

VICINITY MAP (MAPSCO GRID # 676B, 676E, 676F)

CITY OF AUSTIN WATER AND WASTEWATER UTILITY SPECIAL SERVICES DIVISION (512) 972-1060

AUSTIN WATER UTILITIES NOTES:

THIS PROJECT HAS PRIVATE HYDRANTS LOCATED WITHIN THE PROPERTY. THE PROPERTY OWNER IS REQUIRED TO COMPLY WITH AUSTIN FIRE CODE. FAILURE TO COMPLY MAY RESULT IN CIVIL AND/OR CRIMINAL REMEDIES AVAILABLE TO THE CITY...

TRAFFIC CONTROL PLAN NOTE

THIS NOTE IS BEING PLACED ON THE PLAN SET IN THE ABSENCE OF A TRAFFIC CONTROL PLAN (TCP) WITH THE FULL UNDERSTANDING THAT AN ENGINEERED TCP SHALL BE REVIEWED AND APPROVED BY RIGHT OF WAY MANAGEMENT DIVISION...

TRAVIS COUNTY NOTES:

PRE-CONSTRUCTION NOTES:

- 1. PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING ENSURE THAT ALL REQUIRED NOTICES AND PERMITS ARE POSTED AND THE CERTIFIED INSPECTOR FOR YOUR SITE HAS UPLOADED A SWPS INSPECTION REPORT TO YOUR ACCOUNT THAT CONFIRMS THAT THE FIRST PHASE OF TEMPORARY ESC HAVE BEEN INSTALLED PER PLANS AND SPECIFICATIONS.

ALONG WITH THE CITY OF AUSTIN, SCHEDULE YOUR PROJECTS PRE-CONSTRUCTION MEETING THROUGH THE HYPERMOTION.DWG ACCOUNT AFTER THE INITIAL 3RD PARTY SWPS INSPECTION REPORT HAS BEEN UPLOADED AND ALL PERMITS AND NOTICES HAVE BEEN POSTED...

LUCIOUS HENDERSON, AT LUCIOUS.HENDERSON@TRAVISCOUNTYTX.GOV ROY WRIGHT, AT ROY.WRIGHT@TRAVISCOUNTYTX.GOV JOHNNY ANGLIN, AT JOHNNY.ANGLIN@TRAVISCOUNTYTX.GOV

TRAVIS COUNTY PERMIT NO.: 21-34906 AREA OF DISTURBANCE FOR THE SITE: 50.28 AC PROPOSED IMPERVIOUS COVER FOR THE SITE: 23.02 AC (30.51%)

GENERAL NOTES:

- 1. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL... 2. THE PLAN IS COMPLETE, ACCURATE, AND IN COMPLIANCE WITH CHAPTER 25-8 SUBCHAPTER A OF THE LAND DEVELOPMENT CODE... 3. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN... 4. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY... 5. FOR MAINTENANCE OF THE WATER QUALITY AND/OR DETENTION FACILITY, SEE AGREEMENT FILED IN DOCUMENT NO. 2022143912... 6. IF AT ANY TIME DURING CONSTRUCTION OF THIS PROJECT AN UNDERGROUND STORAGE TANK (UST) IS FOUND, CONSTRUCTION IN THAT AREA MUST STOP UNTIL A CITY OF AUSTIN UST CONSTRUCTION PERMIT IS APPLIED FOR AND APPROVED... 7. THIS SITE IS SUBJECT TO THE CITY OF AUSTIN'S VOID AND WATER FLOW MITIGATION RULE... 8. ALL ACTIVITIES WITHIN THE CRITICAL ENVIRONMENT FEATURES (CEF) SETBACK MUST COMPLY WITH THE CITY OF AUSTIN CODE AND CRITERIA... 9. NO STRUCTURE SHALL BE OCCUPIED UNTIL THE WATER QUALITY CONTROL AND DETENTION FACILITY HAVE BEEN CONSTRUCTED, INSPECTED, AND ACCEPTED BY THE CITY OF AUSTIN... 10. AN ADMINISTRATIVE ENVIRONMENTAL VARIANCE HAS BEEN GRANTED TO ALLOW 25-8-341730-5-341... 11. AN ADMINISTRATIVE ENVIRONMENTAL VARIANCE HAS BEEN GRANTED TO ALLOW 25-8-34230-5-342... 12. PARTICIPATION IN THE REGIONAL STORMWATER MANAGEMENT PROGRAM BY PAYMENT WAS GRANTED FOR THIS SITE PLAN ON 10/17/2022 BY THE CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT...

BENCHMARK NOTE:

- ELEVATIONS HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1989 (NAVD) BY UTILIZING REAL-TIME KINEMATIC (RTK) CORRECTIONS PROVIDED BY RTK COOPERATIVE NETWORK, MANAGED BY ALL TERRA CENTRAL AND ADDITIONALLY REFERENCED TO THE NATIONAL GEODETIC SURVEY (NGS) GEOID MODEL 12A. TBM 1: PK NAIL WITH "STANTEC" WASHER SET IN THE CONCRETE SIDEWALK IN THE SOUTHERLY LINE OF BURLERSON ROAD, BEING 30 FEET SOUTHEAST OF THE NORTHEASTERLY CORNER OF THE SUBJECT PROPERTY. ELEV = 509.82' (AS SHOWN) TBM 2: PK NAIL WITH "STANTEC" WASHER SET IN THE ASPHALT PATHWAY IN THE SOUTHERLY LINE OF BURLERSON ROAD, BEING 180 FEET NORTHWEST OF THE NORTHEASTERLY CORNER OF THE SUBJECT PROPERTY. ELEV = 515.41' (AS SHOWN) TBM 3: PK NAIL WITH "STANTEC" WASHER SET IN THE ASPHALT PATHWAY IN THE SOUTHERLY LINE OF BURLERSON ROAD, BEING 280 FEET SOUTHEAST OF THE NORTHWESTERLY CORNER OF THE SUBJECT PROPERTY. ELEV = 515.32' (AS SHOWN) TBM 4: PK NAIL WITH "STANTEC" WASHER SET IN THE ASPHALT PATHWAY IN THE SOUTHERLY LINE OF BURLERSON ROAD, BEING 12 FEET SOUTHEAST OF THE NORTHWESTERLY CORNER OF THE SUBJECT PROPERTY. ELEV = 517.05' (AS SHOWN)

SITE DEVELOPMENT PERMIT PLANS FOR COMMUNITY FIRST PHASE 4

SHEET INDEX

Table with columns: SHEET NO., SHEET TITLE, and a list of sheet numbers (01-76) corresponding to various plan titles like COVER, GENERAL NOTES, SURVEY, TREE LIST, EXISTING CONDITIONS AND DEMOLITION PLAN, etc.

OWNER: CAPITAL LAND HOLDINGS, LP 505 WALSH ST. AUSTIN, TEXAS 78703 (512) 750-3943 ARCHITECT: L.M. HOLDER III 4202 SPICEWOOD SPRINGS RD, SUITE 214 AUSTIN, TEXAS 78759 (512) 345-8817 ENGINEER: GARZA EMC, LLC. 7708 RIALTO BLVD, SUITE 125 AUSTIN, TEXAS 78735 (512) 298-3284 LANDSCAPE ARCHITECT: ORO DESIGN GROUP AUSTIN, TX 78735 JASON NOBBE (812) 552-9114

WATERSHED STATUS:

THIS PROJECT IS LOCATED IN THE ONION CREEK WATERSHED WHICH IS CLASSIFIED AS A SUBURBAN WATERSHED. THIS PROJECT IS NOT LOCATED OVER THE EDWARDS-AQUIFER RECHARGE ZONE, TRANSITION OR CONTRIBUTING ZONES.

