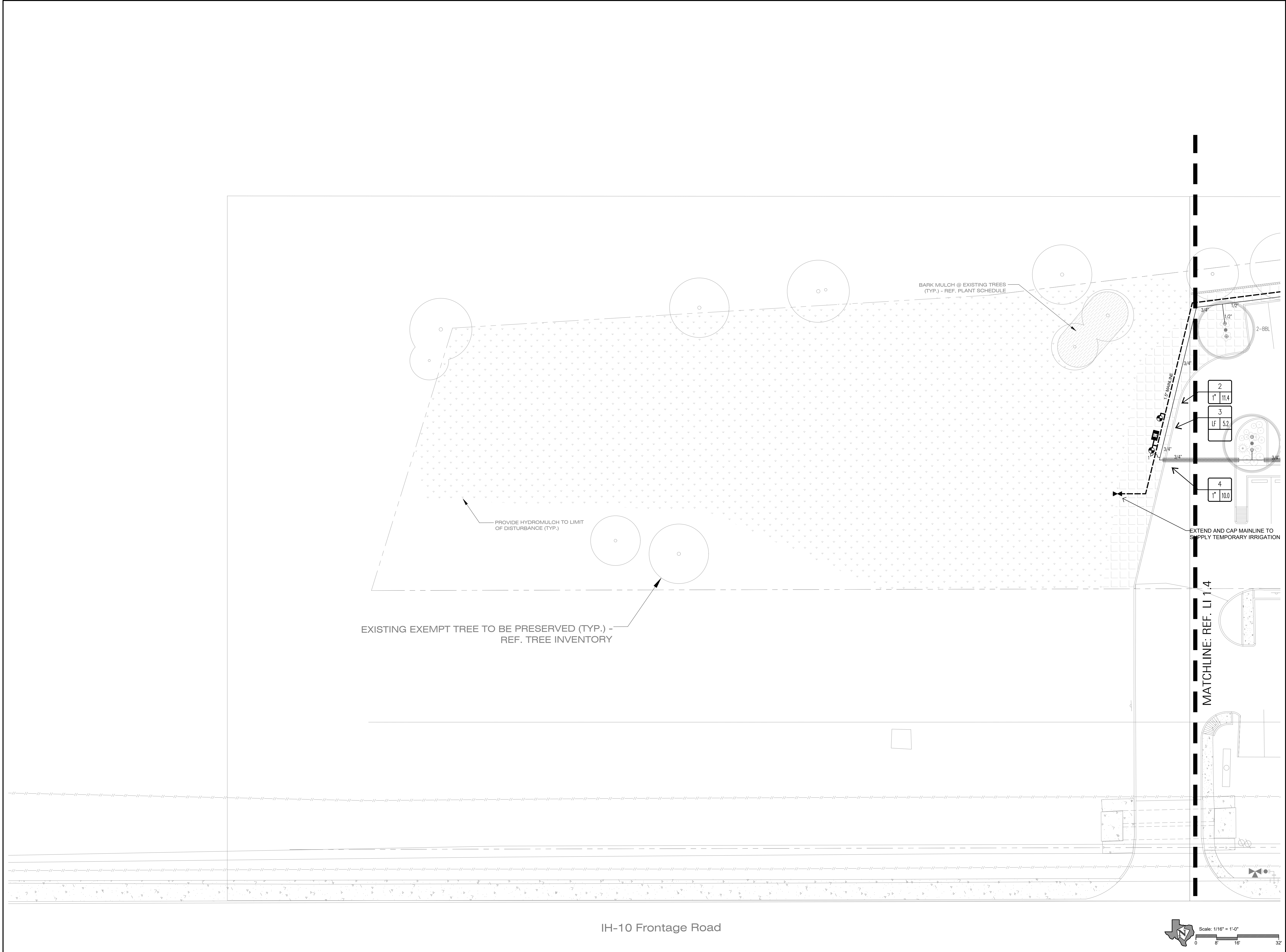
Drawn By: pra
 Checked By: jr

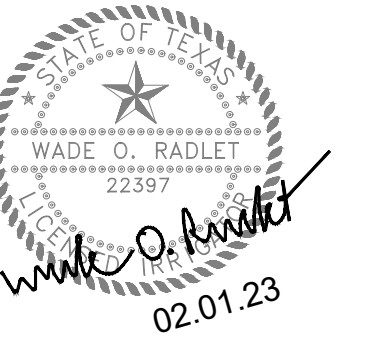
Sheet Title:
**IRRIGATION
 PLAN - TREE
 BUBBLERS**

Sheet Number:

L1.3

Issue Date:
January 30, 2023





OWNER
MR. A. THARP

16109 University Oak
 San Antonio, TX 78249

PROJECT
**DOMINION CREEK
 RESTAURANTS**

23110 W I-10
 San Antonio, Texas 78257

REVISIONS

PROJECT NUMBER
 2022-285

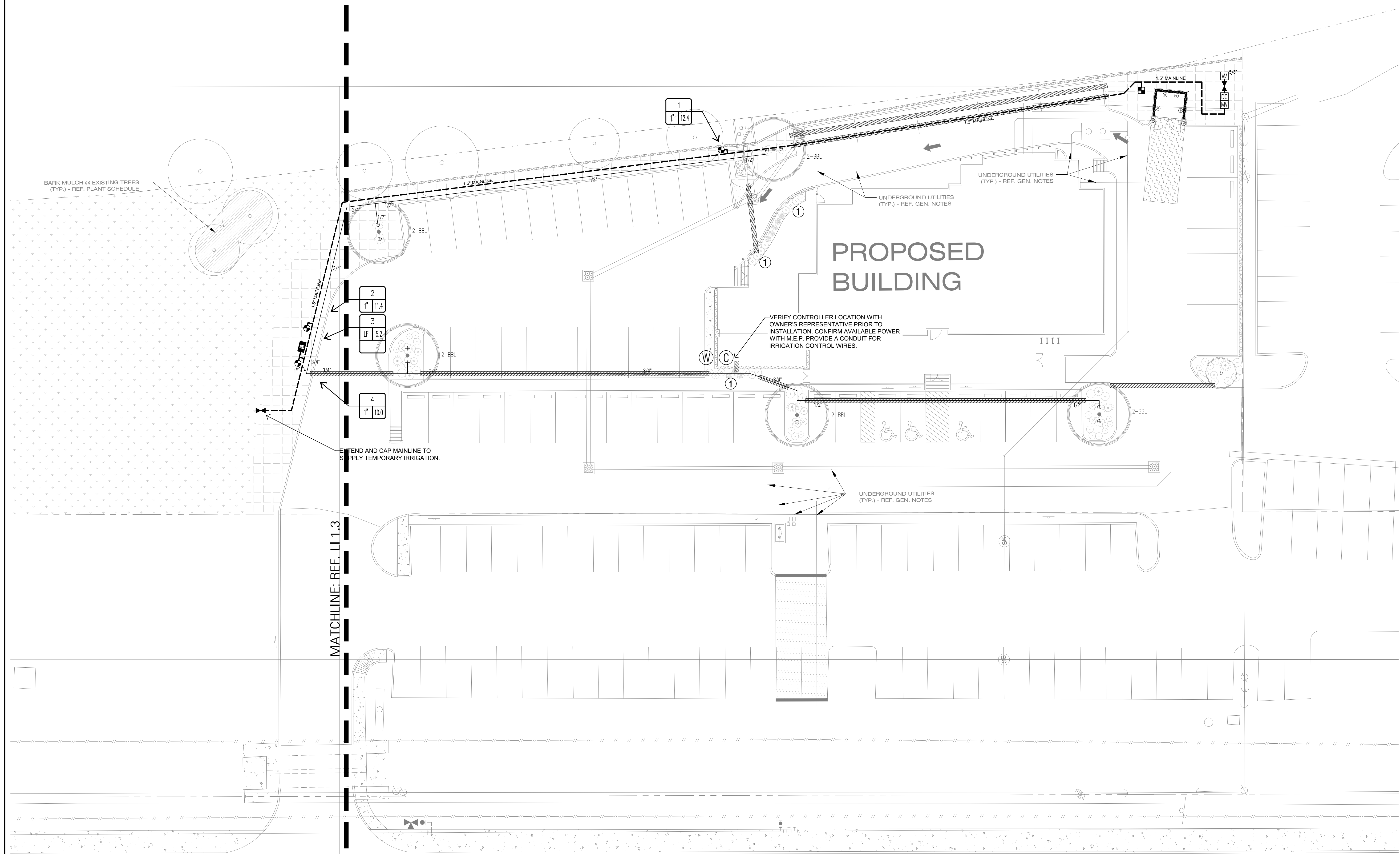
Drawn By: pra
 Checked By: jr

Sheet Title:
**IRRIGATION
 PLAN - TREE
 BUBBLERS**

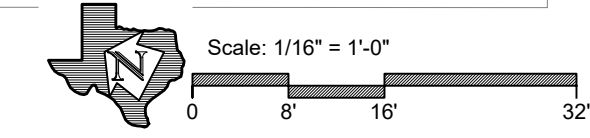
Sheet Number:

