

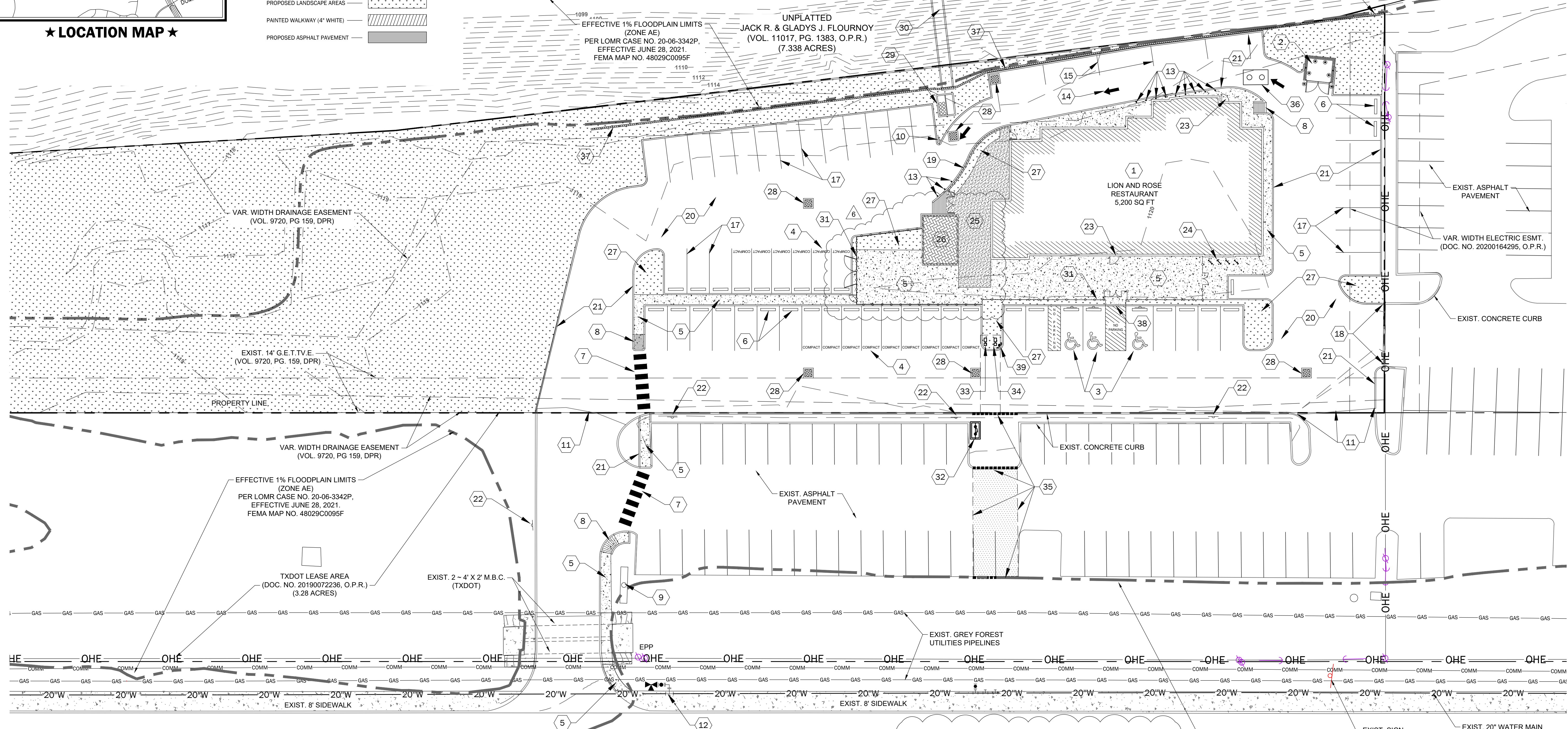
★ LOCATION MAP ★

LEGEND

- EXISTING CONTOUR
- PROPERTY LINE
- EXISTING FENCE
- 100-YR EFFECTIVE FLOODPLAIN
- 100-YR ULTIMATE FLOODPLAIN
- EXISTING 20" WATER MAIN
- EXISTING SEWER MAIN
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS MAIN
- EXISTING COMMUNICATION LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER POLE
- PROPOSED CONCRETE WALK
- PROPOSED LANDSCAPE AREAS
- PAINTED WALKWAY (4" WHITE)
- PROPOSED ASPHALT PAVEMENT

NOTES BY SYMBOL:

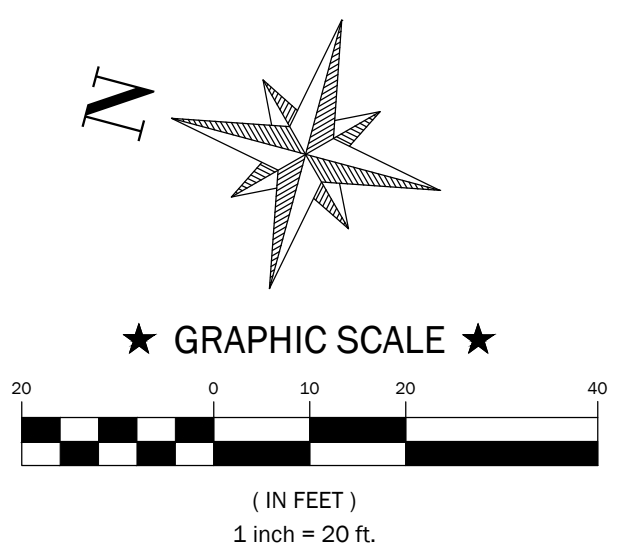
- 1 PROPOSED RESTAURANT STRUCTURE
- 2 DUMPSTER WITH ENCLOSURE WITH 7" THICK CONC. APRON REFER TO ARCH PLAN FOR DETAILS
- 3 ACCESSIBLE PARKING SPACE MARKINGS
- 4 PROPOSED COMPACT PARKING SPACES
- 5 PROPOSED CONCRETE SIDEWALK (REF. ARCH FOR STAINED CONCRETE LIMITS)
- 6 PROPOSED WHEELSTOP (TYP.)
- 7 PROPOSED CROSSWALK STRIPING
- 8 PROPOSED ACCESSIBLE RAMP & LANDING
- 9 PROPOSED PYLON SIGN (FOR REFERENCE ONLY - BY SEPARATE PERMIT)
- 10 PROPOSED "NO ENTRY" SIGN
- 11 SAWCUT & TIE TO EXISTING PAVEMENT AND CURB
- 12 PROPOSED FIRE HYDRANT
- 13 PROPOSED BOLLARDS
- 14 PROPOSED DRIVEWAY TRAFFIC FLOW DIRECTIONAL ARROW
- 15 PROPOSED PARALLEL PARKING SPACES
- 16 PROPOSED SITE LIGHTING (REF ELECTRICAL PLANS)
- 17 PROPOSED PARKING STRIPING (4" WHITE)
- 18 REMOVE EXIST. SAWTOOTH CURB & TIE TO EXIST. ASPHALT PAVEMENT & CONCRETE CURB
- 19 PROPOSED WALL (REF ARCH PLANS)
- 20 PROPOSED CONCRETE PAVEMENT (SEE PAVING PLAN)
- 21 PROPOSED CONCRETE CURB
- 22 PROPOSED FIRE LANE SIGN
- 23 5' x 5' ADA LANDING AT ENTRY DOORS (REF. ARCH. SITE PLAN)
- 24 PROPOSED BIKE RACKS (3 EA.)
- 25 PROPOSED ARTIFICIAL TURF AREA (REF ARCH PLANS)
- 26 PROPOSED COVERED OUTDOOR BAR (REF ARCH PLANS)
- 27 PROPOSED PLANTER (REF LANDSCAPE PLANS)
- 28 PROPOSED 3'x3' GRATE INLET
- 29 PROPOSED CONTECH JELLYFISH FILTER VAULT (TOP ELEV: 1120.67; INV OUT: 1115.00)
- 30 PROPOSED CONCRETE OUTFALL (SEE SITE DETAILS)
- 31 PROPOSED PATIO FENCE (REF ARCH PLANS)
- 32 FIRE SERVICE LINE DOUBLE CHECK DETECTOR ASSEMBLY VAULT
- 33 PROPOSED DOMESTIC WATER METER
- 34 PROPOSED IRRIGATION WATER METER
- 35 DEMO & REPLACE EXISTING ASPHALT PAVEMENT & CONCRETE CURB AS NEEDED FOR UTILITY INSTALLATION
- 36 PROPOSED GREASE TRAP (SEE UTILITY PLANS)
- 37 PROPOSED CONCRETE FENCE (REF ARCH PLANS)
- 38 PROPOSED FLUSH CURB
- 39 PROPOSED FREESTANDING FIRE DEPARTMENT CONNECTION W/ 2 BOLLARDS



