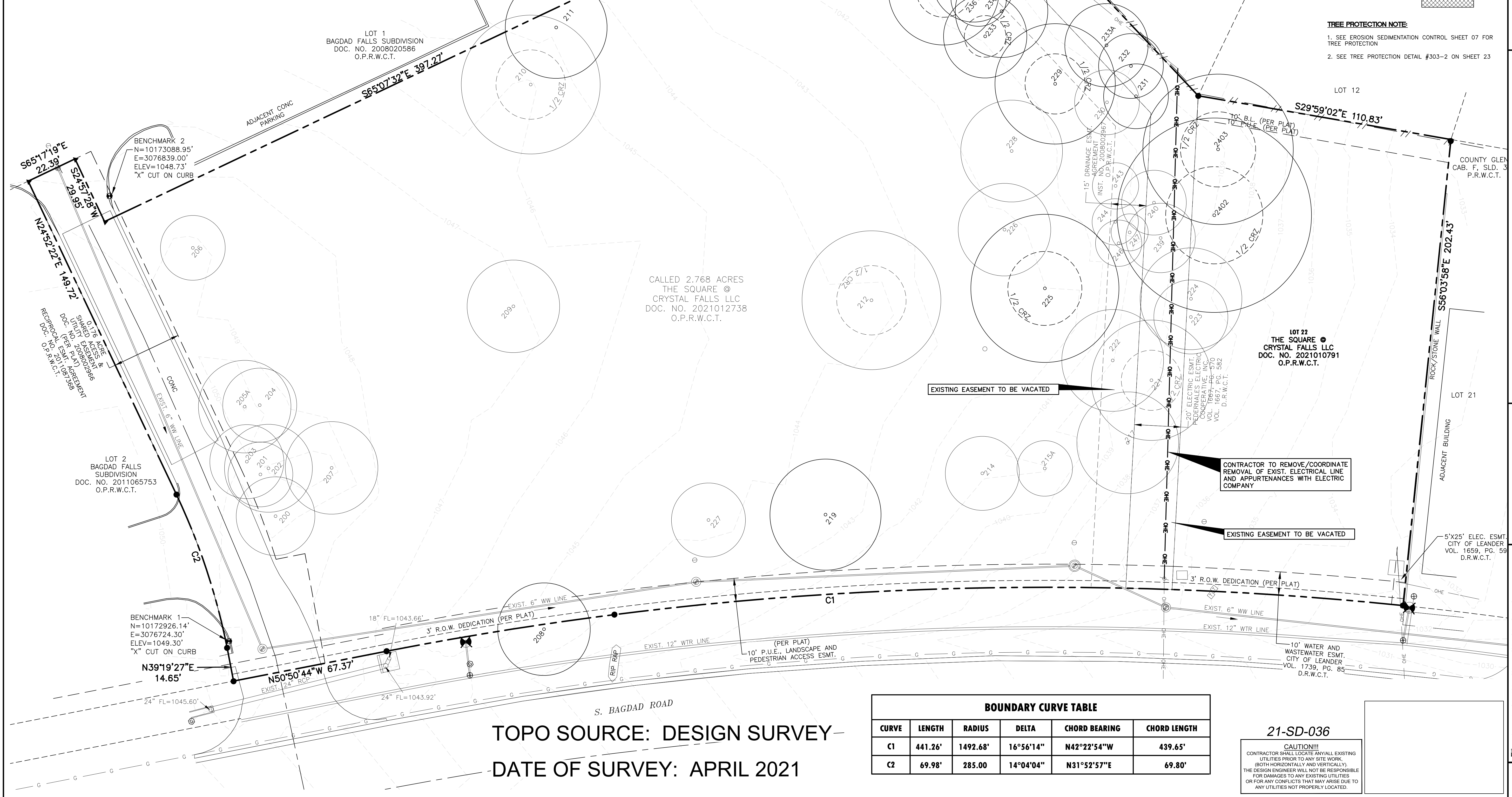


TREE NUMBER	TREE TYPE	CALIPER (IN.)	REMOVED	PROTECTED	HERITAGE	REASON FOR REMOVAL	TREE NUMBER	TREE TYPE	CALIPER (IN.)	REMOVED	PROTECTED	HERITAGE	REASON FOR REMOVAL
200	OAK	17	YES	YES	NO	PAVEMENT/BUILDING	229	OAK	24.5	NO	YES	NO	N/A
201	OAK	14	YES	YES	NO	PAVEMENT/BUILDING	230	OAK	14	YES	YES	NO	PAVEMENT
202	OAK	11.5	YES	YES	NO	PAVEMENT/BUILDING	231	OAK	14	NO	YES	NO	N/A
202.1	OAK	12.5	YES	YES	NO	PAVEMENT/BUILDING	232	OAK	14	NO	YES	NO	N/A
203	OAK	16	YES	YES	NO	PAVEMENT/BUILDING	233	OAK	10	NO	YES	NO	N/A
204	OAK	16	YES	YES	NO	PAVEMENT/BUILDING	233.1	OAK	12	NO	YES	NO	N/A
205	ELM	14	NO	YES	NO	N/A	234	OAK	12	NO	YES	NO	N/A
205A	OAK	18.5	YES	YES	NO	PAVEMENT	234.1	OAK	13.5	NO	YES	NO	N/A
206	OAK	14	YES	YES	NO	PAVEMENT	236	OAK	12	NO	YES	NO	N/A
207	OAK	18.5	YES	YES	NO	BUILDING	237	OAK	19.5	NO	YES	NO	N/A
208	OAK	16	NO	YES	NO	N/A	238	OAK	23	NO	YES	NO	N/A
209	OAK	20	YES	YES	NO	PAVEMENT	239	OAK	15M	YES	YES	NO	PAVEMENT
210	OAK	29.5	YES	YES	YES	BUILDING	240	OAK	14	YES	YES	NO	PAVEMENT
211	OAK	21.5	NO	YES	NO	N/A	243	OAK	10	YES	YES	NO	PAVEMENT