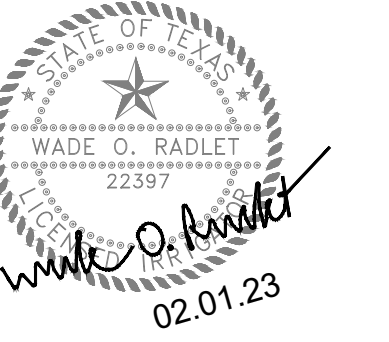
L1.4

Issue Date:
January 30, 2023



IH-10 Frontage Road





OWNER
MR. A. THARP

16109 University Oak
San Antonio, TX 78249

PROJECT
**DOMINION CREEK
RESTAURANTS**

23110 W I-10
San Antonio, Texas 78257

REVISIONS

PROJECT NUMBER
2022-285

Drawn By: pra
Checked By: jr

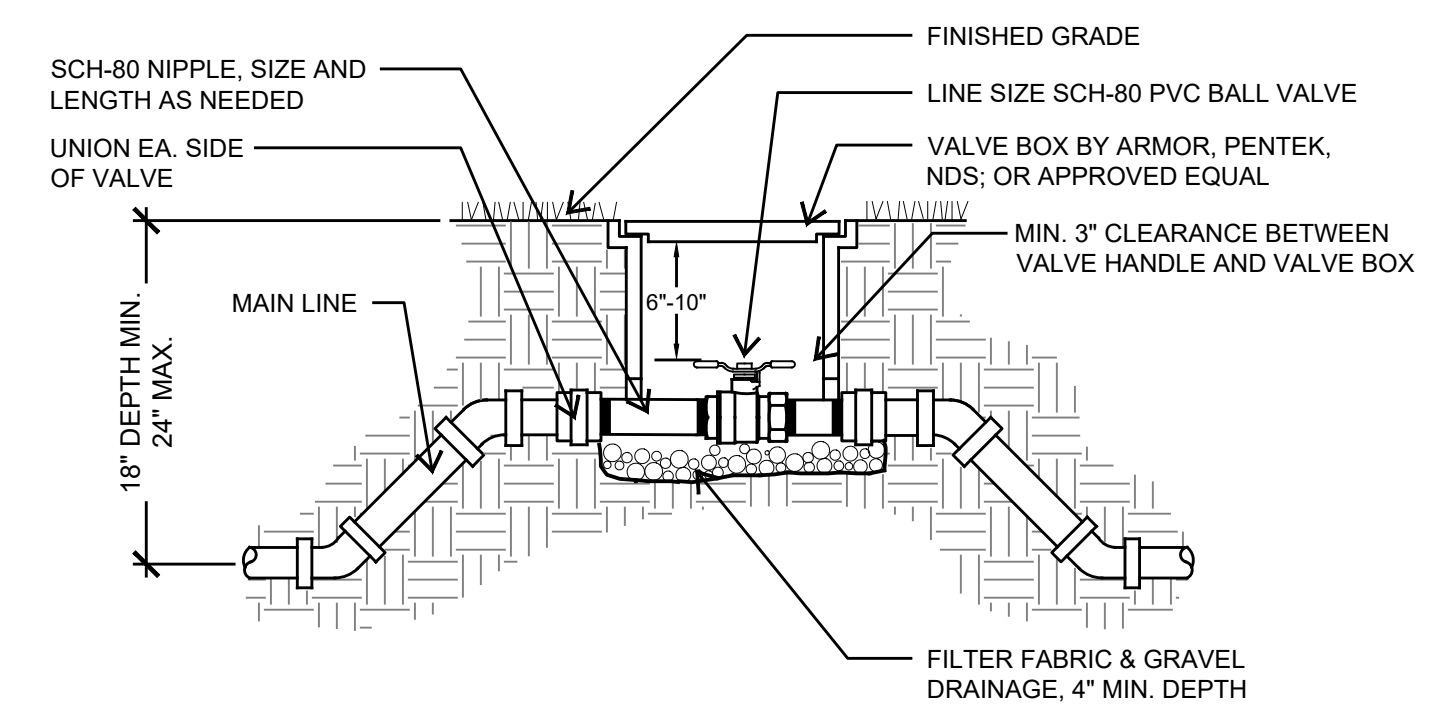
Sheet Title:
**IRRIGATION
DETAILS**

Sheet Number:

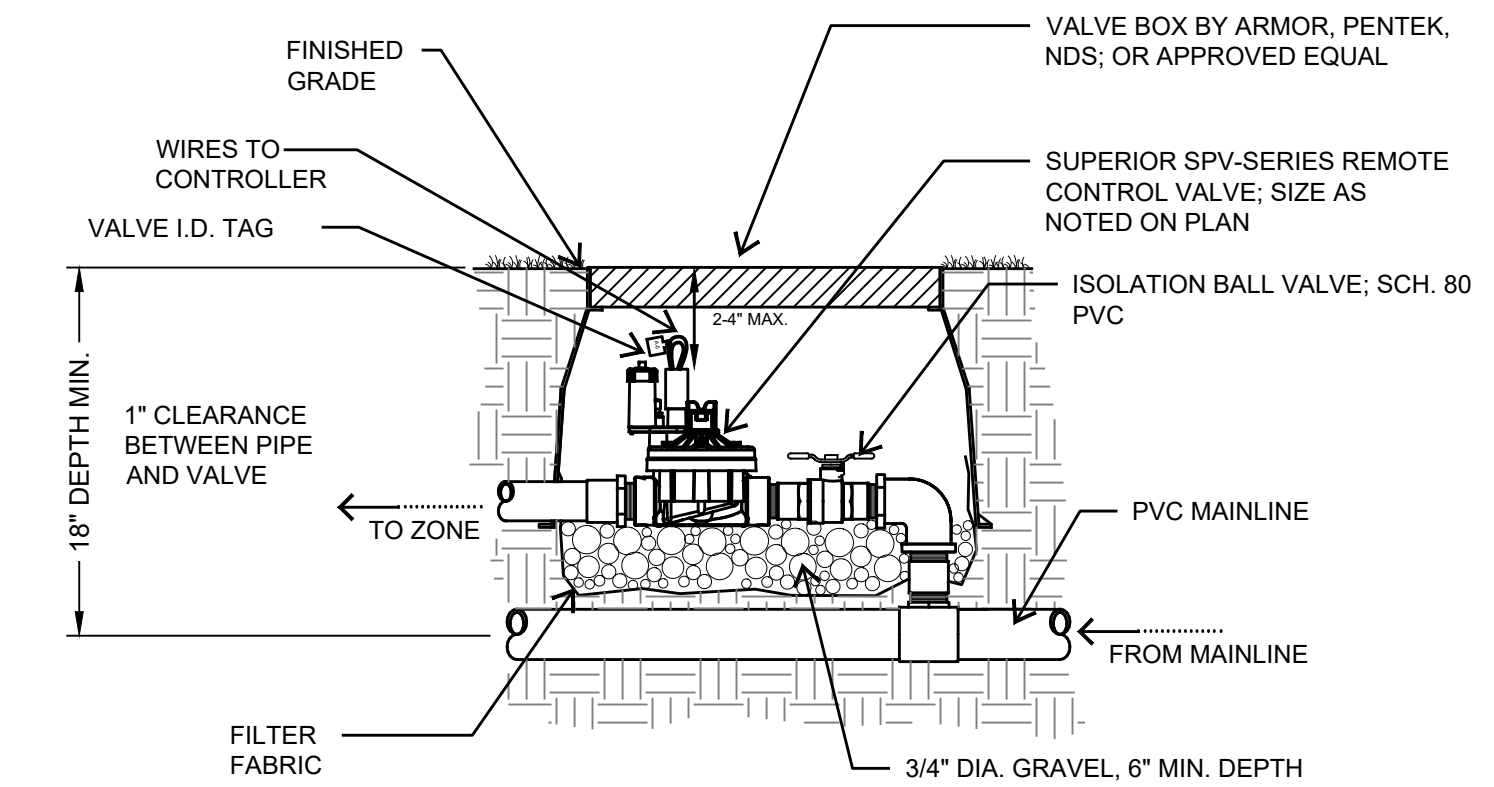
L12.1

Issue Date:

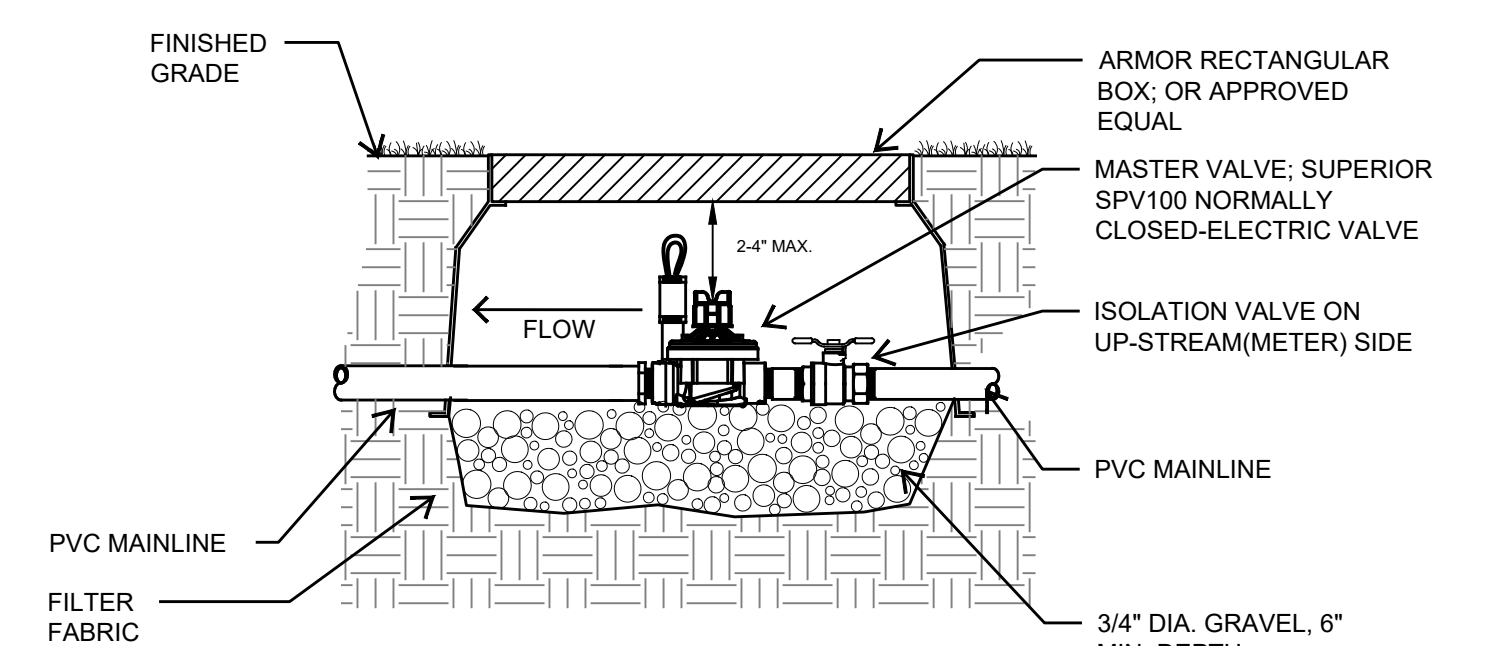
January 30, 2023



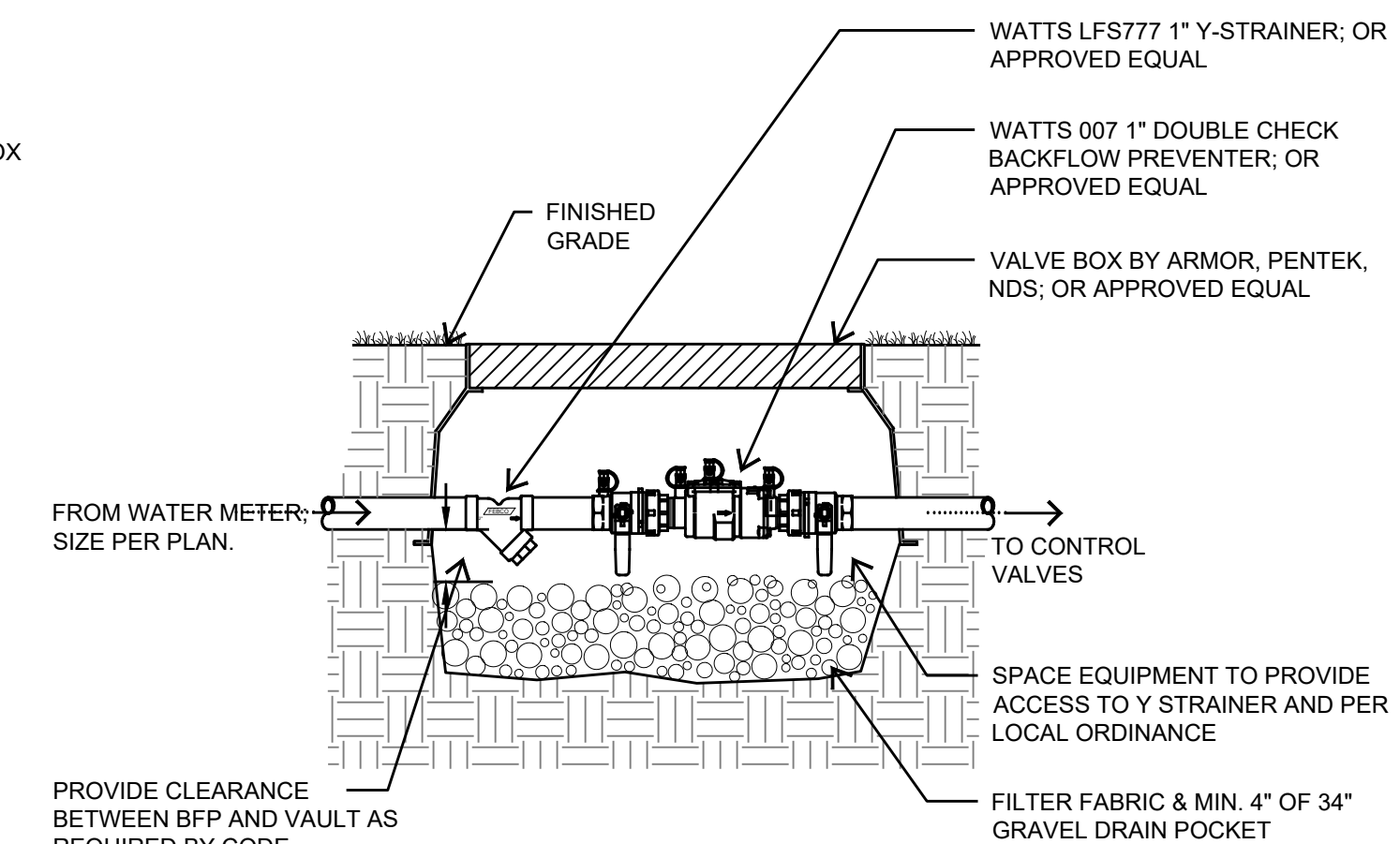
4 MANUAL ISOLATION VALVE



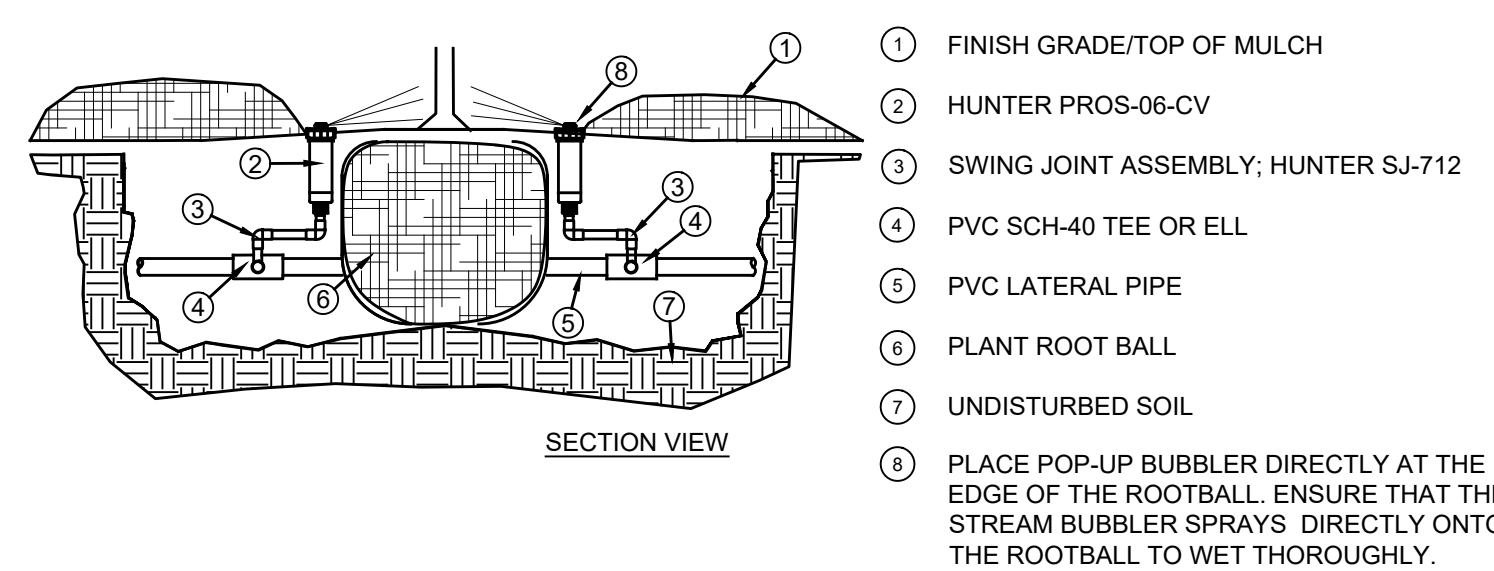
3 ZONE VALVE



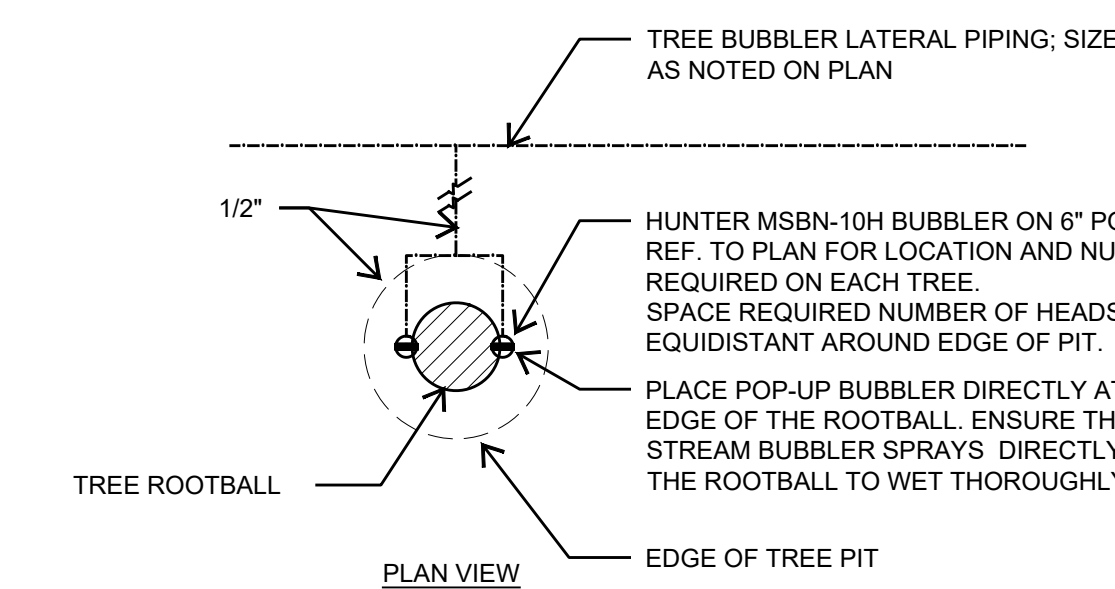
2 MASTER VALVE



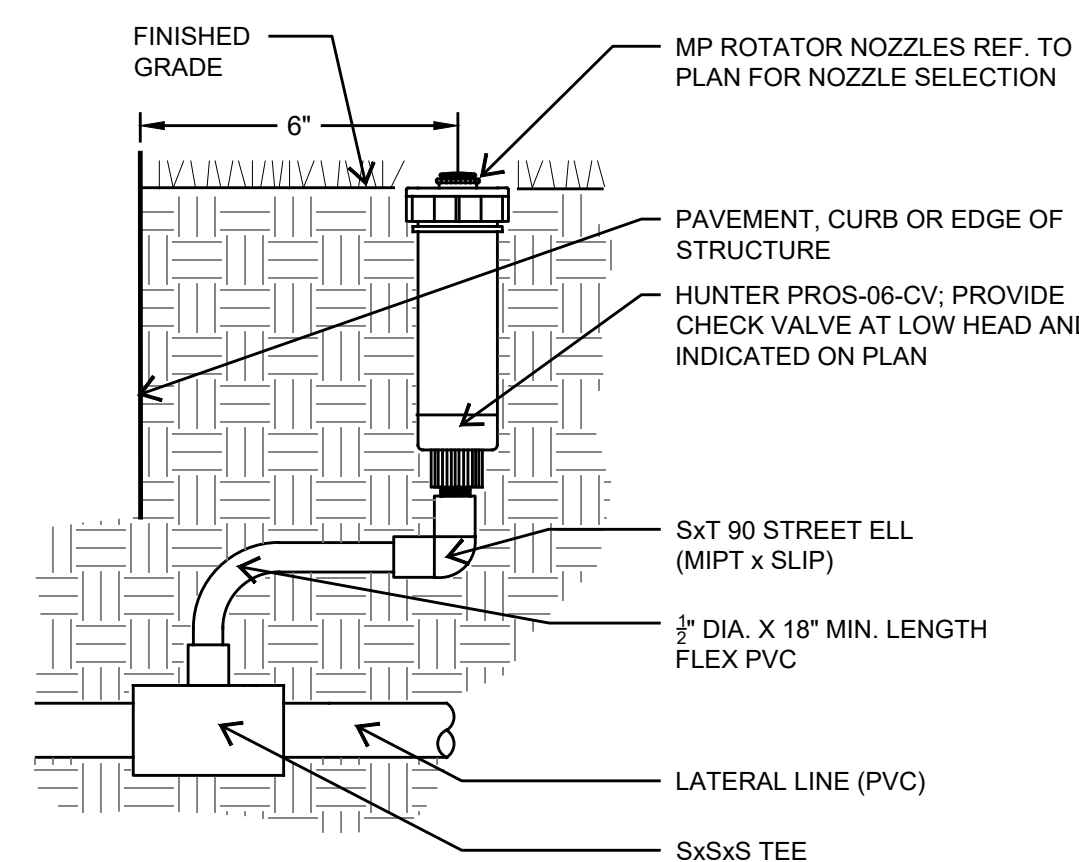
1 BACKFLOW DEVICE



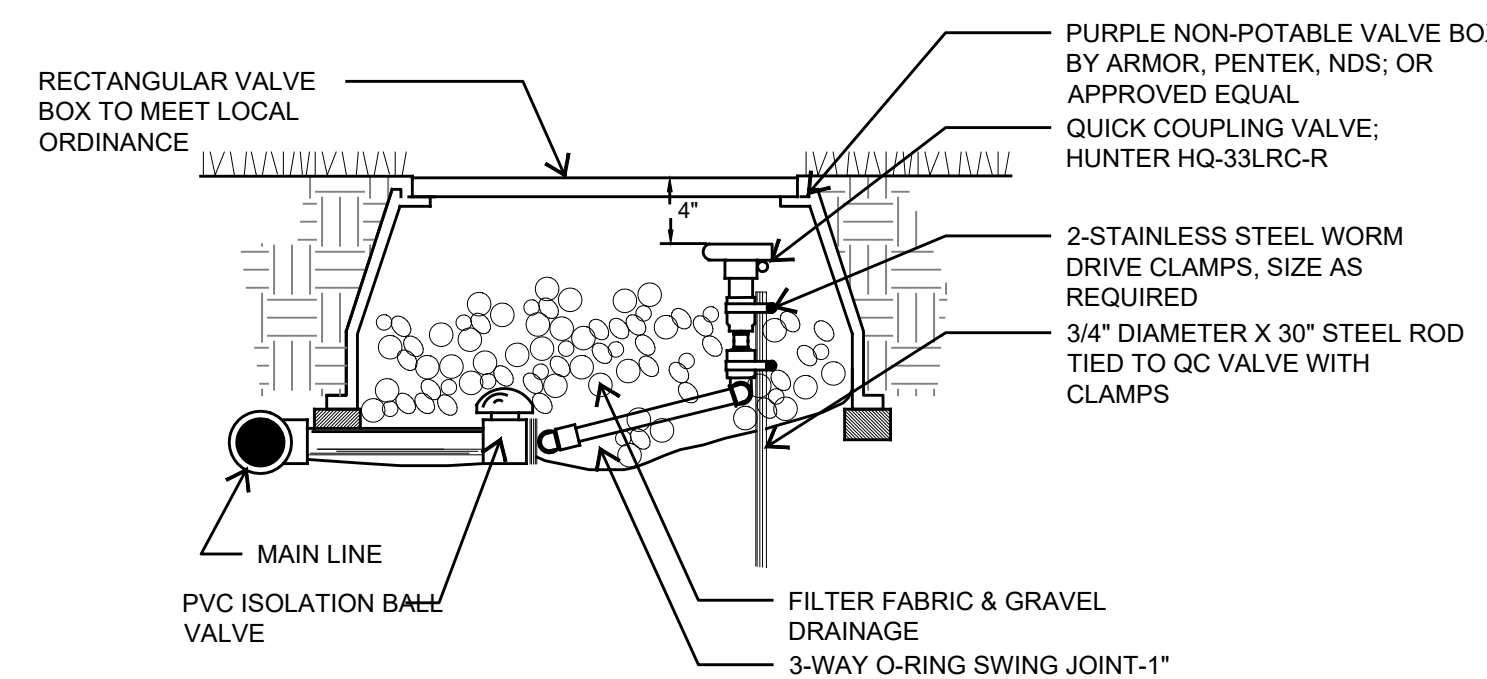
8 TREE BUBBLER ASSEMBLY- SECTION



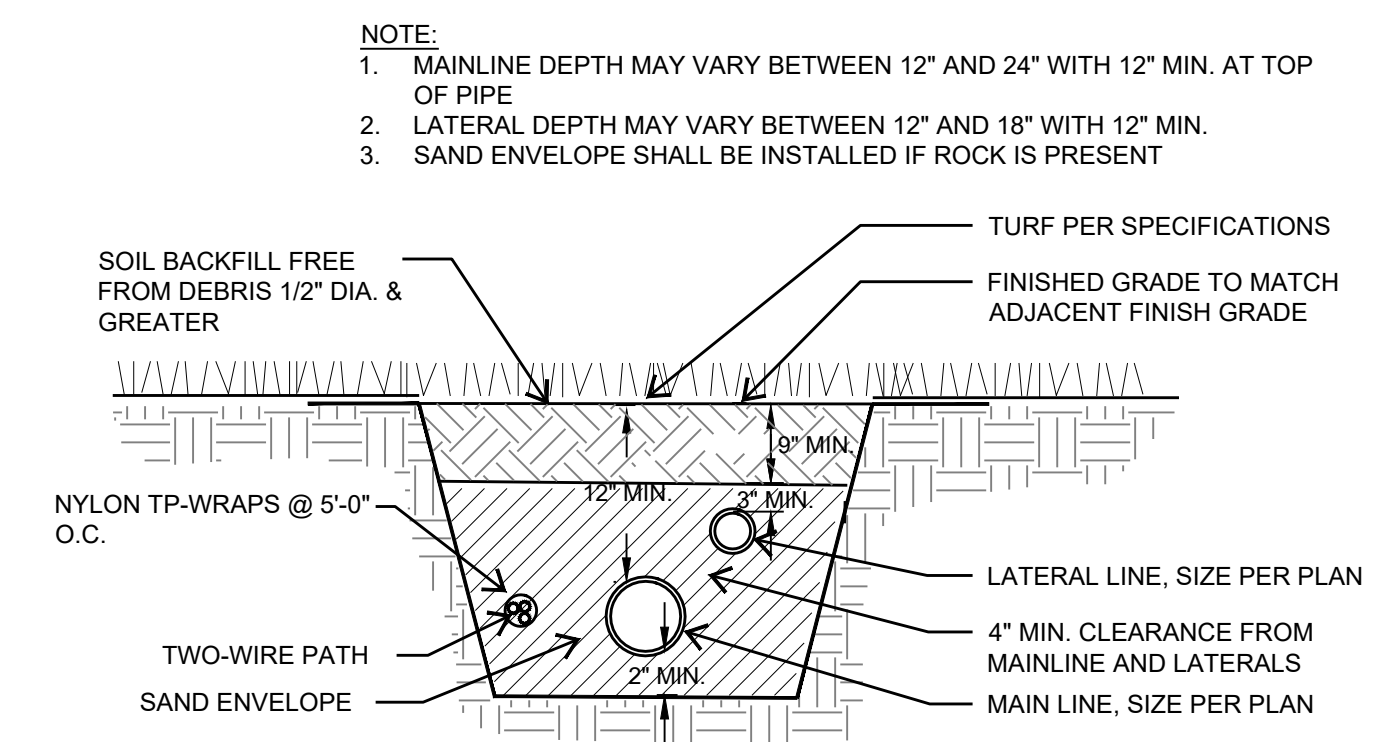
7 TREE BUBBLER ASSEMBLY- PLAN



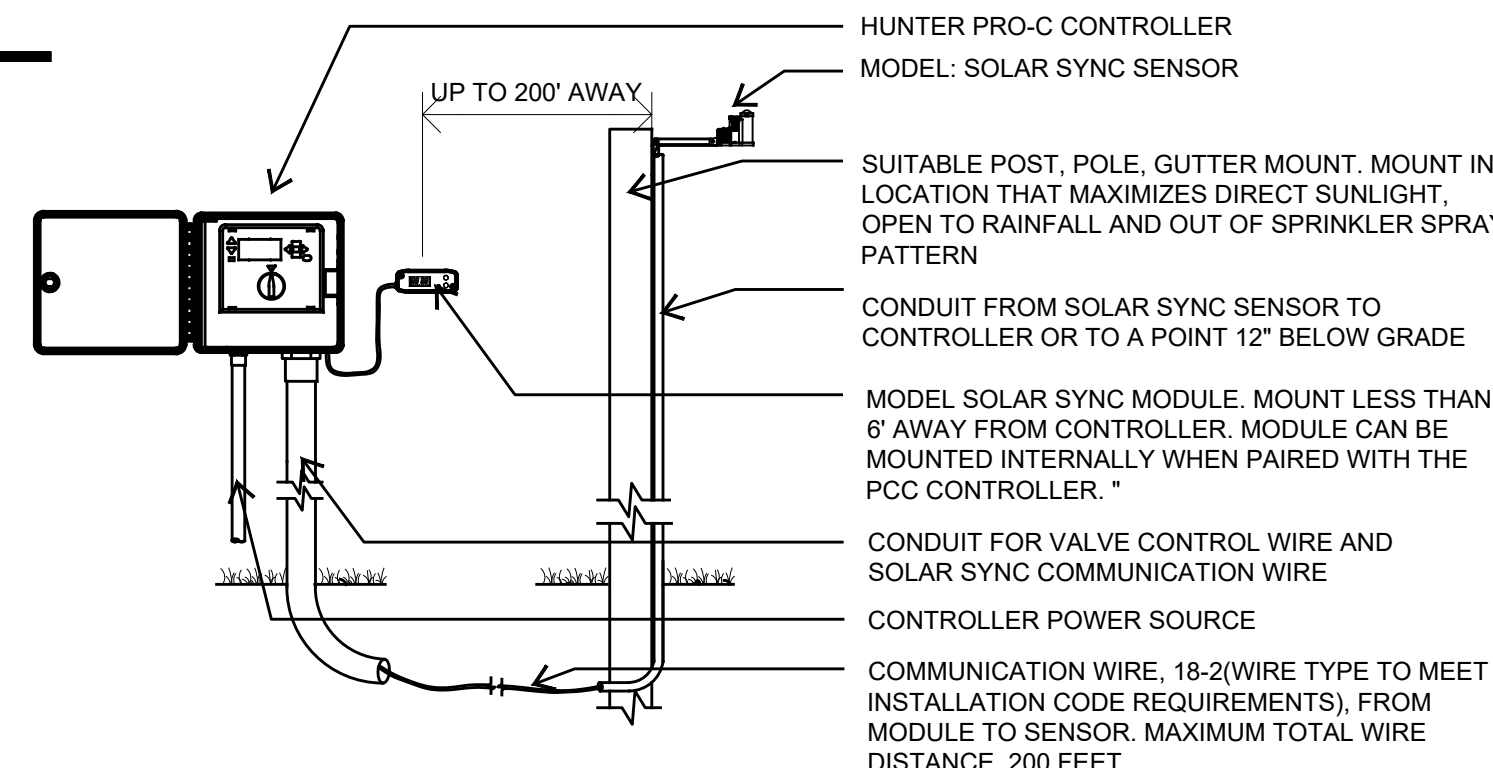
6 MP ROTATOR



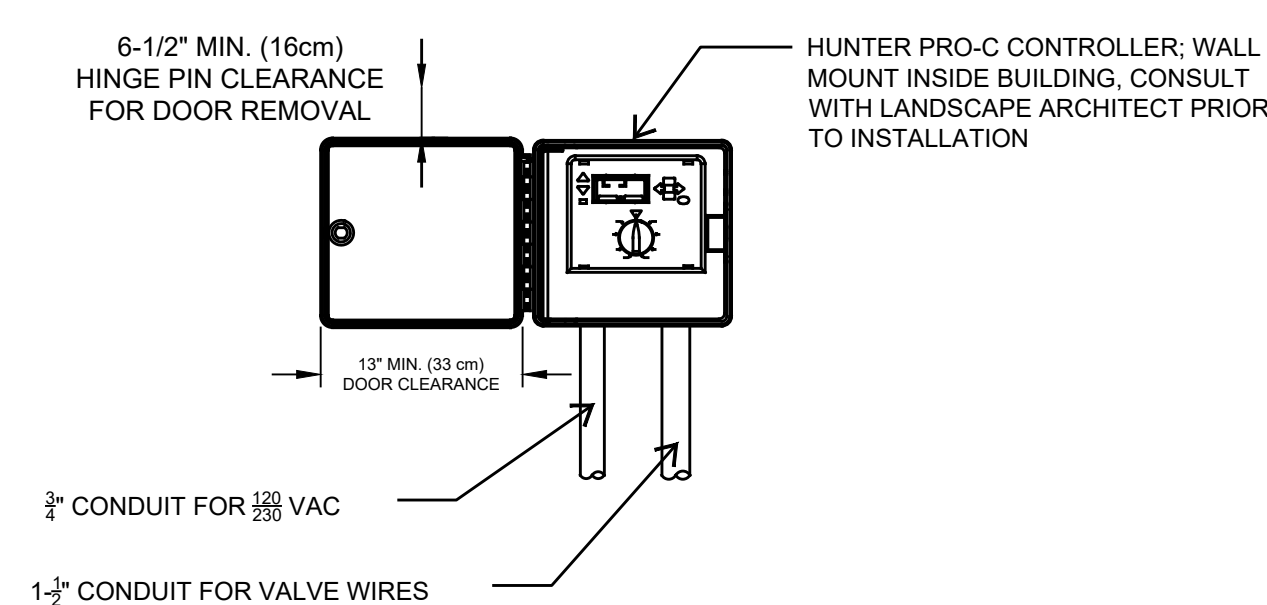
5 QUICK COUPLER VALVE