SITE PLAN NOTES:

1. ALL ACCESSIBLE RAMPS SHALL MEET ADA/TAS REQUIREMENTS.
2. SEE ARCHITECTURAL PLANS FOR STRUCTURAL/LANDSCAPE DIMENSION PLAN.
3. SEE ARCHITECTURAL/ELECTRICAL PLANS FOR LIGHTING DETAILS AND LOCATIONS.
4. ALL LIGHT POLE FOUNDATIONS, STANDS, AND FIXTURES TO BE DETERMINED BY THE ELECTRICAL ENGINEER.
5. REFERENCE LANDSCAPE PLANS FOR TREE PROTECTION PLANS/DETAILS.
6. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
7. ALL SIDEWALKS, CURBS, RAMPS AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS AND CITY OF SAN ANTONIO DESIGN STANDARDS PRIOR TO FINAL INSPECTION APPROVAL.

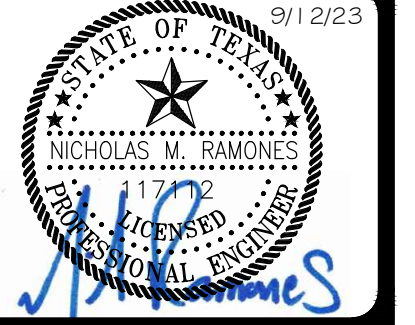
LAND USE CHART & PARKING SUMMARY	
PROPOSED DEVELOPMENT	LION & ROSE RESTAURANT
EXISTING ZONING	C-2
PROPOSED USE	RESTAURANT
SITE AREA (AC)	1.8
LANDSCAPED AREA (SF) / (%)	36,608 / 47%
IMPERVIOUS COVER (SF) / (%)	41,800 / 53%
BUILDING AREA (SF)	5,200
OUTDOOR PATIO AREA (SF)	1,300
TOTAL AREA (SF)	6,500
MIN PARKING SPACES REQUIRED	65 (1 per 100 sf)
MAX PARKING SPACES REQUIRED	164 (1 per 40 sf)
TOTAL PARKING SPACES PROVIDED	65
STANDARD SPACES PROVIDED	47
COMPACT SPACES PROVIDED	18
BIKE SPACES PROVIDED/REQUIRED	8 / 7
ADA SPACES PROVIDED/REQUIRED	3 / 3



- REVISIONS:**
- 4/18/23 - COSA COMMENTS
 - 4/26/23 - COSA COMMENTS
 - 5/3/23 - REVISED WATER METER SIZES
 - 5/15/23 - COSA COMMENTS
 - 7/25/23 - SAWS COMMENTS
 - 9/12/23 - ARCHITECT REVISIONS



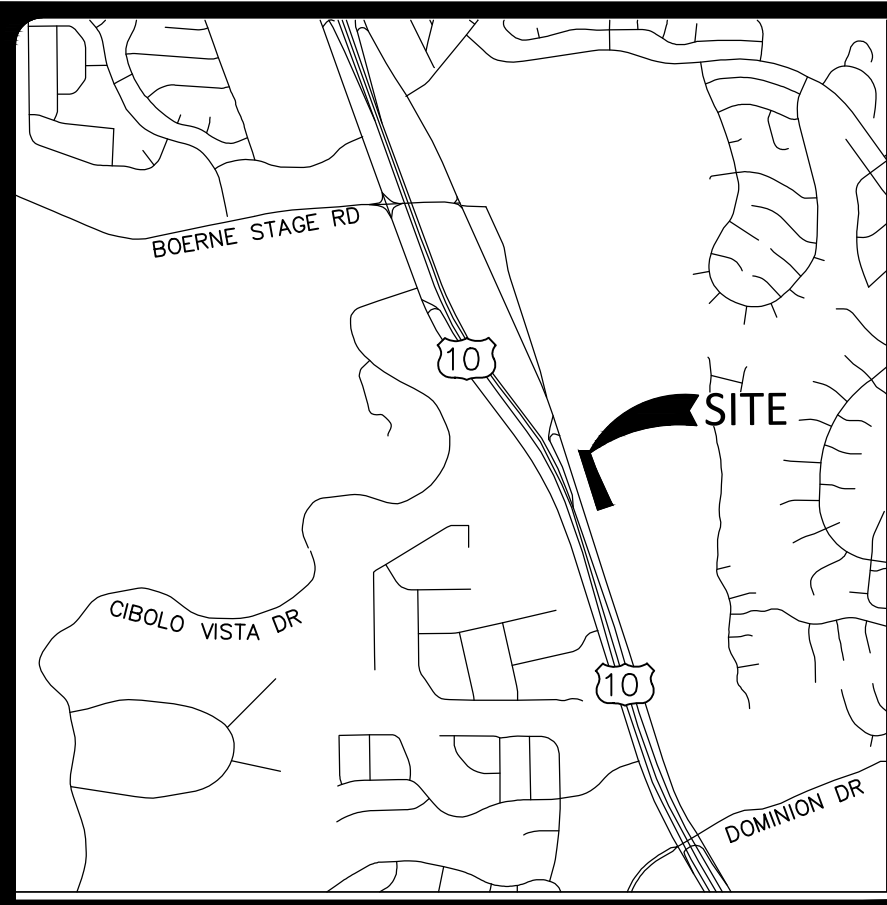
RAMONES ENGINEERING
 652 W. MONROE AVE | SAN ANTONIO, TX 78205 | TEL: 214-642-2800 | TYP: RLS-P-1002



PROPOSED SITE PLAN
 for
LION & ROSE RESTAURANT AT DOMINION CREEK
 23330 IH-10 W, SAN ANTONIO, TX 78257

JOB #: C-2213
 DATE: 1/28/2023
 DESIGN: N.M.R.
 DRAWN: N.M.R.
 CHECKED:
 SHEET: C-2.0

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADEQUATELY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.