FLOODPLAIN INFORMATION:

23.01 ACRES OF THE TRACT LIES WITHIN THE 100-YEAR FLOODPLAIN AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAPS 48453C0612K DATED AUGUST 18, 2014 AND 48453C0470K DATED JANUARY 6, 2016 FOR TRAVIS COUNTY, TEXAS INCORPORATED AREAS.

LEGAL DESCRIPTION:

BEING ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND CONTAINING 75.461 ACRES, MORE OR LESS, SITUATED IN THE SANTIAGO DEL VALLE GRANT SURVEY, ABSTRACT 24, TRAVIS COUNTY, TEXAS, A PLATTING EXCEPTION HAS BEEN GRANTED FOR THIS SITE BY THE CITY OF AUSTIN THROUGH LAND STATUS DETERMINATION CASE #081-2020-0277.

LAND STATUS DETERMINATION:

LAND STATUS DETERMINATION CASE NUMBER: C81-2020-0277

JURISDICTION:

THIS PROJECT SITE IS CONTAINED ENTIRELY WITHIN THE EXTRATERRITORIAL JURISDICTION (ETJ) OF THE CITY OF AUSTIN.

FILE NO.: SP-2021-0138D ADDRESS: 7913 & 7905 BURLERSON ROAD, AUSTIN, TX, 78744

SUBMITTAL DATE: APRIL 26, 2021

SUBMITTED BY: GARZA EMC, LLC. 7708 RIALTO BLVD, SUITE 125 AUSTIN, TEXAS 78735 (512) 298-3284

PLAN SUBMITTALS:

Table with columns: NO., DATE, COMMENTS. Shows submittal history from 06/17/2021 (FORMAL) to 04/11/2022 (UPDATE #3).

I, ANNA MERRYMAN, P.E., CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

REVIEWED BY THE AUSTIN WATER UTILITY APPLIES ONLY TO FACILITIES WITHIN PUBLIC STREETS OR PUBLIC UTILITY EASEMENTS. ALL OTHER WATER AND WASTEWATER FACILITIES INSIDE PRIVATE PROPERTY ARE UNDER THE JURISDICTION OF BUILDING INSPECTION.

AUSTIN WATER EXPIRATION DATE October 17, 2025

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER. REVIEW OF THESE PLANS BY THE CITY OF AUSTIN DOES NOT REMOVE THESE RESPONSIBILITIES.

AUSTIN FIRE DEPARTMENT 7913 BURLERSON RD. FIRE DESIGN CODE: 2015 INTERNATIONAL FIRE CODE WITH CITY OF AUSTIN LOCAL AMENDMENTS. FIRE FLOW DEMAND @ 20 PSI (GPM): 2,500. INTENDED USE: MIXED RESIDENTIAL.

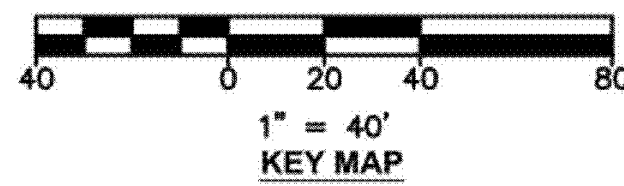
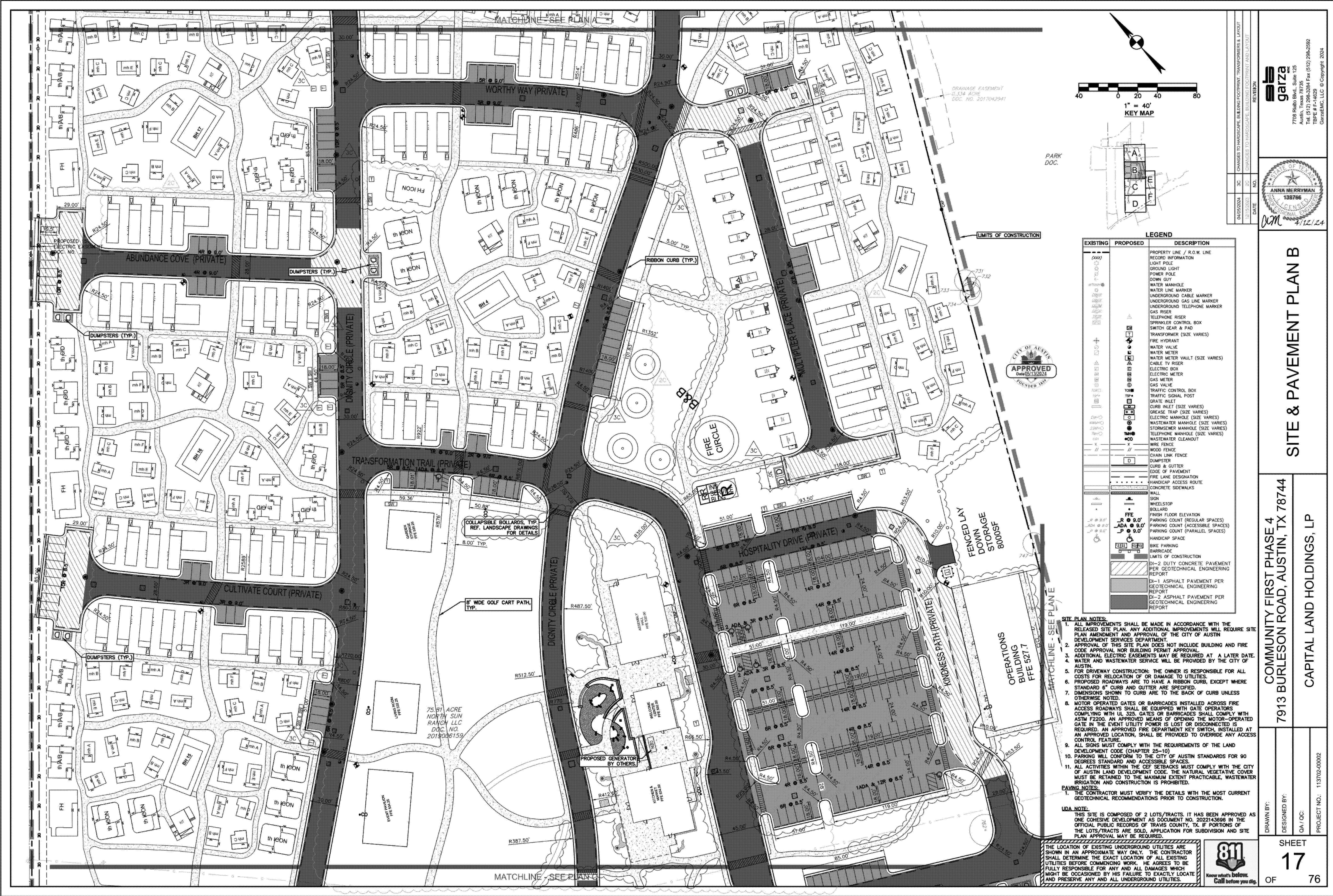
AUSTIN FIRE DEPARTMENT 7905 BURLERSON RD. FIRE DESIGN CODE: 2015 INTERNATIONAL FIRE CODE WITH CITY OF AUSTIN LOCAL AMENDMENTS. FIRE FLOW DEMAND @ 20 PSI (GPM): 5,000. INTENDED USE: RESIDENTIAL.