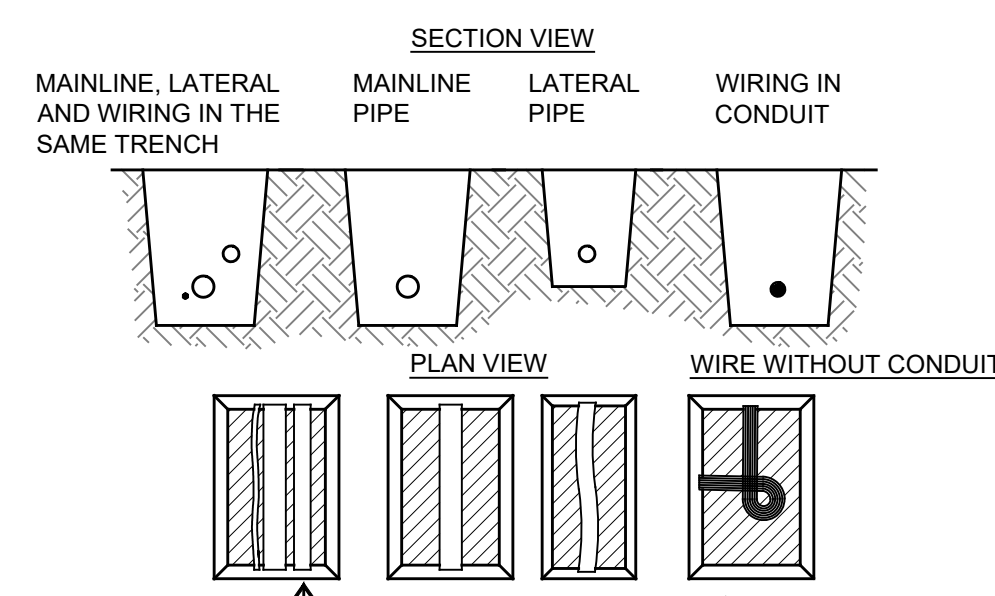
12 TRENCH PROFILE



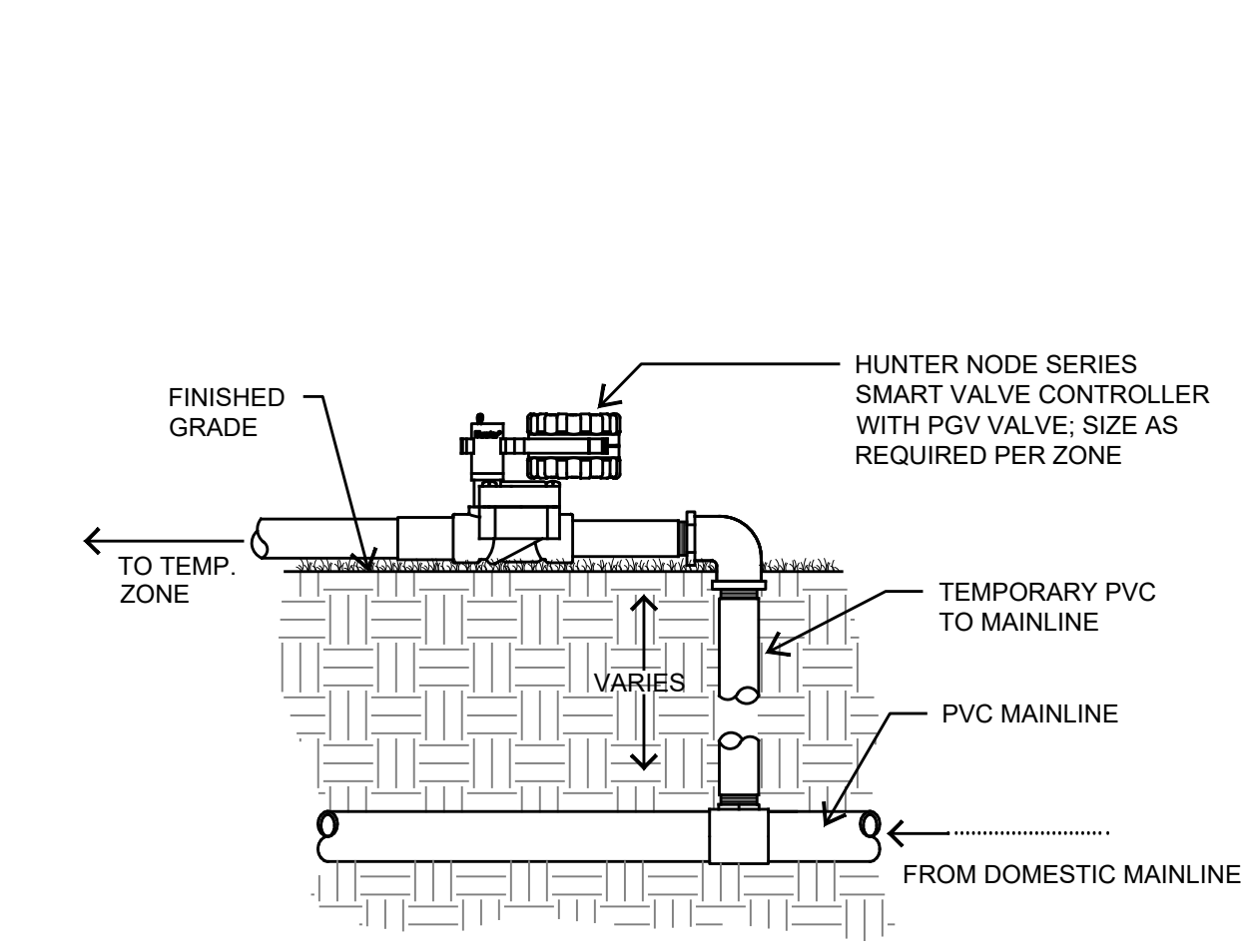
11 WEATHER SENSOR



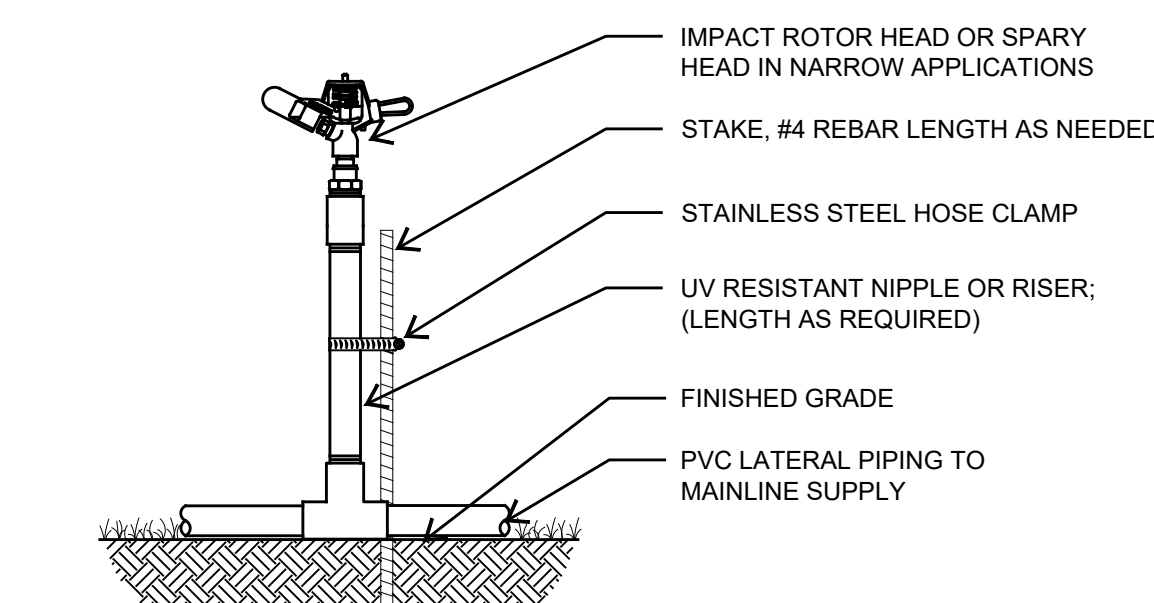
10 IRRIGATION CONTROLLER



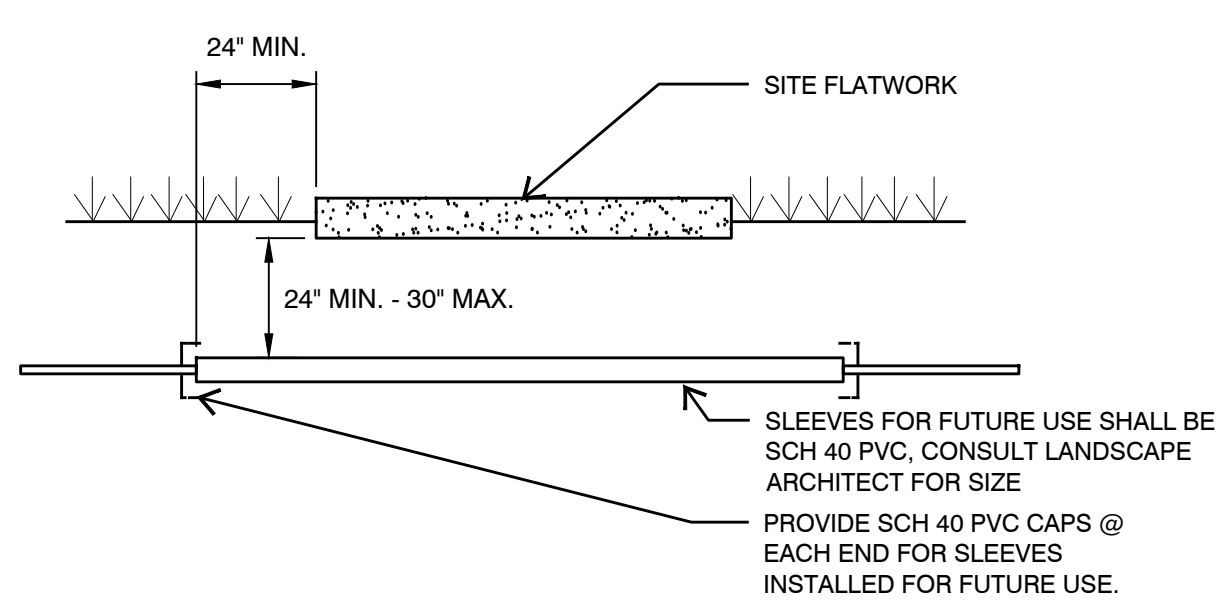
9 IRRIGATION TRENCH



15 TEMPORARY IRRIGATION VALVE



14 TEMPORARY IRRIGATION HEAD



13 IRRIGATION SLEEVE

- NOTE**
- TEMPORARY IRRIGATION SYSTEMS MUST BE INSTALLED BY A LICENSED IRRIGATOR OR AN IRRIGATION TECHNICIAN UNDER THE SUPERVISION OF A LICENSED IRRIGATOR.