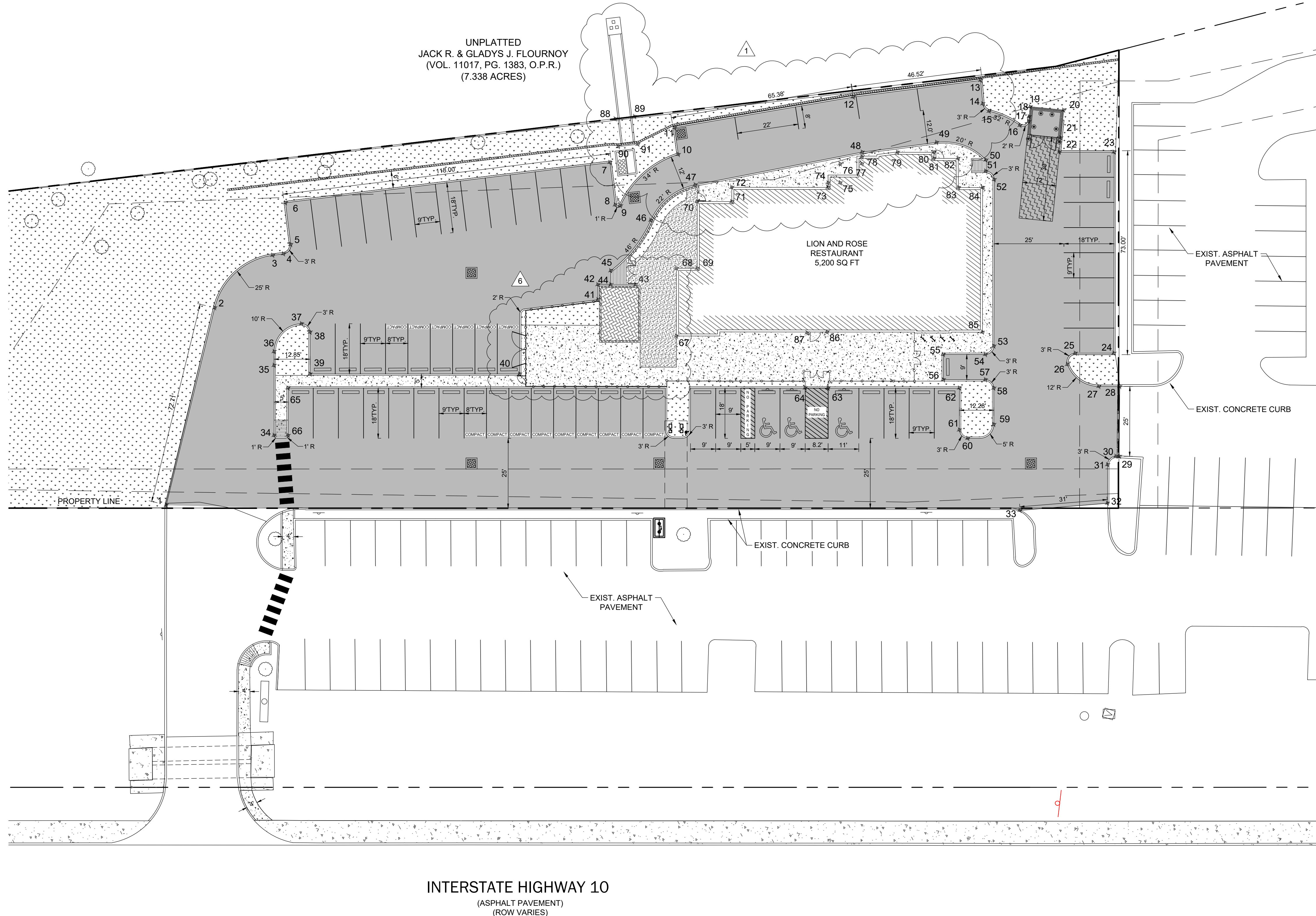
★ LOCATION MAP ★

PAVEMENT NOTES:

- SEE PAVING DETAILS AND NOTES FOR ADDITIONAL INFORMATION. PAVEMENT SUBGRADE PREPARATION SHOULD BE IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT. PAVEMENT SECTION THICKNESS AND COMPACTION RATINGS TO BE VERIFIED WITH GEOTECHNICAL REPORT RECOMMENDATIONS.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318-89 (REV. 92).
- PORTLAND CEMENT SHALL BE A SINGLE BRAND CONFORMING TO ASTM C-150, TYPE I OR TYPE III.
- CONCRETE MIXES SHALL BE DESIGNED TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH PSI AT 28 DAYS OF 4,000 PSI.
- CONCRETE SHALL HAVE A MINIMUM SEVEN DAY FLEXURAL STRENGTH OF 600 PSI.
- ALL CONCRETE SHALL BE AIR ENTRAINED AT MINIMUM 2% BY VOLUME, +/-1.5%.
- CONCRETE SLUMPS SHALL BE NOT LESS THAN 3" NOR MORE THAN 5", ASTM C143.
- THE PAVEMENT SURFACE SHALL BE MOIST-CURED WITH A MEMBRANE OR CURING COMPOUND FOR NOT LESS THAN SEVEN DAYS.
- JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
- SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO ENSURE POSITIVE DRAINAGE (TYP. ALL INTERSECTIONS).
- PROVIDE LONGITUDINAL AND TRANSVERSE CONTRACTION JOINTS AT 15' MAXIMUM EACH WAY. CONTRACTION JOINTS SHALL BE 1/4" X 1/4" DEPTH OF PAVEMENT. REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONTRACTION JOINTS. JOINTS SHALL BE CONTINUOUS THROUGH CURBS. SAW-CUTTING SHALL BE COMPLETED BEFORE 8 HOURS HAVE ELAPSED SINCE CONCRETE PLACEMENT. JOINTS SHALL BE SEALED FOLLOWING SAW-CUTTING.
- PROVIDE 3/4" EXPANSION JOINTS TO ISOLATE ALL FIXED OBJECTS ABUTTING OR WITHIN THE PAVING AREA SUCH AS BUILDINGS, EXISTING PAVEMENT, UTILITY APPURTENANCES, POLE BASES, AND SIDEWALKS. DO NOT PERMIT REINFORCEMENT TO EXTEND CONTINUOUSLY THROUGH ANY EXPANSION JOINTS TO FULL DEPTH WITH EXPANSION JOINT MATERIAL (BITUMINOUS MATERIAL). IN CURBS, LOCATE JOINTS AT THE BEGINNING AND END OF CURVES. IN CURBS AND PAVING, DEPRESS 3/4" JOINT MATERIAL BELOW FINISHED GRADE AND SEAL EXPOSED JOINTS WITH JOINT SEALER.
- PROVIDE CONSTRUCTION JOINTS AT END OF EACH DAY'S WORK OR WHEN CONCRETE PLACEMENT IS STOPPED MORE THAN 1/2 HOUR.
- ALL SAW-CUT SURFACES OF THE EXISTING PAVEMENT SHALL BE CLEANED AND COATED WITH AN APPROVED BONDING COMPOUND IMMEDIATELY BEFORE THE NEW CONCRETE IS PLACED.
- CONCRETE PLACED IN HOT WEATHER SHALL BE POURED IN THE EARLY MORNING SO THAT THE CONCRETE CAN ACHIEVE ITS INITIAL SET BY 9:00 AM.
- PROVIDE MONOLITHIC OR EXTRUDED CURB AT ALL PERIMETER PAVING UNLESS NOTED OTHERWISE.
- CONCRETE CURB SHALL BE OF THE SAME COMPRESSIVE STRENGTH AS THE CONCRETE PAVEMENT.
- MILD STEEL REINFORCEMENT AND ACCESSORIES SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH ACI SP-66.
- MILD STEEL REINFORCEMENT SHALL BE PLACED AND SECURED IN ACCORDANCE WITH CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS." PROVIDE METAL OR PLASTIC CHAIRS OR SPACERS (NOT WOOD BLOCKS OR BRICK BATS) TO PROVIDE SUPPORT FOR REINFORCING BARS.
- MINIMUM CONCRETE PROTECTION FOR ALL REINFORCEMENT SHALL BE 2-INCH CLEAR COVER BETWEEN ANY CONCRETE SURFACE AND NEAREST EDGE OF ANY REBAR. THERE SHALL BE MIN. 3 INCH OF COVER BETWEEN BOTTOM (TOP OF BASE MATERIAL OR SUBGRADE) AND EDGE OF REINFORCEMENT.
- REINFORCING BARS SHALL BE CONTACT LAP SPLICED UNLESS SHOWN OTHERWISE. LAP SPLICES SHALL CONFORM TO ACI REQUIREMENTS, BUT SHALL IN NO CASE BE LESS THAN 40 BAR DIAMETERS LONG.
- NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C-33. ALL CONCRETE SHALL USE NORMAL WEIGHT AGGREGATES, UNLESS NOTED OTHERWISE.
- THE MAXIMUM NOMINAL SIZE OF COARSE AGGREGATE SHALL BE 1-1/2 INCH.
- ALL ADDITIVES FOR AIR ENTRAINMENT, WATER REDUCTION, AND SET CONTROL SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.