212	OAK	20.5	YES	YES	NO	PAVEMENT	242.2	OAK	10	YES	YES	NO	N/A
214	OAK	16	YES	YES	NO	PAVEMENT	246	OAK	10	YES	YES	NO	PAVEMENT
215	OAK	12	NO	YES	NO	N/A	247	OAK	8	YES	YES	NO	PAVEMENT
215A	OAK	12	YES	YES	NO	PAVEMENT	2402	OAK	14.5	NO	YES	NO	N/A
217	OAK	20	YES	YES	NO	BUILDING	2402.1	OAK	16.5	NO	YES	NO	N/A
219	OAK	19	NO	YES	NO	N/A	2402.2	OAK	14	NO	YES	NO	N/A
219.1	OAK	15.5	NO	YES	NO	N/A	2402.3	OAK	16	NO	YES	NO	N/A
221	OAK	16	YES	YES	NO	BUILDING	2403	OAK	16	NO	YES	NO	N/A
221.1	OAK	16.5	YES	YES	NO	BUILDING	2403.1	OAK	17.5	NO	YES	NO	N/A
222	OAK	20.5	YES	YES	NO	BUILDING	2403.2	OAK	11.5	NO	YES	NO	N/A
223	OAK	16M	YES	YES	NO	POND							
224	OAK	13.5	YES	YES	NO	POND							
234.1	OAK	6.5	YES	YES	NO	POND							
234.2	OAK	11	YES	YES	NO	POND							
225	OAK	30.5	NO	YES	YES	N/A							
226	OAK	18.5	YES	YES	NO	PAVEMENT							
227	OAK	16	YES	YES	NO	PAVEMENT							
228	OAK	20.5	YES	YES	NO	PAVEMENT							



LEGEND

- PROPERTY LINE: ---
- LOT LINE: - - -
- EASEMENT LINE: - · - · -
- EXISTING CONTOUR LINE: ---7.90---
- EXISTING TREE: (circle with number)
- DEMOLITION AREA: [hatched box]