APPROVED FOR ACCEPTANCE:

DEVELOPMENT SERVICES DEPARTMENT 10/19/22 TRAVIS COUNTY TRANSPORTATION AND NATURAL RESOURCES 10/17/2022 AUSTIN WATER UTILITY DEPARTMENT 10/17/2022 INDUSTRIAL WASTE 10/17/2022

FOR CITY USE ONLY: SITE PLAN APPROVAL SHEET 01 OF 75 FILE NUMBER: SP-2021-0138D APPLICATION DATE: 04-26-2021 APPROVED BY COMMISSION ON... UNDER SECTION 212.05 OF THE CITY OF AUSTIN CODE. EXPIRATION DATE (25-3-41.LDC) 10/19/25. CASE MANAGER: MERRYMAN, ANNA PROJECT EXPIRATION DATE (ORD.#070005-A) 08-01-2025.

Garza EMC logo and contact information: 7708 Rialto Blvd., Suite 125 Austin, Texas 78735 Tel. (512) 298-3284 Fax (512) 298-2592 TBPE # F-14629 Garza EMC, LLC © Copyright 2022



EXISTING	PROPOSED	DESCRIPTION
(000)		PROPERTY LINE / R.O.W. LINE
		RECORD INFORMATION
		LIGHT POLE
		GROUND LIGHT
		POWER POLE
		DOWN CUT
		WATER MANHOLE
		WATER LINE MARKER
		UNDERGROUND CABLE MARKER
		UNDERGROUND GAS LINE MARKER
		UNDERGROUND TELEPHONE MARKER
		GAS RISER
		TELEPHONE RISER
		SPRINKLER CONTROL BOX
		SWITCH GEAR & PAD
		TRANSFORMER (SIZE VARIES)
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		WATER METER VAULT (SIZE VARIES)
		CABLE TV RISER
		ELECTRIC BOX
		ELECTRIC METER
		GAS METER
		GAS VALVE
		SPRINKLER CONTROL BOX
		TRAFFIC SIGNAL POST
		GRATE INLET
		CURB INLET (SIZE VARIES)
		GREASE TRAP (SIZE VARIES)
		ELECTRIC MANHOLE (SIZE VARIES)
		WASTEWATER MANHOLE (SIZE VARIES)
		STORMSEWER MANHOLE (SIZE VARIES)
		TELEPHONE MANHOLE (SIZE VARIES)
		WASTEWATER CLEANOUT
		WIRE FENCE
		WOOD FENCE
		CHAIN LINK FENCE
		DUMPSTER
		CURB & GUTTER
		EDGE OF PAVEMENT
		FIRE LANE DESIGNATION
		HANDICAP ACCESS ROUTE
		CONCRETE SIDEWALKS
		WALL
		WHEELSTOP
		BOLLARD
		FINISH FLOOR ELEVATION
		PARKING COUNT (REGULAR SPACES)
		PARKING COUNT (ACCESSIBLE SPACES)
		PARKING COUNT (PARALLEL SPACES)
		HANDICAP SPACE
		BIKE PARKING
		BARRICADE
		LIMITS OF CONSTRUCTION
		DI-2 DUTY CONCRETE PAVEMENT PER GEOTECHNICAL ENGINEERING REPORT
		DI-1 ASPHALT PAVEMENT PER GEOTECHNICAL ENGINEERING REPORT
		DI-2 ASPHALT PAVEMENT PER GEOTECHNICAL ENGINEERING REPORT

- SITE PLAN NOTES:**
- ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE CITY OF AUSTIN DEVELOPMENT SERVICES DEPARTMENT.
 - APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL.
 - ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN.
 - FOR DRIVEWAY CONSTRUCTION: THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF OR DAMAGE TO UTILITIES.
 - PROPOSED ROADWAYS ARE TO HAVE A RIBBON CURB, EXCEPT WHERE STANDARD 6" CURB AND GUTTER ARE SPECIFIED.
 - DIMENSIONS SHOWN TO CURB ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 - MOTOR OPERATED GATES OR BARRICADES INSTALLED ACROSS FIRE ACCESS ROADWAYS SHALL BE EQUIPPED WITH GATE OPERATORS COMPLYING WITH UL 325. GATES OR BARRICADES SHALL COMPLY WITH ASTM F2200. AN APPROVED MEANS OF OPENING THE MOTOR-OPERATED GATE IN THE EVENT UTILITY POWER IS LOST OR DISCONNECTED IS REQUIRED. AN APPROVED FIRE DEPARTMENT KEY SWITCH, INSTALLED AT AN APPROVED LOCATION, SHALL BE PROVIDED TO OVERRIDE ANY ACCESS CONTROL FEATURE.
 - ALL SIGNS MUST COMPLY WITH THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE (CHAPTER 25-10).
 - PARKING MUST CONFORM TO THE CITY OF AUSTIN STANDARDS FOR 90 DEGREES STANDARD AND ACCESSIBLE SPACES.
 - ALL ACTIVITIES WITHIN THE CEF SETBACKS MUST COMPLY WITH THE CITY OF AUSTIN LAND DEVELOPMENT CODE. THE NATURAL VEGETATIVE COVER MUST BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE. WASTEWATER IRRIGATION AND CONSTRUCTION IS PROHIBITED.
- PAVING NOTES:**
- THE CONTRACTOR MUST VERIFY THE DETAILS WITH THE MOST CURRENT GEOTECHNICAL RECOMMENDATIONS PRIOR TO CONSTRUCTION.
- LUDA NOTE:**
- THIS SITE IS COMPOSED OF 2 LOTS/TRACTS. IT HAS BEEN APPROVED AS ONE COHESIVE DEVELOPMENT AS DOCUMENT NO. 2022143696 IN THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TX. IF PORTIONS OF THE LOTS/TRACTS ARE SOLD, APPLICATION FOR SUBDIVISION AND SITE PLAN APPROVAL MAY BE REQUIRED.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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TBP# F-14229
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REVISION
NO. DATE
3C CHANGES TO HARDSCAPE, BUILDING FOOTPRINT, TRANSFORMERS & LAYOUT
04/25/2024
12/23/2024