LEGEND

- PROPERTY LINE
- PROPOSED CONCRETE WALK
- PROPOSED LANDSCAPE AREAS
- PROPOSED 6" CONCRETE PAVEMENT
- PROPOSED 7" CONCRETE PAVEMENT



UNPLATTED
JACK R. & GLADYS J. FLOURNOY
(VOL. 11017, PG. 1383, O.P.R.)
(7.338 ACRES)

LION AND ROSE
RESTAURANT
5,200 SQ FT

EXIST. ASPHALT
PAVEMENT

EXIST. CONCRETE CURB

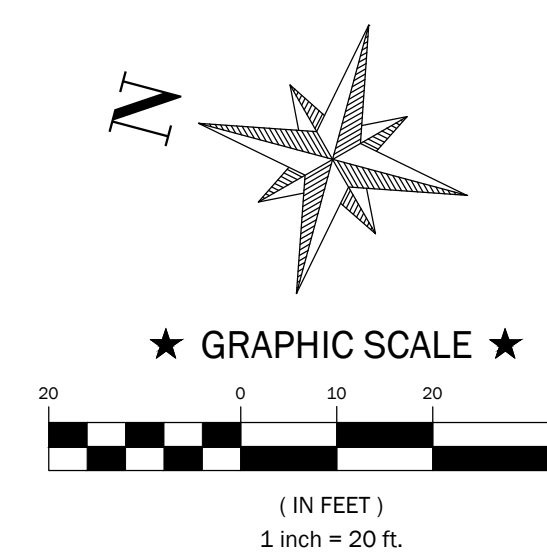
EXIST. CONCRETE CURB

EXIST. ASPHALT
PAVEMENT

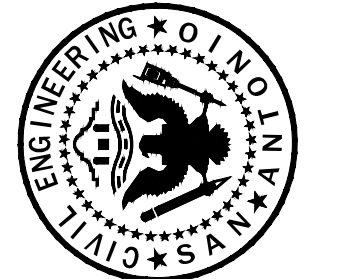
INTERSTATE HIGHWAY 10
(ASPHALT PAVEMENT)
(ROW VARIES)

Point Table		
Point #	Northing	Easting
1	13789613.0073	2087669.9527
2	13789617.9061	2087742.4976
3	13789603.8062	2087766.7080
4	13789600.3048	2087768.3935
5	13789598.8810	2087772.3514
6	13789605.1756	2087786.0209
7	13789498.9018	2087834.9584
8	13789492.4895	2087821.0334
9	13789490.5881	2087821.3344
10	13789476.4796	2087845.0917
11	13789480.6697	2087853.8381
12	13789423.0613	2087883.6910
13	13789381.3871	2087903.2020
14	13789378.1424	2087895.4223
15	13789375.1672	2087893.5842
16	13789363.1173	2087892.1069
17	13789360.5446	2087894.4217
18	13789360.8993	2087896.1067
19	13789361.6263	2087899.5608
20	13789349.8835	2087902.0323
21	13789347.8240	2087892.2467
22	13789346.7733	2087887.2548
23	13789328.0832	2087893.1992
24	13789306.3455	2087824.5589
25	13789319.5236	2087820.3678
26	13789320.9830	2087815.6676
27	13789307.8715	2087811.5966
28	13789300.7520	2087813.8380
29	13789293.2445	2087789.9919
30	13789294.4507	2087789.6121
31	13789296.4114	2087785.8497
32	13789292.2670	2087772.6860
33	13789321.3351	2087760.7616
34	13789583.7848	2087705.3878
35	13789591.3794	2087729.2719
36	13789592.8755	2087730.2463
37	13789506.7349	2087752.9734
38	13789488.1048	2087786.8303
39	13789489.7516	2087791.9589
40	13789476.8602	2087796.1141
41	13789485.3613	2087793.3765
42	13789486.8735	2087798.0993
43	13789478.6984	2087819.6822
44	13789467.3988	2087836.5942
45	13789414.0124	2087865.8441
46	13789389.6922	2087877.2304
47	13789370.9463	2087876.5873

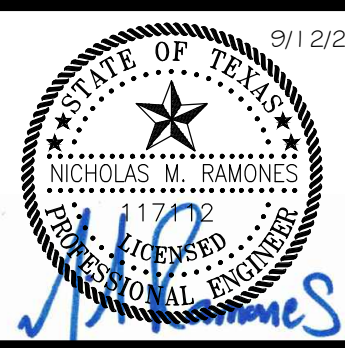
Point Table		
Point #	Northing	Easting
51	13789369.7835	2087872.7598
52	13789366.0136	2087870.8046
53	13789348.0579	2087813.9624
54	13789350.0093	2087810.1999
55	13789364.3683	2087805.6330
56	13789361.6255	2087797.0163
57	13789347.2937	2087801.5735
58	13789343.5250	2087799.6214
59	13789339.5948	2087787.2280
60	13789346.9242	2087779.6549
61	13789350.6922	2087781.6047
62	13789355.2376	2087795.8995
63	13789400.0274	2087781.6560
64	13789407.8167	2087779.1805
65	13789584.1713	2087723.1036
66	13789579.0199	2087706.9029
67	13789457.3980	2087782.9745
68	13789464.7195	2087806.0702
69	13789457.6543	2087808.3099
70	13789464.8802	2087831.1041
71	13789453.1322	2087834.8283
72	13789454.6744	2087839.6930
73	13789421.8366	2087850.1027
74	13789422.3354	2087851.6762
75	13789418.1734	2087852.9955
76	13789420.2052	2087859.4262
77	13789412.8370	2087861.8276
78	13789413.5870	2087864.1933
79	13789401.9533	2087869.6285
80	13789389.5623	2087873.5564
81	13789388.9043	2087871.4808
82	13789380.6076	2087874.1217
83	13789377.3256	2087864.2212
84	13789369.1016	2087866.8204
85	13789353.4574	2087817.4703
86	13789406.4531	2087800.6704
87	13789413.1840	2087798.1870
88	13789501.8660	2087850.3999
89	13789495.4935	2087853.2967
90	13789497.7277	2087841.2963
91	13789491.3552	2087844.1931