 - TEMPORARY IRRIGATION SYSTEMS MUST MEET THE BACKFLOW PREVENTION REQUIREMENTS IN SUBCHAPTER E OF THIS CHAPTER (RELATING TO BACKFLOW PREVENTION AND CROSS-CONNECTIONS).
 - TEMPORARY IRRIGATION SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH §344.1(45) OF THIS TITLE (RELATING TO DEFINITIONS).
 - TEMPORARY IRRIGATION SYSTEMS MUST HAVE ESTABLISHED A DEFINITE END DATE AT WHICH TIME THE TEMPORARY IRRIGATION SYSTEM MUST BE REMOVED.
 - ALL COVERAGE SHALL BE HEAD TO HEAD.
 - SYSTEM SHALL BE DESIGNED TO AVOID ANY OVERSPRAY ONTO SIDEWALKS AND STREETS.
 - TEMPORARY IRRIGATION SYSTEM ZONE VALVES SHALL BE HUNTER NODE CONTROLLER VALVES. CONTRACTOR SHALL CLUSTER VALVE LOCATIONS WHERE POSSIBLE TO COMBINE ZONES ON MULTIPLE VALVE CONTROLLERS (NODE-200, NODE-400, ETC.)
 - NO PIPING SHALL BE RUN WITHIN THE PROTECTION ZONE OF EXISTING TREES UNLESS APPROVED BY LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL VERIFY ON-SITE AND BY CONSULTING WITH LANDSCAPE ARCHITECT AREAS THAT WILL REQUIRE TEMPORARY IRRIGATION PRIOR TO DESIGN AND INSTALLATION OF SYSTEM.
 - USE #4 X 24\"/>

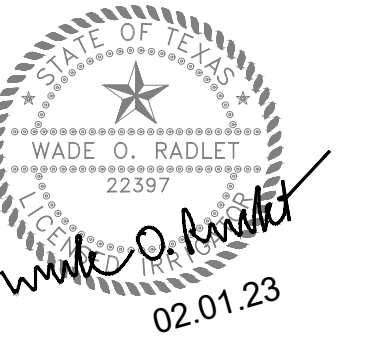
- NOTES**
- All electrical work to comply with applicable codes.
 - Provide remote control unit per spec.