COMMUNITY FIRST PHASE 4
7913 BURLESON ROAD, AUSTIN, TX 78744
CAPITAL LAND HOLDINGS, LP

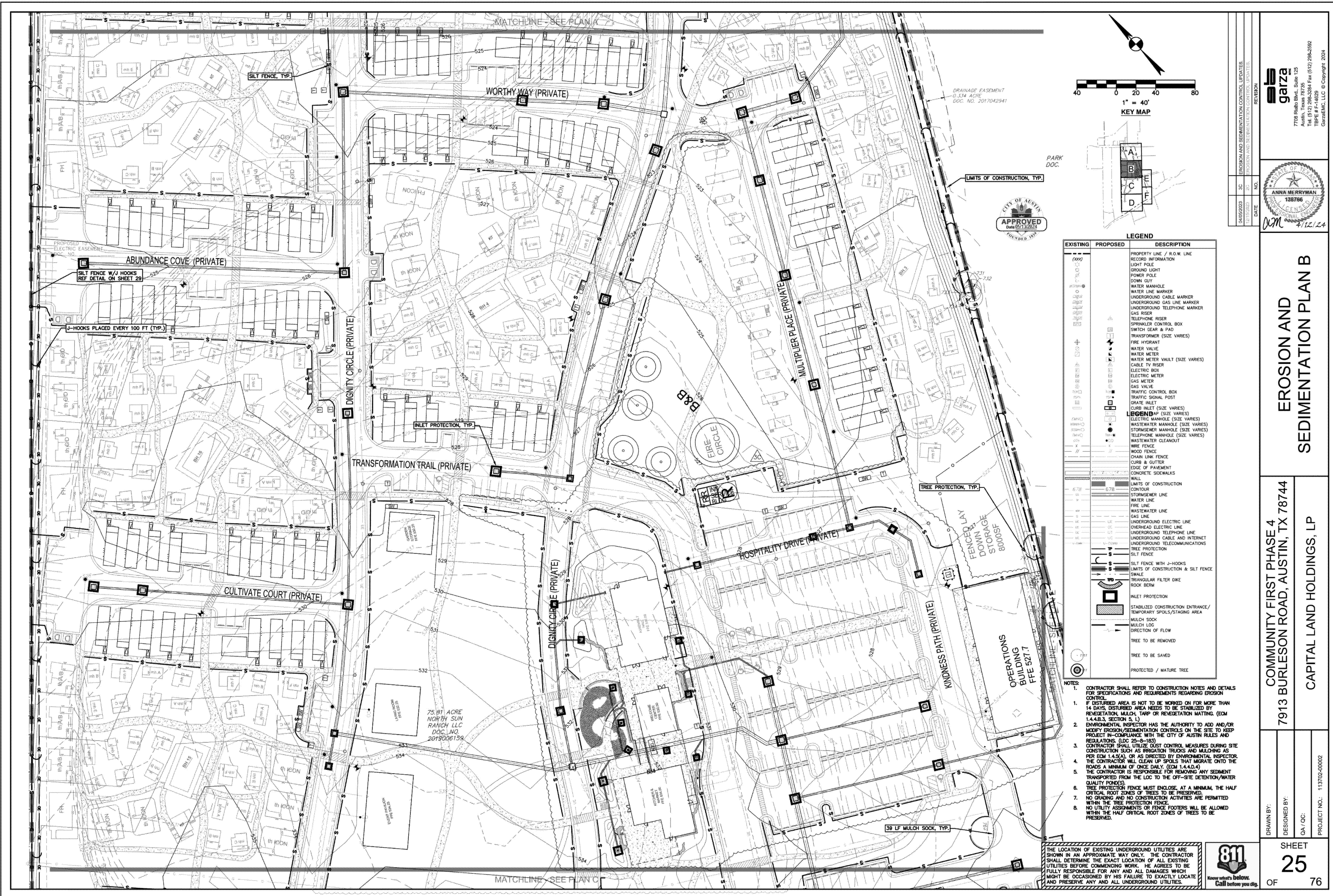
SHEET
17
OF 76

DRAWN BY:
DESIGNED BY:
QA / QC:
PROJECT NO.: 113702-00002

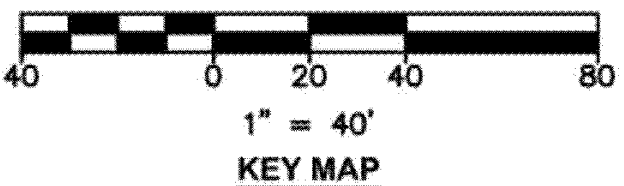
APPROVED
CITY OF AUSTIN
ADOPTED 12/13/2024

811
Know what's below.
Call before you dig.

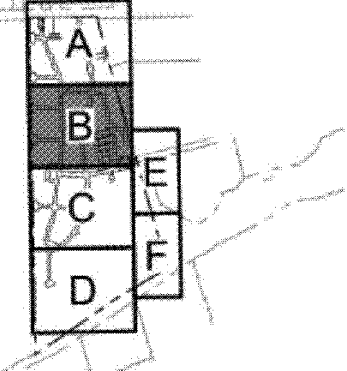
REPLACEMENT SHEET SP-2021-0138D



DRAINAGE EASEMENT
0.144 ACRES
DOC. NO. 2017042941



PARK
DOC.



EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE / R.O.W. LINE
---	---	RECORD INFORMATION
---	---	LIGHT POLE
---	---	GROUND LIGHT
---	---	POWER POLE
---	---	DOWN GUY
---	---	WATER MANHOLE
---	---	WATER LINE MARKER
---	---	UNDERGROUND CABLE MARKER
---	---	UNDERGROUND GAS LINE MARKER
---	---	UNDERGROUND TELEPHONE MARKER
---	---	GAS RISER
---	---	TELEPHONE RISER
---	---	SPRINKLER CONTROL BOX
---	---	SWITCH GEAR & PAD
---	---	TRANSFORMER (SIZE VARIES)
---	---	FIRE HYDRANT
---	---	WATER VALVE
---	---	WATER METER
---	---	WATER METER VAULT (SIZE VARIES)
---	---	CABLE TV RISER
---	---	ELECTRIC BOX
---	---	ELECTRIC METER
---	---	GAS METER
---	---	GAS VALVE
---	---	TRAFFIC CONTROL BOX
---	---	TRAFFIC SIGNAL POST
---	---	GRATE INLET
---	---	CURB INLET (SIZE VARIES)
---	---	LEGEND #1 (SIZE VARIES)
---	---	ELECTRIC MANHOLE (SIZE VARIES)
---	---	WASTEWATER MANHOLE (SIZE VARIES)
---	---	STORMSEWER MANHOLE (SIZE VARIES)
---	---	TELEPHONE MANHOLE (SIZE VARIES)
---	---	WASTEWATER CLEANOUT
---	---	WIRE FENCE
---	---	WOOD FENCE
---	---	CHAIN LINK FENCE
---	---	CURB & GUTTER
---	---	EDGE OF PAVEMENT
---	---	CONCRETE SIDEWALKS
---	---	WALL
---	---	LIMITS OF CONSTRUCTION
---	---	CONTOUR
---	---	STORMSEWER LINE
---	---	WATER LINE
---	---	FIRE LINE
---	---	WASTEWATER LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	UNDERGROUND TELEPHONE LINE
---	---	UNDERGROUND CABLE AND INTERNET
---	---	UNDERGROUND TELECOMMUNICATIONS
---	---	TREE PROTECTION
---	---	SILT FENCE
---	---	SILT FENCE WITH J-HOOKS
---	---	LIMITS OF CONSTRUCTION & SILT FENCE
---	---	SWALE
---	---	TRIANGULAR FILTER DIKE
---	---	ROCK BERM
---	---	INLET PROTECTION
---	---	STABILIZED CONSTRUCTION ENTRANCE/ TEMPORARY SPILLS/STAGING AREA
---	---	MULCH SOCK
---	---	MULCH LOG
---	---	DIRECTION OF FLOW
---	---	TREE TO BE REMOVED
---	---	TREE TO BE SAVED
---	---	PROTECTED / MATURE TREE