- REVISIONS:**
- 4/18/23 - COSA COMMENTS
 - 4/26/23 - COSA COMMENTS
 - 5/3/23 - REVISED WATER METER SIZES
 - 5/15/23 - COSA COMMENTS
 - 7/25/23 - SAWS COMMENTS
 - 9/12/23 - ARCHITECT REVISIONS



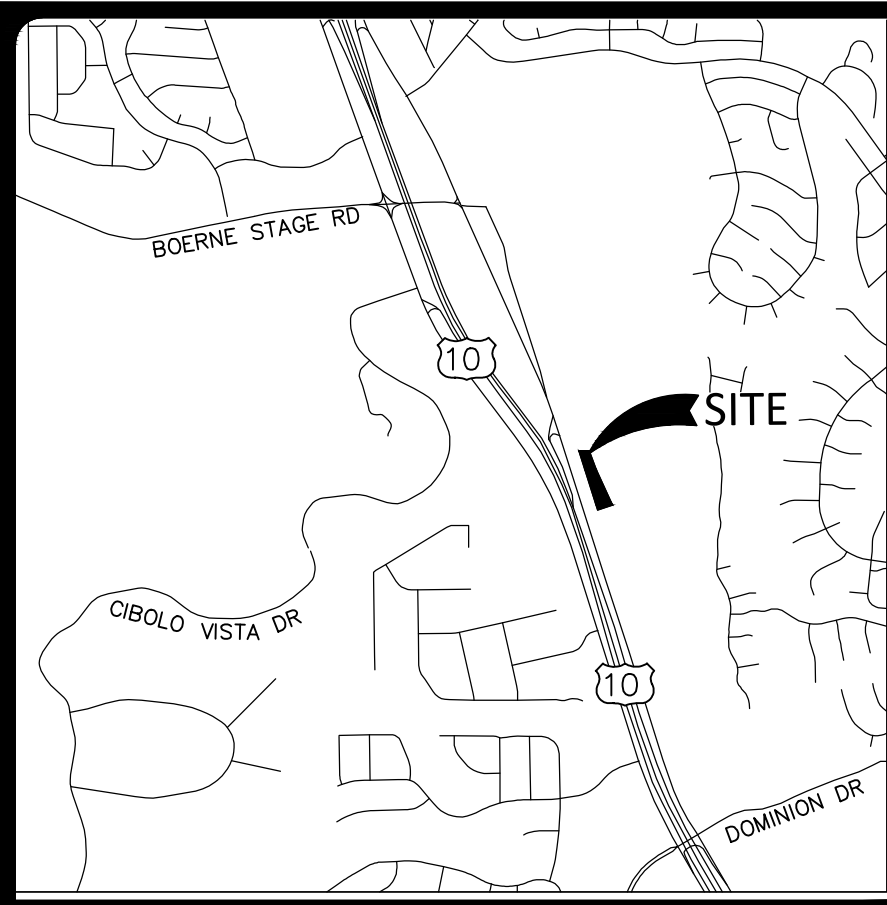
RAMONES ENGINEERING
10101 MONTELEONE AVE | SAN ANTONIO, TX 78241 | TEL: 214-342-2960 | FAX: 214-342-2961



PAVING & DIMENSION CONTROL PLAN
for
LION & ROSE RESTAURANT AT DOMINION CREEK
23330 IH-10 W, SAN ANTONIO, TX 78257

JOB #: C-2213
DATE: 1/28/2023
DESIGN: N.M.R.
DRAWN: N.M.R.
CHECKED:
SHEET: C-3.0

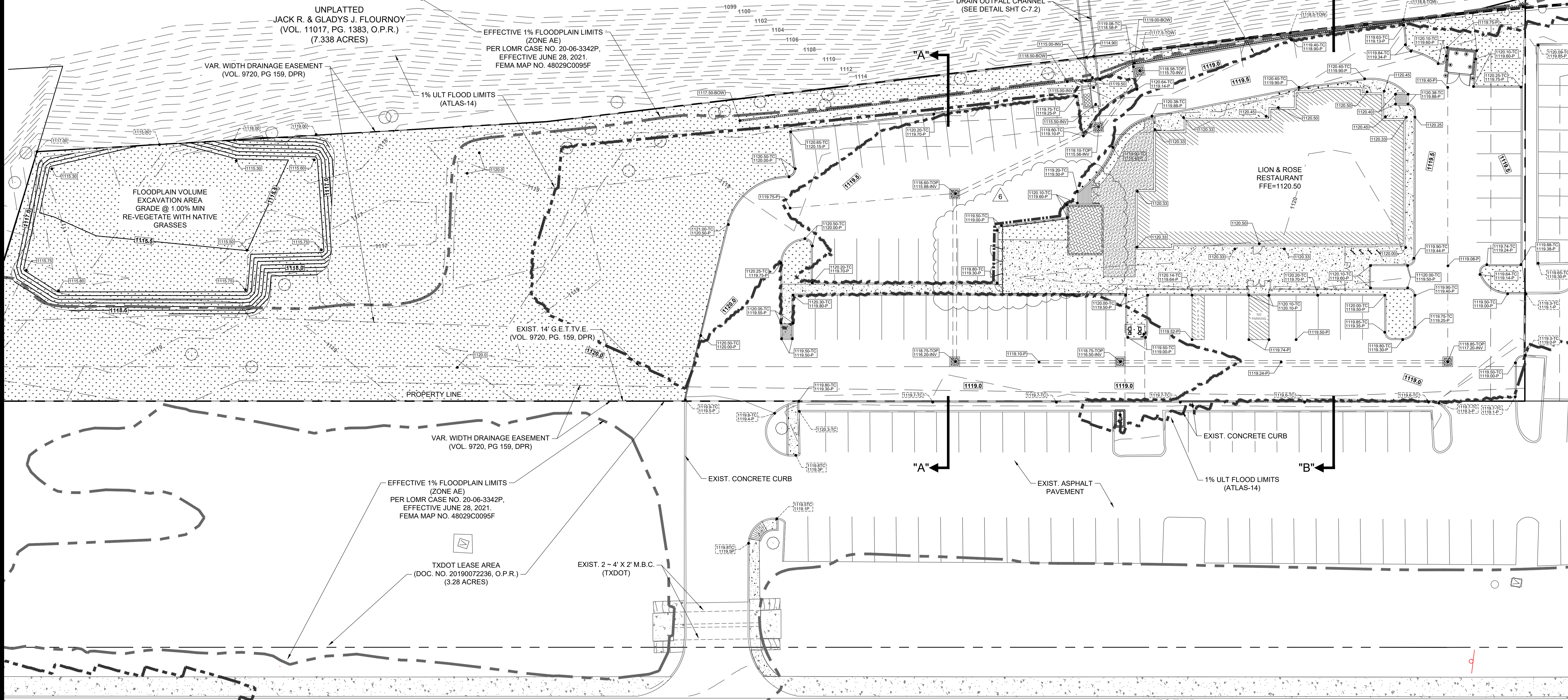
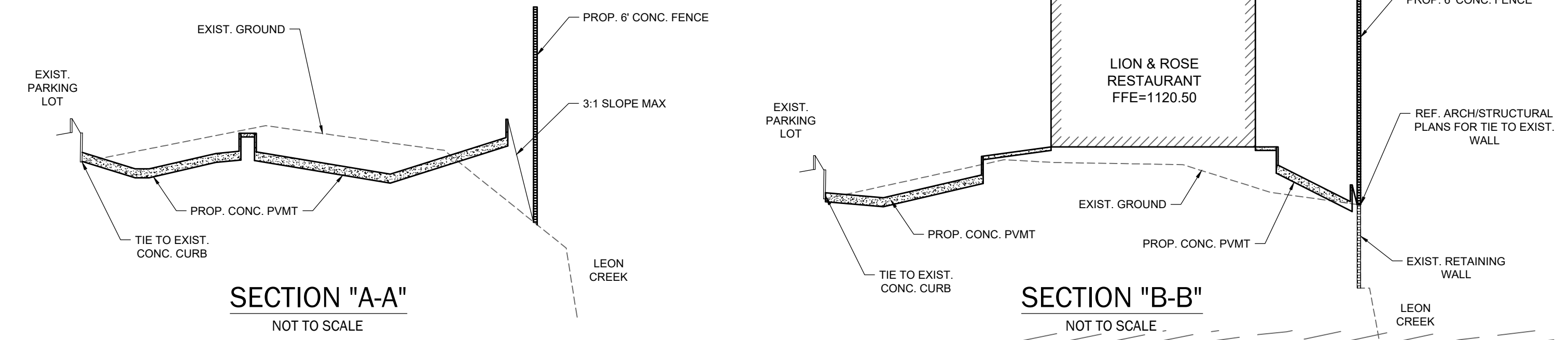
THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADEQUATELY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.