- NOTES**
- SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH-40 PVC TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN
 - FOR PIPE AND WIRE BURIAL DEPTHS SEE TRENCH PROFILE DETAIL

RUN WIRING BENEATH AND BESIDE MAINLINE. TAPE AND BUNDLE AT 10- FOOT INTERVALS

ALL SOLVENT WELD PLASTIC PIPING TO BE SNAKED IN TRENCH AS SHOWN.

TIE A 24- INCH LOOP IN ALL WIRING AT CHANGES OF DIRECTION OF 30° OR GREATER. UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE.



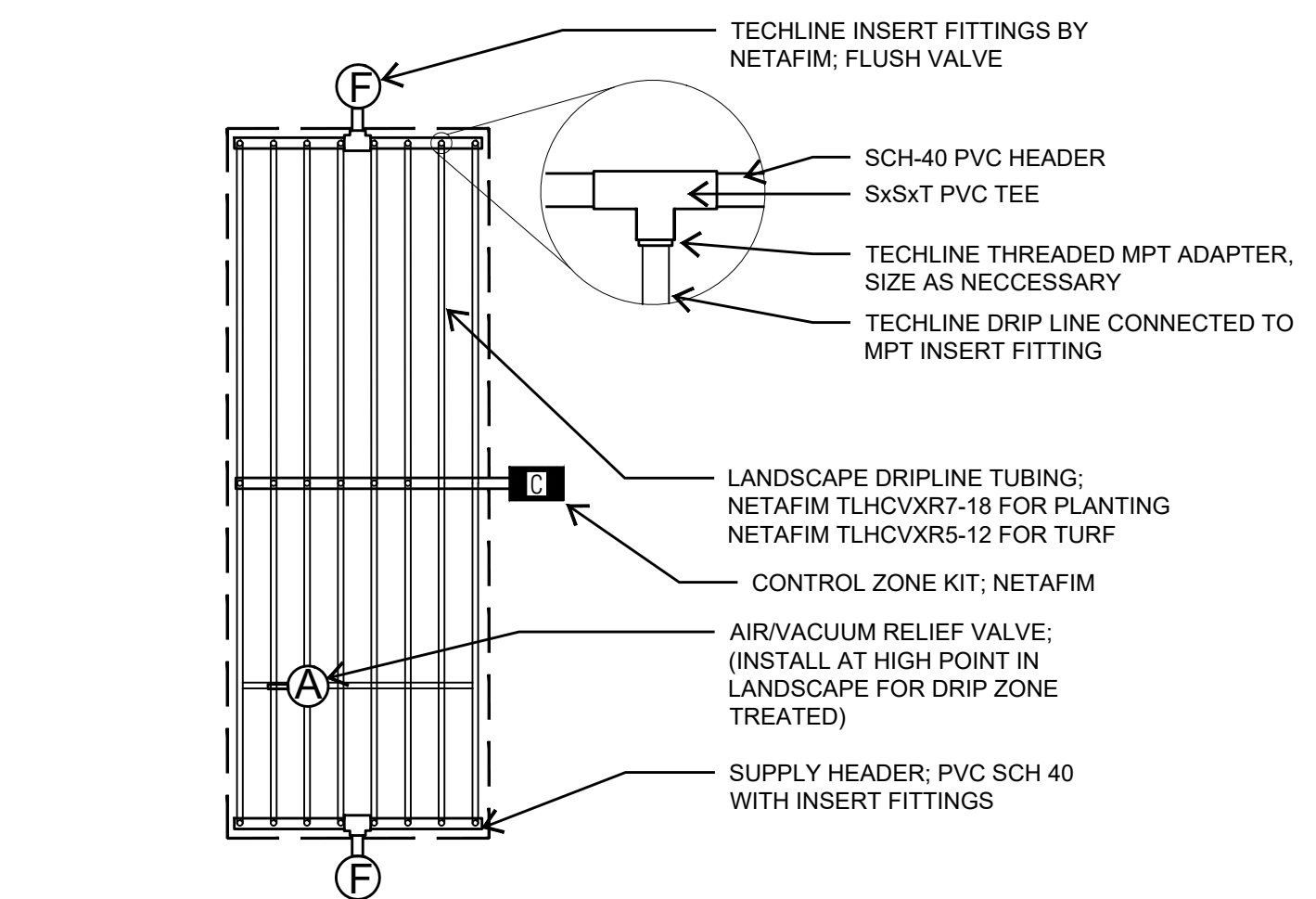
OWNER
MR. A. THARP

16109 University Oak
San Antonio, TX 78249

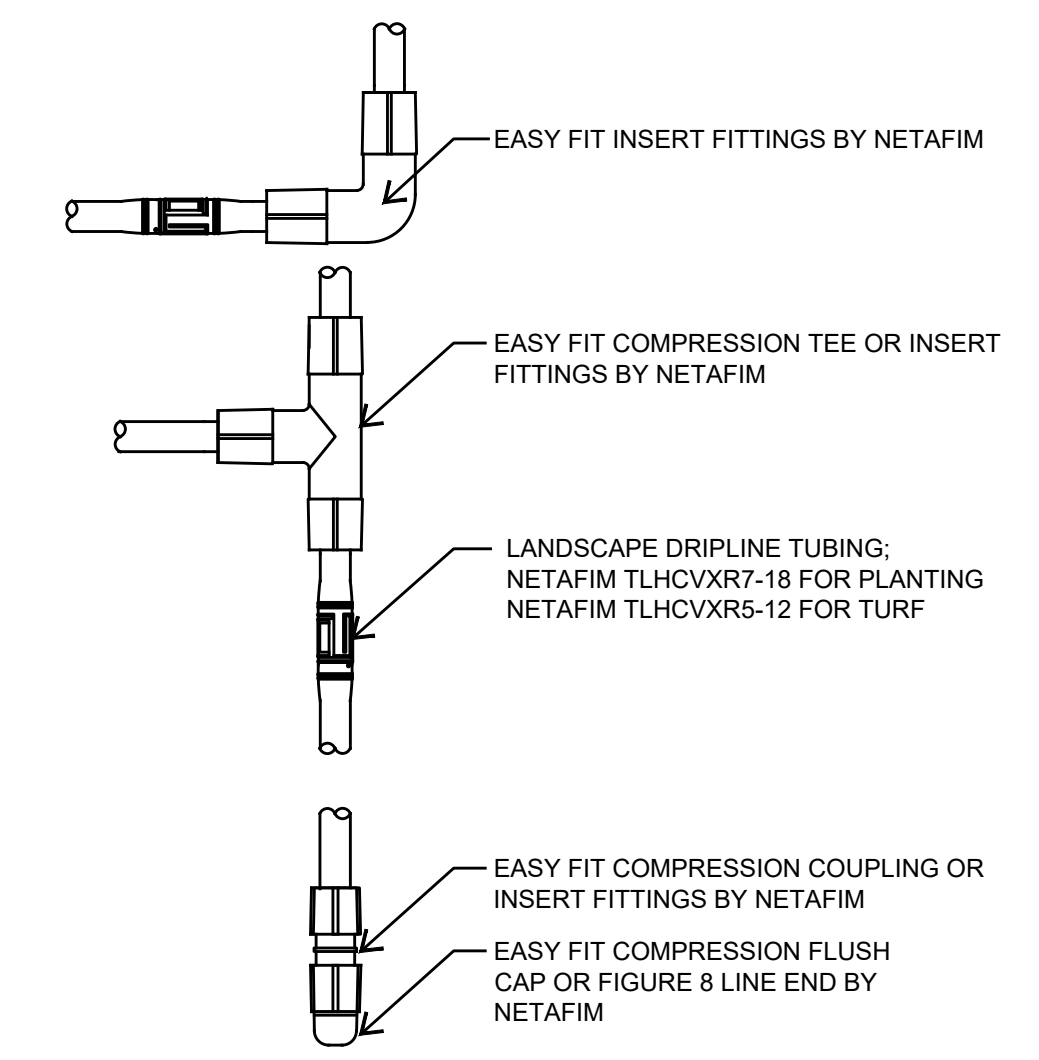
PROJECT
DOMINION CREEK RESTAURANTS

23110 W I-10
San Antonio, Texas 78257

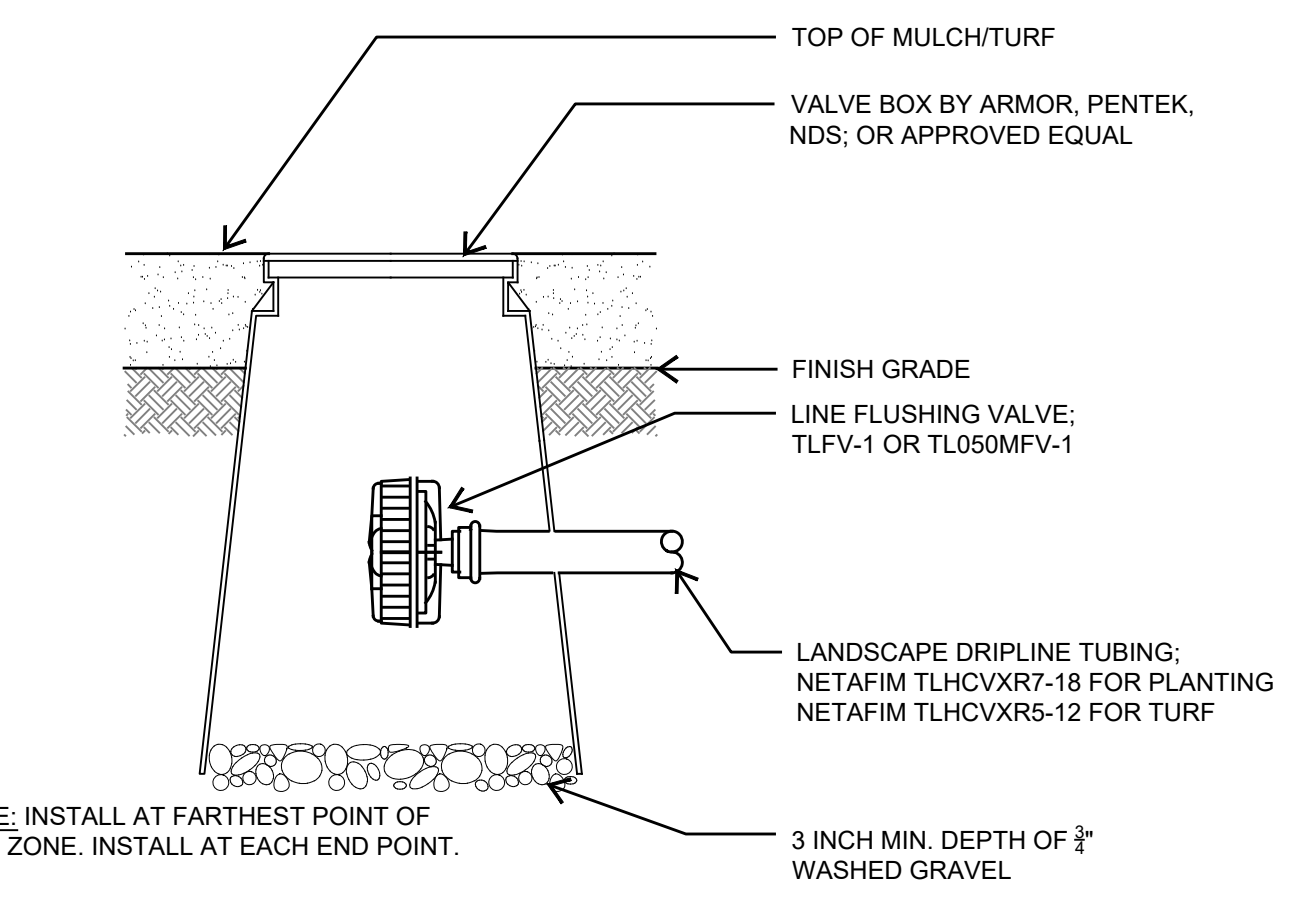
REVISIONS



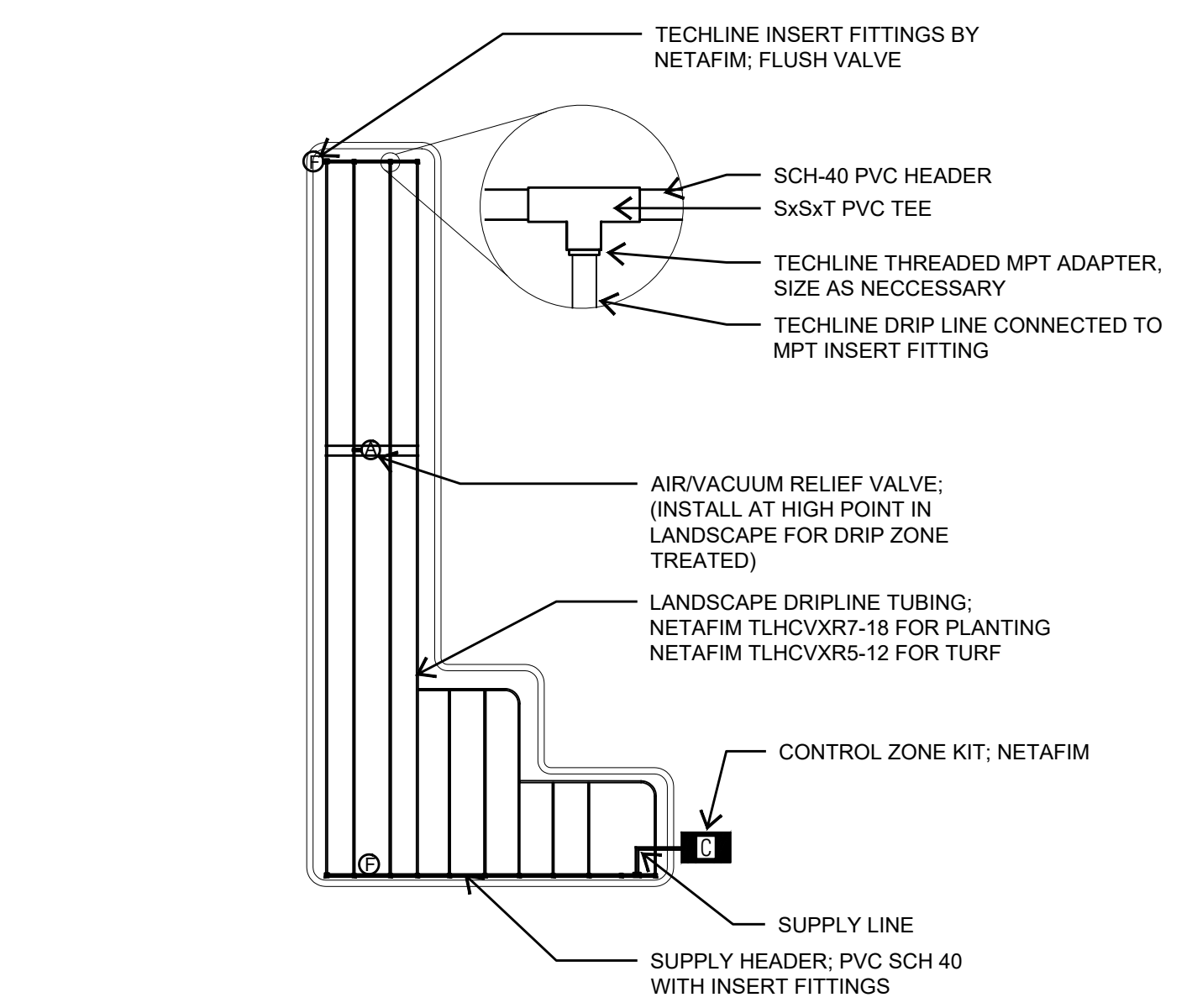
3 DRIPLINE INSTALLATION (CENTER FEED)