- NOTES:
- CONTRACTOR SHALL REFER TO CONSTRUCTION NOTES AND DETAILS FOR SPECIFICATIONS AND REQUIREMENTS REGARDING EROSION CONTROL.
 - IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR VEGETATION MATTING. (EOM 1.4.4.B.3, SECTION 5.1)
 - ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND/OR MODIFY EROSION AND SEDIMENTATION CONTROLS ON THE SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS. (LDC 25-8-183)
 - CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER EOM 1.4.5(A) OR AS DIRECTED BY ENVIRONMENTAL INSPECTOR. THE CONTRACTOR WILL CLEAN UP SPILLS THAT MIGRATE ONTO THE ROAD A MINIMUM OF ONCE DAILY. (EOM 1.4.4.B.4)
 - THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY SEDIMENT TRANSPORTED FROM THE LOC TO THE OFF-SITE DETENTION/WATER QUALITY POND(S).
 - TREE PROTECTION FENCE MUST ENCLOSE, AT A MINIMUM, THE HALF CRITICAL ROOT ZONES OF TREES TO BE PRESERVED.
 - NO GRADING AND NO CONSTRUCTION ACTIVITIES ARE PERMITTED WITHIN THE TREE PROTECTION FENCE.
 - NO UTILITY ASSIGNMENTS OR FENCE FOOTERS WILL BE ALLOWED WITHIN THE HALF CRITICAL ROOT ZONES OF TREES TO BE PRESERVED.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



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EROSION AND SEDIMENTATION CONTROL UPDATES:
3C EROSION AND SEDIMENTATION CONTROL UPDATES
DATE: 4/12/24

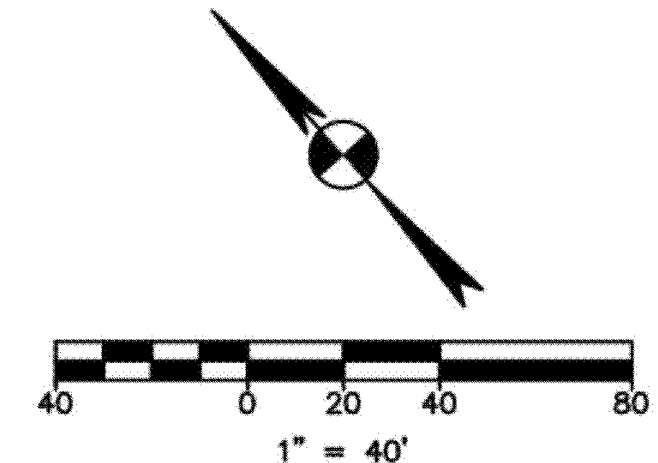
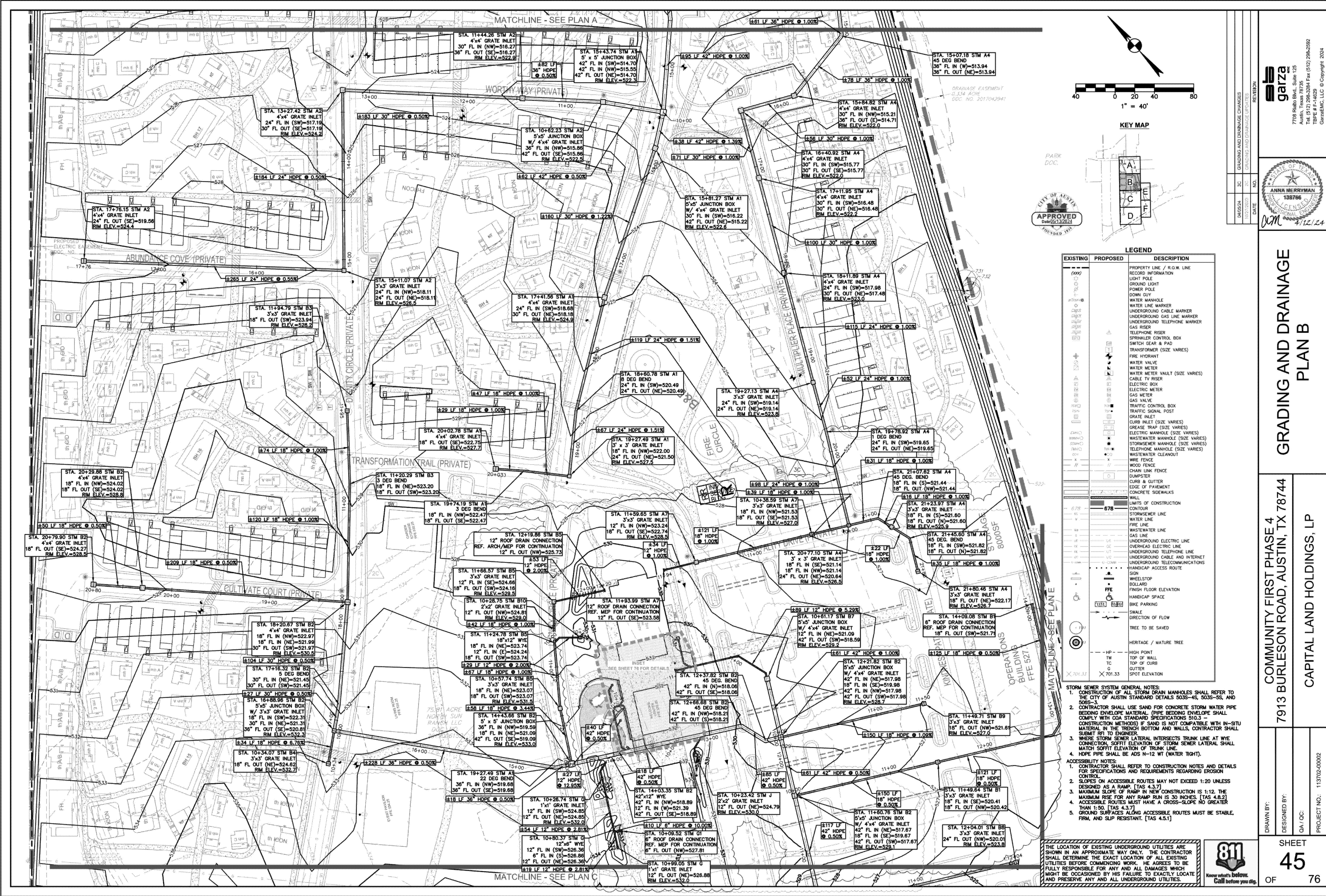
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Date: 05/13/2024
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**EROSION AND
SEDIMENTATION PLAN B**

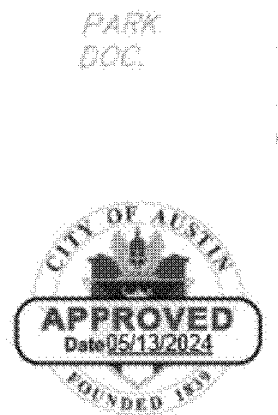
COMMUNITY FIRST PHASE 4
7913 BURLESON ROAD, AUSTIN, TX 78744
CAPITAL LAND HOLDINGS, LP