★ LOCATION MAP ★

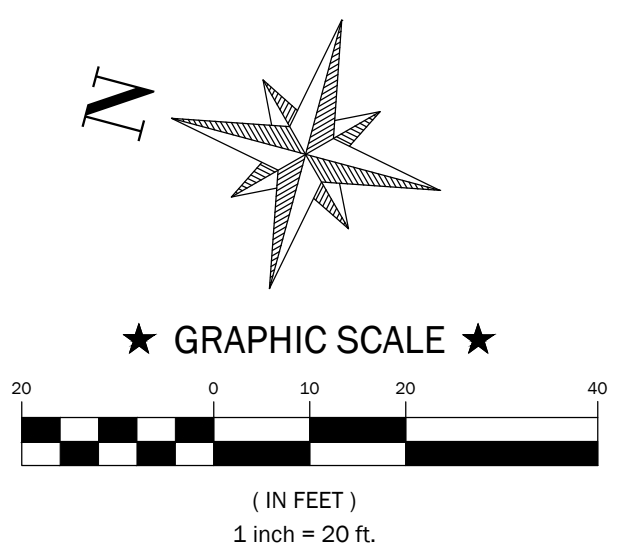
GRADING AND DRAINAGE NOTES:

1. ALL GRADES AND CONTOURS SHOWN ARE FINAL, TOP OF FINISHED SURFACE ELEVATIONS. CONTRACTOR SHALL SUBTRACT PAVEMENT, BASE, TOPSOIL, MULCH, ETC. TO OBTAIN PROPER SUBGRADE ELEVATIONS.
2. POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER. MINIMUM SLOPE 0.50%.
3. NO ABRUPT CHANGE OF GRADE SHALL OCCUR.
4. ALL DISTURBED AREAS SHALL BE REVEGETATED BY THE CONTRACTOR IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND ARCHITECTURAL LANDSCAPING PLANS.
5. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AT HIS EXPENSE.
6. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE CITY OF SAN ANTONIO SPECIFICATIONS FOR CONSTRUCTION AND BEXAR COUNTY PUBLIC WORKS STANDARD SPECIFICATIONS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL, OR BETTER CONDITION, ANY DAMAGES DONE TO EXISTING SIGNS, UTILITIES, PAVEMENT, CURBS, SIDEWALKS OR DRIVEWAYS. (NO SEPARATE PAY ITEM)
8. DUE TO FEDERAL REGULATION TITLE 49, PART 192.181, CPS MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
9. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
11. ALL ON-SITE CURBS ARE 6" HIGH UNLESS OTHERWISE SPECIFIED.



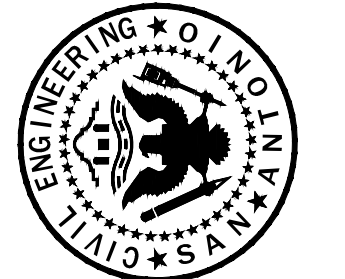
LEGEND

PROPOSED CONTOUR	1120.00
EXISTING CONTOUR	1120
SPOT ELEVATION - EXISTING	(21.30)
SPOT ELEVATION - PROPOSED	(21.50)
SPOT ELEVATION - TOP OF CURB	(21.50 TC)
SPOT ELEVATION - TOP OF PAVEMENT	(21.50 P)
SPOT ELEVATION - TOP OF WALL	(21.50 TOP)
SPOT ELEVATION - BOTTOM OF WALL	(21.50 BOW)
SPOT ELEVATION - TOP OF INLET	(21.50 TOP)
SPOT ELEVATION - DRAIN INVERT	(21.50 INV)
PROPOSED GRATE INLET	(Symbol)
PROPOSED CONCRETE WALK	(Symbol)
PROPOSED LANDSCAPE AREAS	(Symbol)

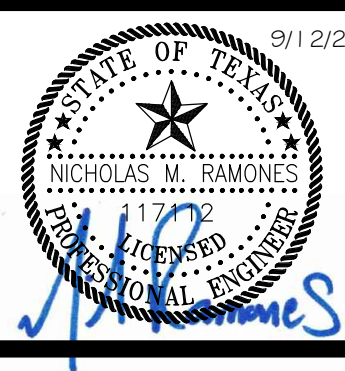


REVISIONS:

4/18/23	- COSA COMMENTS
4/26/23	- COSA COMMENTS
5/3/23	- REVISED WATER METER SIZES
5/15/23	- COSA COMMENTS
7/25/23	- SAWS COMMENTS
9/12/23	- ARCHITECT REVISIONS



RAMONES ENGINEERING
 622 W. MONROE AVE | SAN ANTONIO, TX 78205 | TEL: 214-662-8900 | TOP: TEL: 214-662-8900



GRADING PLAN for
LION & ROSE RESTAURANT AT DOMINION CREEK
 23330 IH-10 W, SAN ANTONIO, TX 78257

JOB #:	C-2213
DATE:	1/28/2023
DESIGN:	N.M.R.
DRAWN:	N.M.R.
CHECKED:	
SHEET:	C-6.0

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADEQUATELY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.