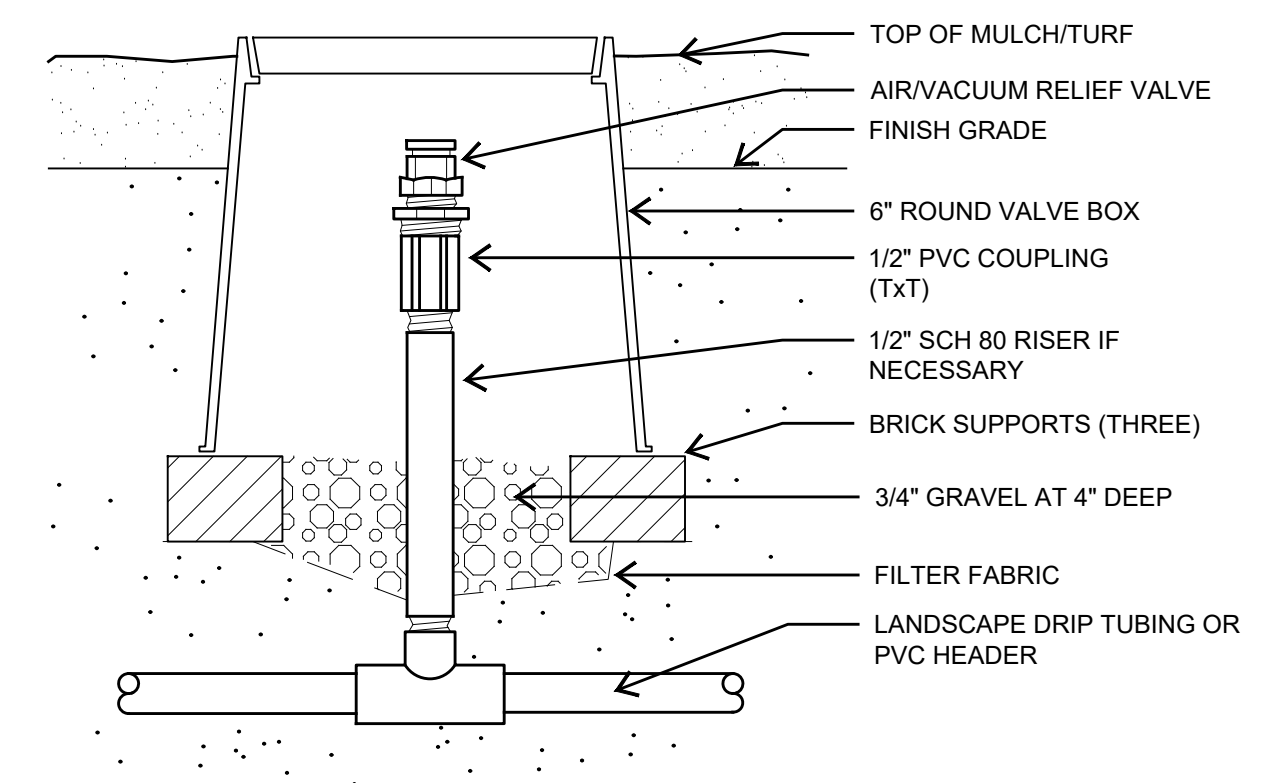
6 DRIPLINE FITTINGS



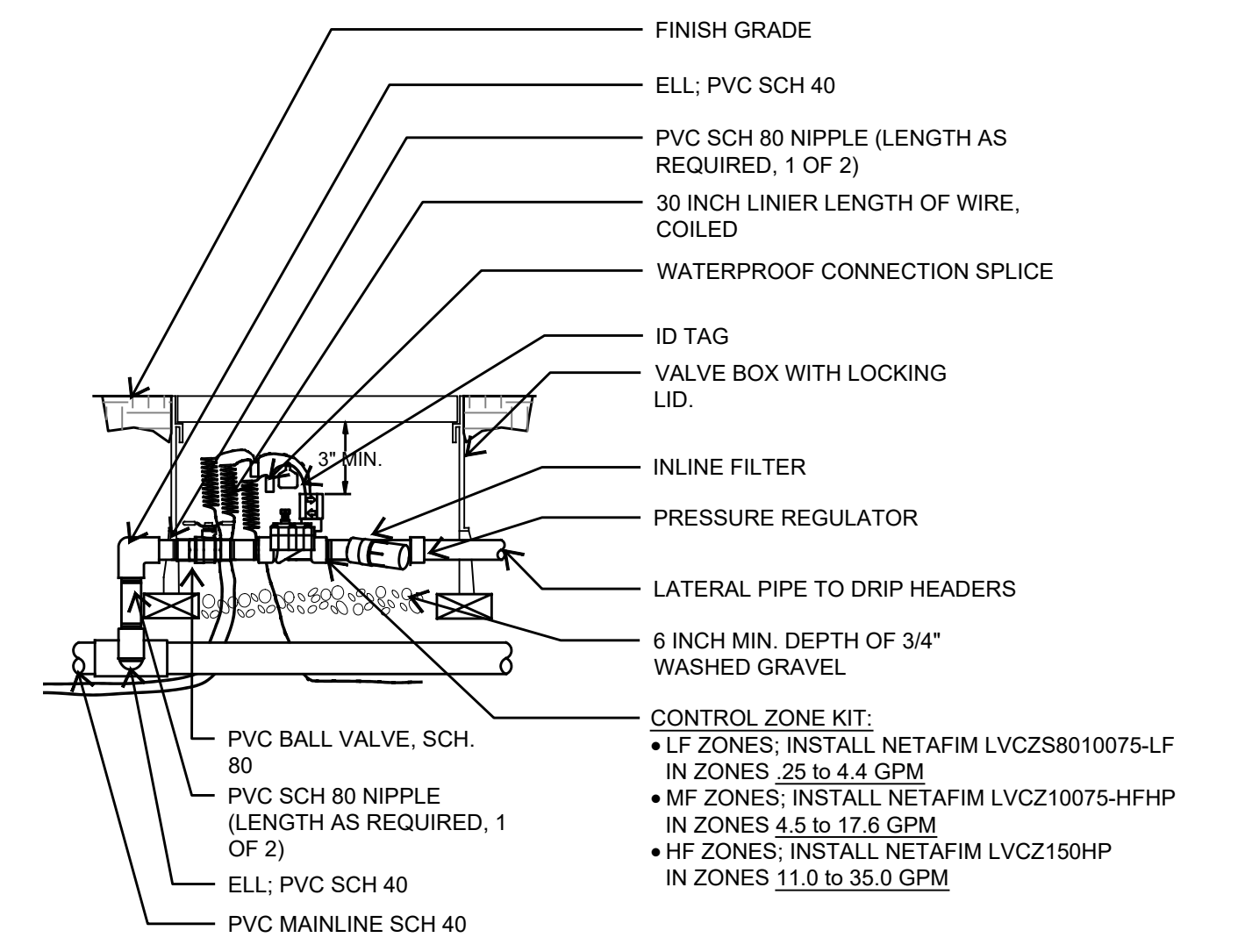
5 DRIPLINE FLUSH VALVE



2 DRIPLINE INSTALLATION (END FEED)



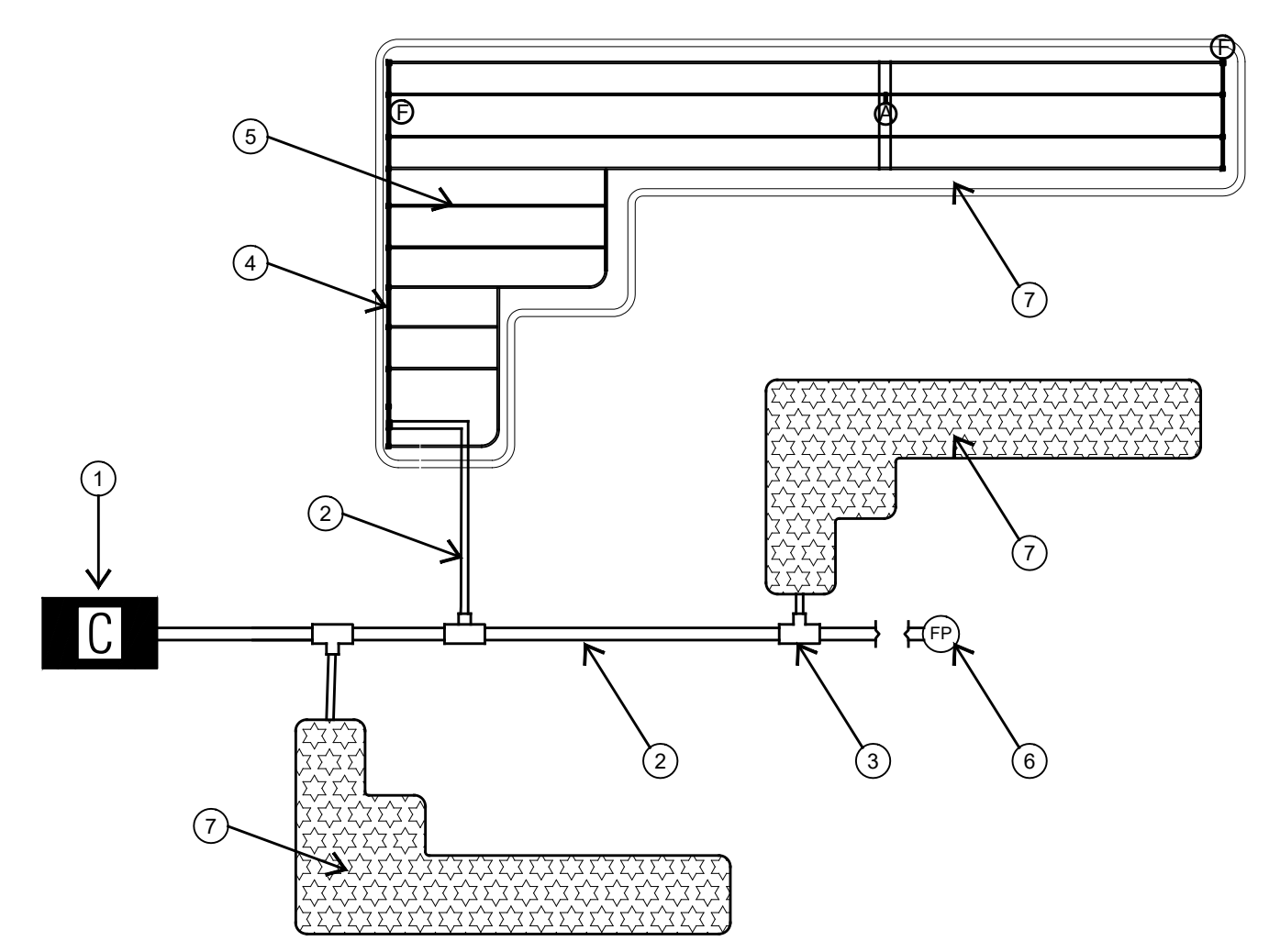
4 AIR RELIEF VALVE



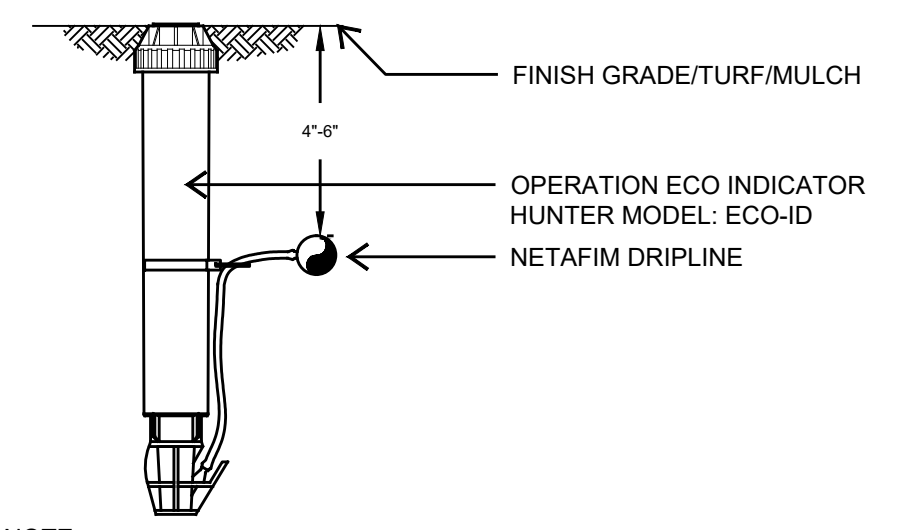
1 CONTROL ZONE KIT

- 1 CONTROL ZONE KIT; NETAFIM
- 2 PVC SUPPLY LINE; SIZE PER CHART BELOW
- 3 PVC SCH-40 TEE OR EL (TYPICAL)
- 4 SUPPLY HEADER; PVC SCH 40 WITH INSERT FITTINGS
- 5 LANDSCAPE DRIPLINE TUBING; NETAFIM TLHCVXR7-18 FOR PLANTING; NETAFIM TLHCVXR5-12 FOR TURF
- 6 DRIPLINE FLUSH POINT (SEE NETAFIM DETAIL: FLUSH VALVE)
- 7 DRIP AREA; DEFINED BY HATCH ASSOCIATED TO ZONE TAG ON PLANS

TOTAL LENGTH OF DRIPLINE	MINIMUM PIPE SIZE
UP TO 200 FT	1/2" SCH 40 PVC or 1/2" CLASS 315 PVC
200 TO 300 FT	3/4" CLASS 200 PVC
300 TO 350 FT	1" CLASS 200 PVC
350 TO 700 FT	1-1/2" CLASS 200 PVC
700 TO 2400 FT	1-1/2" CLASS 200 PVC



8 DRIP HATCH LAYOUT



7 OPERATION INDICATOR

- 1) DRIP LINE SHALL BE BURIED 3" TO 5" BELOW FINISHED SOIL GRADE IN PLANTING BEDS AFTER PLANTING AND BEFORE MULCH AND 4" TO 6" BELOW FINISHED GRADE IN TURF AREAS.
- 2) STAGGER EMITTER SPACING IN PARALLEL ROWS TO CREATE TRIANGULAR WETTING PATTERN.
- 3) ALL DRIP LINE SHALL BE SECURED USING SOIL STAPLES AS SUPPLIED BY THE MANUFACTURER SPACED A MAX. OF 3' ON CENTER.
- 4) DRIP LATERALS SHOWN ON THE PLANS ARE USED TO INDICATE ZONING SIZES AND RELATIONSHIPS. INSTALLATION OF DRIP ZONES SHALL FOLLOW ONE OF THE TWO METHODS DESCRIBED IN DTLS. 2/3-LI 2.2. AND NETAFIM'S RECOMMENDED INSTALLATION SPECIFICATIONS.
- 5) NETAFIM HCVR SERIES DRIPLINE SHALL BE USED AS FOLLOWS:
TURF AREAS: TLHCVXR5-12, ROWS SPACED AT 12 INCHES
BED AREAS: TLHCVXR7-18, ROWS SPACED AT 18 INCHES
BED AREAS WITH SLOPE 3:1 OR MORE: TLHCVXR7-12
- 6) WHEN CONFLICTS OCCUR BETWEEN THESE DRAWINGS AND THE MANUFACTURER'S SPECIFICATIONS DEFER TO THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
- 7) EACH DRIP ZONE SHALL HAVE A DRIP SYSTEM OPERATION INDICATOR, AS MANUFACTURED BY NETAFIM. INSTALL PER NETAFIM RECOMMENDATIONS.

PROPER SIZING OF SUPPLY AND EXHAUST HEADERS
(17MM HCVR SERIES DRIPLINE)

TOTAL ZONE FLOW	PIPE SIZE
UP TO 5 GPM	1/2" SCH 40 PVC or 1/2" CLASS 315 PVC
5.1 TO 8 GPM	3/4" CLASS 200 PVC
8.1 TO 13 GPM	1" CLASS 200 PVC
13.1 TO 22 GPM	1-1/4" CLASS 200 PVC
22.1 TO 31 GPM	1-1/2" CLASS 200 PVC

NOTE: A 45 PSI PRESSURE REGULATOR IS RECOMMENDED TO OBTAIN MAXIMUM RUN LENGTHS AND MAXIMIZE ZONE SIZE WHEN INSTALLING HCVR SERIES DRIPLINE.

9 DRIP DESIGN NOTES

- NOTE:
1. INSERT BARB TRANSFER FITTING DIRECTLY INTO DRIPLINE TUBING.
2. VAN NOZZLE MAY BE SET TO CLOSED, OR IF IT IS DESIRED TO SEE SPRAY FROM THE NOZZLE, SET THE ARC TO 1/2 PATTERN. THE FLOW FROM THE NOZZLE, 0.3 GPM, SHOULD BE ACCOUNTED FOR IN THE SYSTEM DESIGN.

NOTE: INSTALL AT HIGH POINT OF DRIP ZONE. IF MORE THAN TWO HIGH POINTS IN A ZONE, INSTALL AT EACH HIGH POINT.

PROJECT NUMBER
2022-285

Drawn By: pra
Checked By: jr

Sheet Title:
IRRIGATION DETAILS

Sheet Number:

L12.2

Issue Date:
January 30, 2023