DRAWN BY:
DESIGNED BY:
QA / QC:
PROJECT NO.: 113702-00002

SHEET
25
OF 76



KEY MAP



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE / R.O.W. LINE
---	---	RECORD INFORMATION
---	---	LIGHT POLE
---	---	GROUND LIGHT
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---	---	WATER LINE MARKER
---	---	UNDERGROUND CABLE MARKER
---	---	UNDERGROUND GAS LINE MARKER
---	---	UNDERGROUND TELEPHONE MARKER
---	---	GAS RISER
---	---	TELEPHONE RISER
---	---	SPRINKLER CONTROL BOX
---	---	SWITCH GEAR & PAD
---	---	TRANSFORMER (SIZE VARIES)
---	---	FIRE HYDRANT
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---	---	WATER METER
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---	---	GAS METER
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---	---	TRAFFIC CONTROL BOX
---	---	TRAFFIC SIGNAL POST
---	---	GRATE INLET
---	---	CURB INLET (SIZE VARIES)
---	---	GREASE TRAP (SIZE VARIES)
---	---	ELECTRIC MANHOLE (SIZE VARIES)
---	---	WASTEWATER MANHOLE (SIZE VARIES)
---	---	STORMSEWER MANHOLE (SIZE VARIES)
---	---	TELEPHONE MANHOLE (SIZE VARIES)
---	---	WASTEWATER ELEVATION
---	---	WIRE FENCE
---	---	WOOD FENCE
---	---	CHAIN LINK FENCE
---	---	DUMPSTER
---	---	CURB & GUTTER
---	---	EDGE OF PAVEMENT
---	---	CONCRETE SIDEWALK
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---	---	UNDERGROUND TELEPHONE LINE
---	---	UNDERGROUND CABLE AND INTERNET
---	---	UNDERGROUND TELECOMMUNICATIONS
---	---	HANDICAP ACCESS ROUTE
---	---	ISDN
---	---	WHEELSTOP
---	---	BOLLARD
---	---	FINISH FLOOR ELEVATION
---	---	HANDICAP SPACE
---	---	BIKE PARKING
---	---	SWALE
---	---	DIRECTION OF FLOW
---	---	TREE TO BE SAVED
---	---	HERITAGE / MATURE TREE
---	---	HIGH POINT
---	---	TOP OF WALL
---	---	TOP OF CURB
---	---	GUTTER
---	---	SPOT ELEVATION

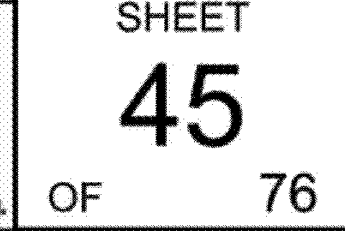
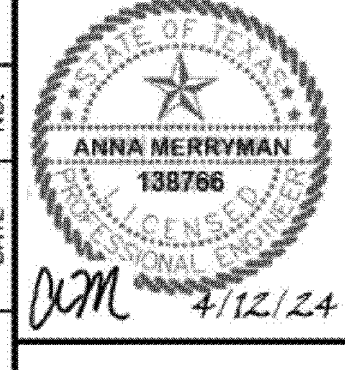
STORM SEWER SYSTEM GENERAL NOTES:
 1. CONSTRUCTION OF ALL STORM DRAIN MANHOLES SHALL REFER TO THE CITY OF AUSTIN STANDARD DETAILS 503S-4S, 503S-5S, AND 503S-3.
 2. CONTRACTOR SHALL USE SAND FOR CONCRETE STORM WATER PIPE BEDDING ENVELOPE MATERIAL. ENVELOPE SHALL COMPLY WITH OCA STANDARD SPECIFICATIONS 3.0 - CONSTRUCTION METHODS) IF SAND IS NOT COMPATIBLE WITH IN-SITU MATERIAL IN THE TRENCH BOTTOM AND WALLS, CONTRACTOR SHALL SUBMIT RFI TO ENGINEER.
 3. WHERE STORM SEWER LATERAL INTERSECTS TRUNK LINE AT WYE CONNECTIONS, SLOTTED ELEVATION OF STORM SEWER LATERAL SHALL MATCH SLOTTED ELEVATION OF TRUNK LINE.
 4. HOPE PIPE SHALL BE ADS N-12 WT (WATER TIGHT).
 ACCESSIBILITY NOTES:
 1. CONTRACTOR SHALL REFER TO CONSTRUCTION NOTES AND DETAILS FOR SPECIFICATIONS AND REQUIREMENTS REGARDING EROSION CONTROL.
 2. SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP. [TAS 4.3.7]
 3. MAXIMUM SLOPE OF RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 INCHES. [TAS 4.8.2]
 4. ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50. [TAS 4.3.7]
 5. GROUND SURFACES ALONG ACCESSIBLE ROUTES MUST BE STABLE, FIRM, AND SLIP RESISTANT. [TAS 4.5.1]