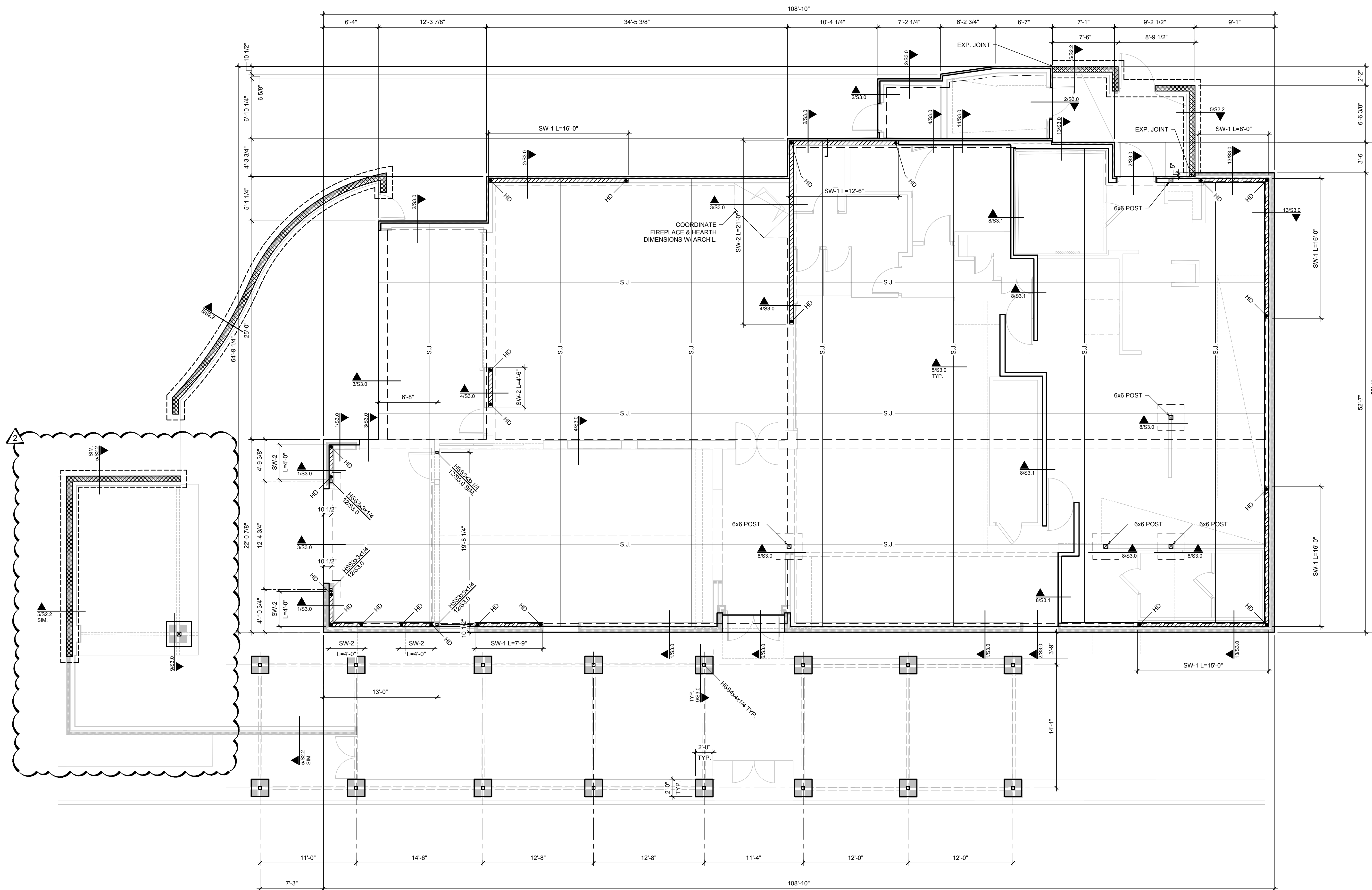
FOUNDATION PLAN

**231 10 WEST I-10
LOT 3 Dominion Creek,
San Antonio, 78257 Texas**

DATE	DESCRIPTION	BY
5/22/23	CITY COMMENTS	IL
9/14/23	BUS SLAB ADDITION	P.L.

PROJECT NO.
05-05-22

SHEET NO.
S2.0

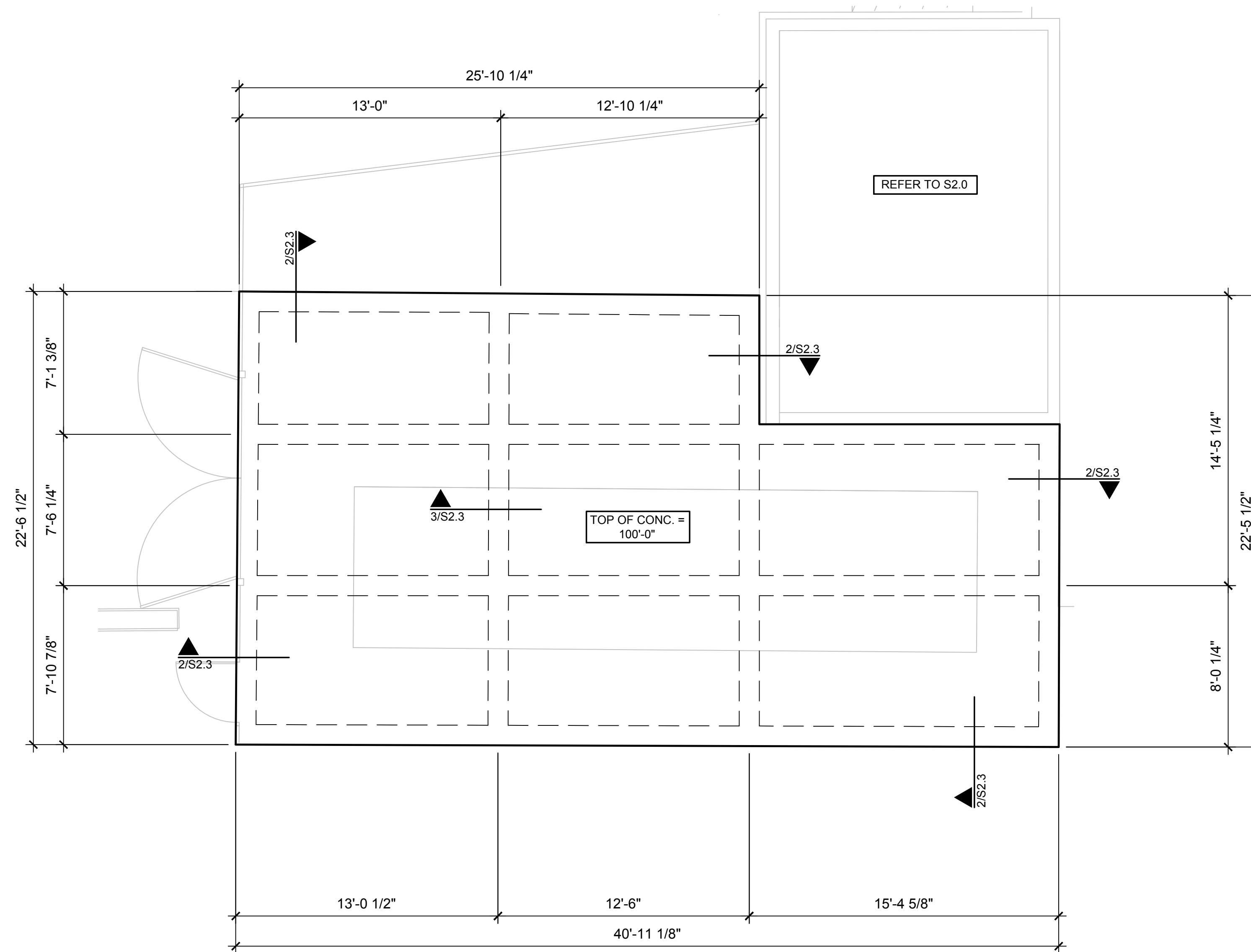


SHEAR WALL SCHEDULE				
MARK	PANEL	BOUNDRY & EDGE NAILING	HOLDOWN EACH END	POST EACH END
SW-1	15/32" STR-1	10d AT 4" O.C.	SIMPSON HDU5-SDS2.5 W/ 5/8" HILTI HY200 ADHESIVE ANCHOR W/ 16" EMBEDMENT	2-2x POST
SW-2	15/32" STR-1 BOTH SIDES	10d AT 3" O.C.	(2) SIMPSON HDU8 W/ 7/8" HILTI HY200 ADHESIVE ANCHOR W/ 17" EMBEDMENT	2-2x POST (2 POSTS EA. SIDE)

- NOTES:
- FIELD NAILING IS 10d AT 12" O.C. TYP.
 - (NON SHEAR WALLS) SHALL BE 1/2" NOMINAL PLYWOOD WITH 8d AT 6" O.C. EDGE NAILING.
 - ALL PANEL JOINTS SHALL BE BLOCKED W/ 2x BLOCKING.
 - 5/8" DIA SILL BOLTS AT 24" O.C. AT SHEAR WALLS. 48" O.C. OTHERWISE. REF. GENERAL NOTES.
 - REFER TO 2/S4.2, 3/S4.2 & 4/S4.2 FOR ADDITIONAL SHEAR WALL INFORMATION.