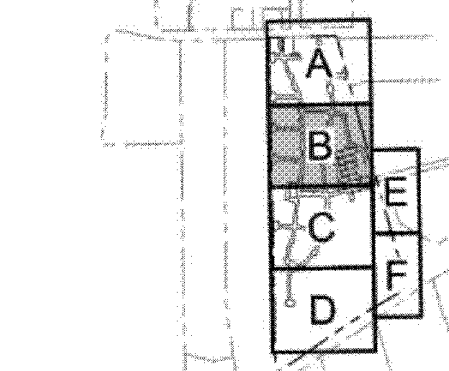
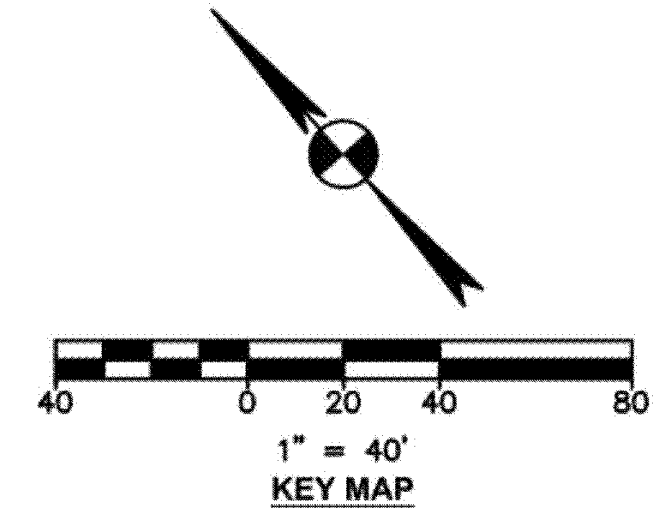
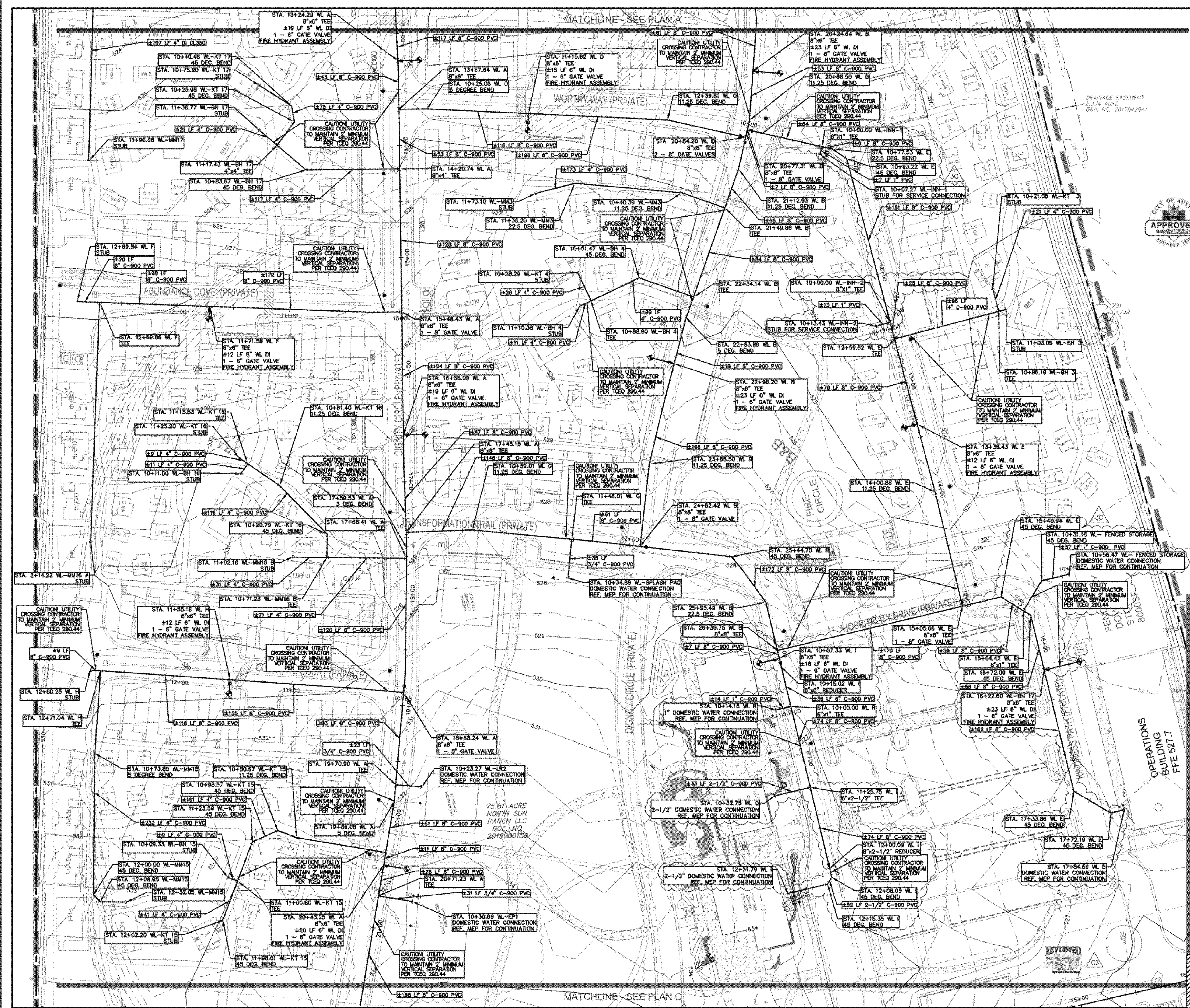
COMMUNITY FIRST PHASE 4
 GRADING AND DRAINAGE
 PLAN B

7913 BURLESON ROAD, AUSTIN, TX 78744
 CAPITAL LAND HOLDINGS, LP

DRAWN BY:
 DESIGNED BY:
 CA / OC:
 PROJECT NO.: 113702-00002
 SHEET
45
 OF 76

garza
 7708 Rialto Blvd., Suite 125
 Austin, Texas 78725
 Tel: (512) 298-3294 Fax: (512) 298-2592
 TBP# F-14629
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EXISTING	PROPOSED	DESCRIPTION
(---)	(---)	PROPERTY LINE / R.O.W. LINE
(---)	(---)	RECORD INFORMATION
(---)	(---)	GROUND LIGHT
(---)	(---)	POWER POLE
(---)	(---)	DOWN GUY
(---)	(---)	WATER MANHOLE
(---)	(---)	WATER LINE MARKER
(---)	(---)	UNDERGROUND CABLE MARKER
(---)	(---)	UNDERGROUND TELEPHONE MARKER
(---)	(---)	GAS RISER
(---)	(---)	SPRINKLER CONTROL BOX
(---)	(---)	SWITCH GEAR & PAD
(---)	(---)	TRANSFORMER (SIZE VARIES)
(---)	(---)	FIRE HYDRANT
(---)	(---)	WATER VALVE
(---)	(---)	WATER METER VAULT (SIZE VARIES)
(---)	(---)	CABLE TV RISER
(---)	(---)	ELECTRIC BOX
(---)	(---)	ELECTRIC METER
(---)	(---)	GAS METER
(---)	(---)	GAS VALVE
(---)	(---)	TRAFFIC CONTROL BOX
(---)	(---)	TRAFFIC SIGNAL POST
(---)	(---)	GRATE INLET
(---)	(---)	CURB INLET (SIZE VARIES)
(---)	(---)	DRAINAGE TRAP (SIZE VARIES)
(---)	(---)	ELECTRIC MANHOLE (SIZE VARIES)
(---)	(---)	WASTEWATER MANHOLE (SIZE VARIES)
(---)	(---)	STORMSEWER MANHOLE (SIZE VARIES)
(---)	(---)	TELEPHONE MANHOLE (SIZE VARIES)
(---)	(---)	WASTEWATER CLEANOUT
(---)	(---)	WIRE FENCE
(---)	(---)	WOOD FENCE
(---)	(---)	CHAIN LINK FENCE
(---)	(---)	CURB & GUTTER
(---)	(---)	EDGE OF PAVEMENT
(---)	(---)	CONCRETE SIDEWALKS
(---)	(---)	WALL
(---)	(---)	LIMITS OF CONSTRUCTION
(---)	(---)	CONTOUR
(---)	(---)	STORMSEWER LINE
(---)	(---)	WATER LINE
(---)	(---)	FIRE LINE
(---)	(---)	WASTEWATER LINE
(---)	(---)	GAS LINE
(---)	(---)	UNDERGROUND ELECTRIC LINE
(---)	(---)	OVERHEAD ELECTRIC LINE
(---)	(---)	UNDERGROUND TELEPHONE LINE
(---)	(---)	UNDERGROUND CABLE AND INTERNET
(---)	(---)	UNDERGROUND TELECOMMUNICATIONS
(---)	(---)	FINISH FLOOR ELEVATION
(---)	(---)	FFE
(---)	(---)	TREE TO BE SAVED
(---)	(---)	PROTECTED / MATURE TREE

- NOTES:
1. ALL PRIVATE WASTEWATER PIPE SHALL BE SDR-26 PVC PIPE. PRIVATE WASTEWATER LINES SHALL TERMINATE 5' FROM BUILDING FOUNDATION. FOR CONTINUATION OF WASTEWATER LINE, REFERENCE M.E.P. DRAWINGS.
 2. ALL PRIVATE WATER PIPE SHALL BE C-900 DR14 PVC PIPE. PRIVATE WATER LINES SHALL TERMINATE 5' FROM BUILDING FOUNDATION. FOR CONTINUATION OF WATER LINE, REFERENCE M.E.P. DRAWINGS.
 3. PUBLIC WATER LINE WHICH INCLUDES LINES WITHIN EASEMENTS SHALL BE MATERIALS SPECIFIED IN THE COA STANDARD SPECIFICATIONS.
 4. RESTRAIN ALL PUBLIC WATER LINES AND JOINTS.
 5. RESTRAIN ALL PRIVATE WATER LINES 6" OR LARGER IN DIAMETER.
 6. WATER LINES SHALL HAVE A MINIMUM COVER OF 48 INCHES.
 7. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AND REPORT ANY CONFLICTS WITH PROPOSED UTILITIES TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
 8. CONTRACTOR TO FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 9. ALL UTILITIES SHOWN ARE PRIVATE UNLESS OTHERWISE NOTED.