1 FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

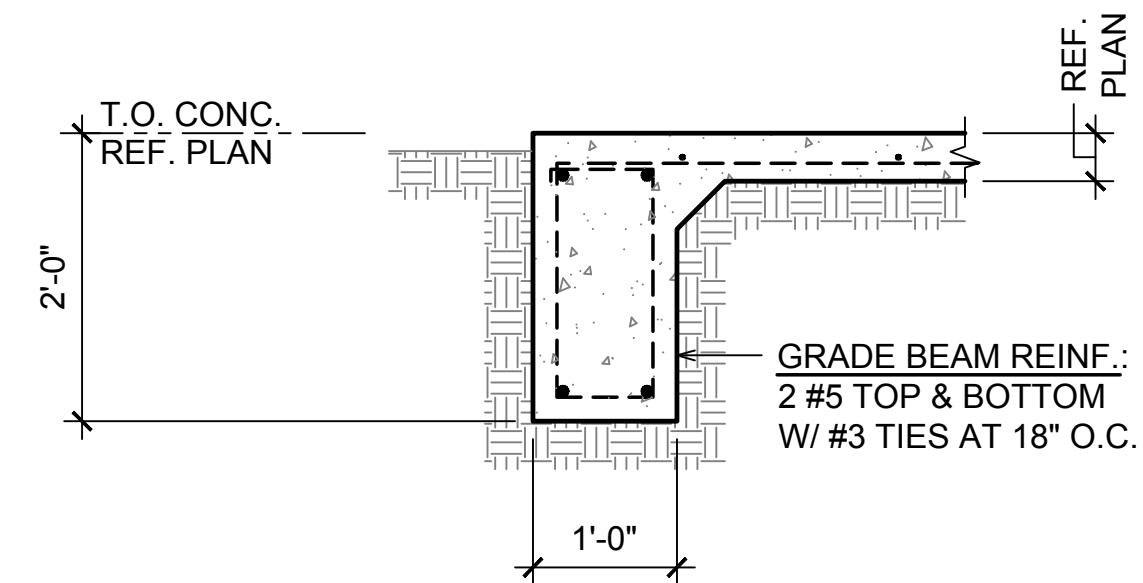
- FOUNDATION PLAN NOTES:
- COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL PLANS AND DETAILS.
 - REFERENCE SHEET S1.0 FOR GENERAL NOTES.
 - SLAB SHALL BE 5" THICK CONCRETE REINFORCED WITH #4 AT 16" O.C.E.W.
 - REFER TO ARCHITECTURAL, MECHANICAL AND PLUMBING DRAWINGS FOR SLAB PENETRATION AND DRAIN LOCATIONS.



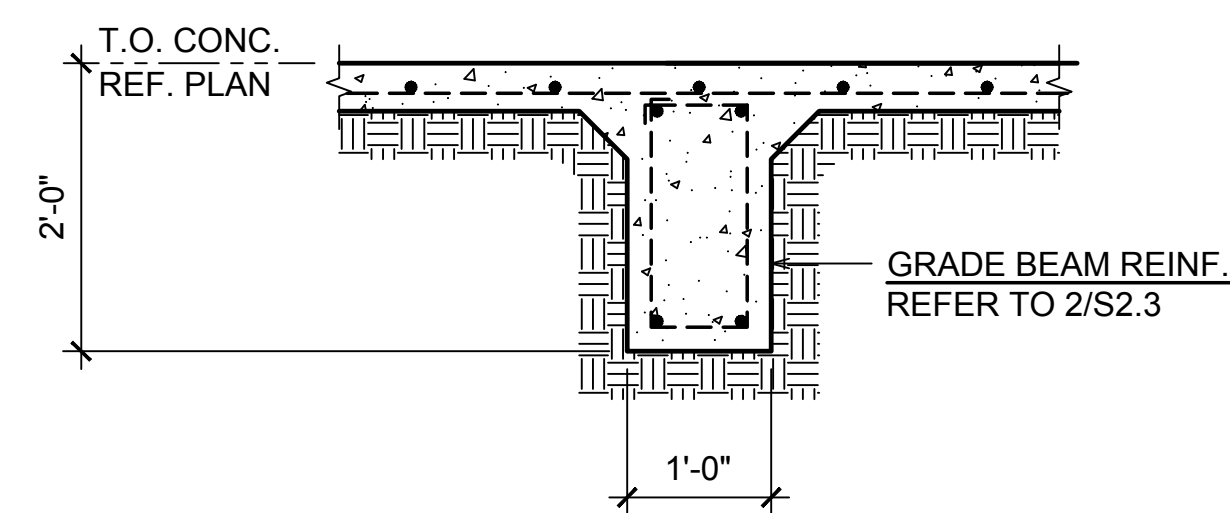
1 SLAB FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

FOUNDATION PLAN NOTES:

1. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL PLANS AND DETAILS.
2. REFERENCE SHEET S1.0 FOR GENERAL NOTES.
3. SLAB SHALL BE 5" THICK CONCRETE REINFORCED WITH #4 AT 16" O.C.E.V.
4. REFER TO ARCHITECTURAL, MECHANICAL AND PLUMBING DRAWINGS FOR SLAB PENETRATION AND DRAIN LOCATIONS.



2 PERIMETER GRADE BEAM
SCALE: 3/4" = 1'-0"



3 INTERIOR GRADE BEAM
SCALE: 3/4" = 1'-0"

LALONDE
ENGINEERING, INC.
CONSULTING STRUCTURAL
ENGINEERS
6617 RED BUD ROAD
FORT WORTH, TX 76135
PHONE: 817.337.8596
FAX: 817.238.1520
CORP #72719
LEPROJECT - 231101

PROJECT NO.
05-05-22

SHEET NO.

S2.3

DUMPSTER PAD
AND SITE DETAILS
23110 WEST I-10
LOT 3 Dominion Creek,
San Antonio, 78257 Texas

DRAWING
COORDINATION
Architectural, Landscape, Civil,
Structural, Mechanical and
Electrical drawings are interrelated.
General Contractor and all Sub
Contractors shall review and
coordinate the entire set of
drawings and specifications



MLA
MICHAEL LEGG ARCHITECTURE
Michael Legg, Legg
NCARB, AIA, RIBA, S/CAP
26116 High Timber Pass St
San Antonio, Texas 78260
ph: 210.446.4935
mlegg@mlaarchitecture.com
www.michaelleggarchitecture.com

THIS SEAL APPEARING ON THIS DOCUMENT
IS THE PROPERTY OF THE STATE OF TEXAS
AND IS NOT TO BE REPRODUCED OR
TRANSMITTED IN ANY FORM OR BY ANY
MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE
WRITTEN PERMISSION OF THE STATE OF
TEXAS.