CITY OF AUSTIN
 WATER AND WASTEWATER UTILITY
 SPECIAL SERVICES DIVISION
 (512) 972-1060

AUSTIN WATER UTILITIES NOTES:
 THIS PROJECT HAS PRIVATE HYDRANTS LOCATED WITHIN THE PROPERTY. THE PROPERTY OWNER IS REQUIRED TO COMPLY WITH AUSTIN FIRE CODE. FAILURE TO COMPLY MAY RESULT IN CIVIL AND/OR CRIMINAL REMEDIES AVAILABLE TO THE CITY. THE PERFORMANCE OF THIS OBLIGATION SHALL ALWAYS REST WITH THE OWNER OF RECORD. FIRE HYDRANTS ON PRIVATE PROPERTY ARE REQUIRED TO BE SERVICED, MAINTAINED AND FLOWED ANNUALLY, USING CONTRACTOR REGISTERED WITH THE CITY TO PROVIDE THE SERVICE. THIS PROJECT INCLUDES 22 PRIVATE HYDRANTS.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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REVISION
 NO. DATE
 3C WATERLINE UPDATES
 2C WATERLINE UPDATES
 1C WATERLINE UPDATES

APPROVED
 Date: 05/13/2024

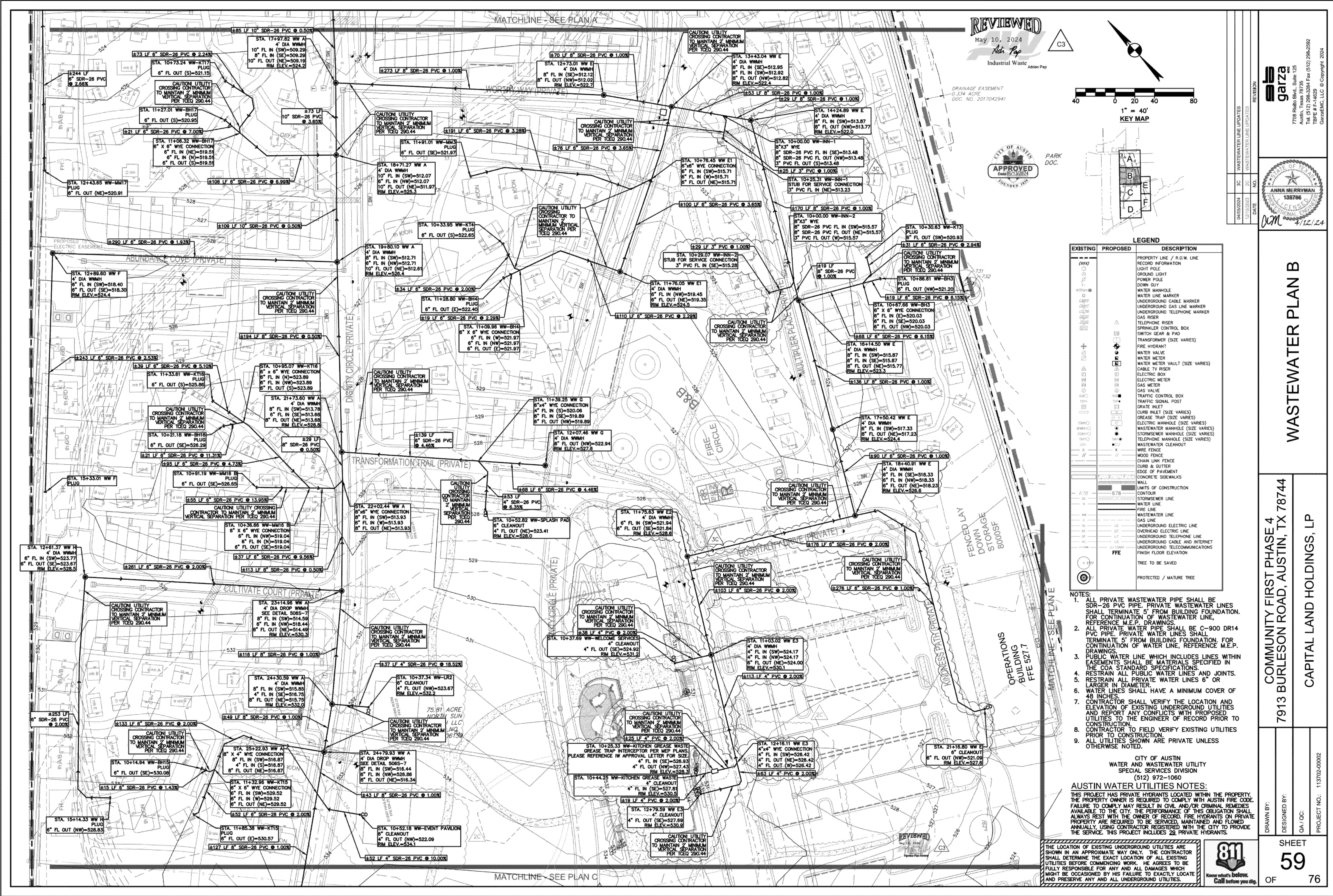
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WATER PLAN B

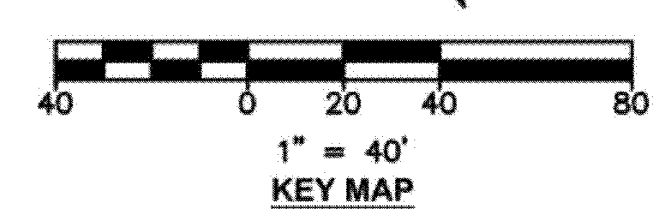
COMMUNITY FIRST PHASE 4
 7913 BURLESON ROAD, AUSTIN, TX 78744
 CAPITAL LAND HOLDINGS, LP

DRAWN BY:
 DESIGNED BY:
 CA/OC:
 PROJECT NO.: 113702-00002

SHEET
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 OF 76



REVIEWED
 May 10, 2024
 Nth Pap
 Industrial Waste
 Adrian Pap



APPROVED
 DATE: 05/13/2024
 ENGINEER: JRM

LEGEND

EXISTING	PROPOSED	DESCRIPTION
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---	---	RECORD INFORMATION
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---	---	POWER POLE
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WASTEWATER PLAN B

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