TREE PROTECTION NOTE

- SEE EROSION SEDIMENTATION CONTROL SHEET 07 FOR TREE PROTECTION
- SEE TREE PROTECTION DETAIL #303-2 ON SHEET 23

NOTE

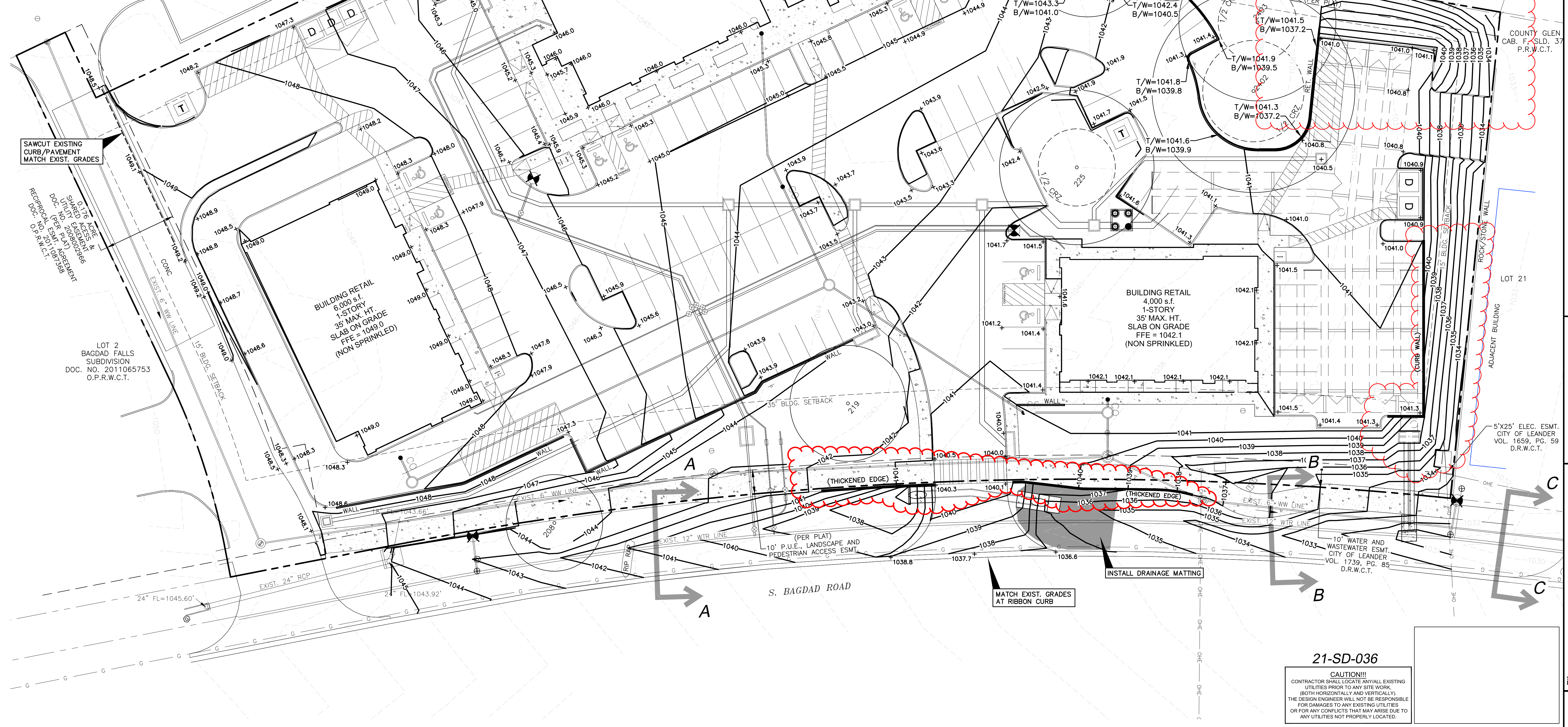
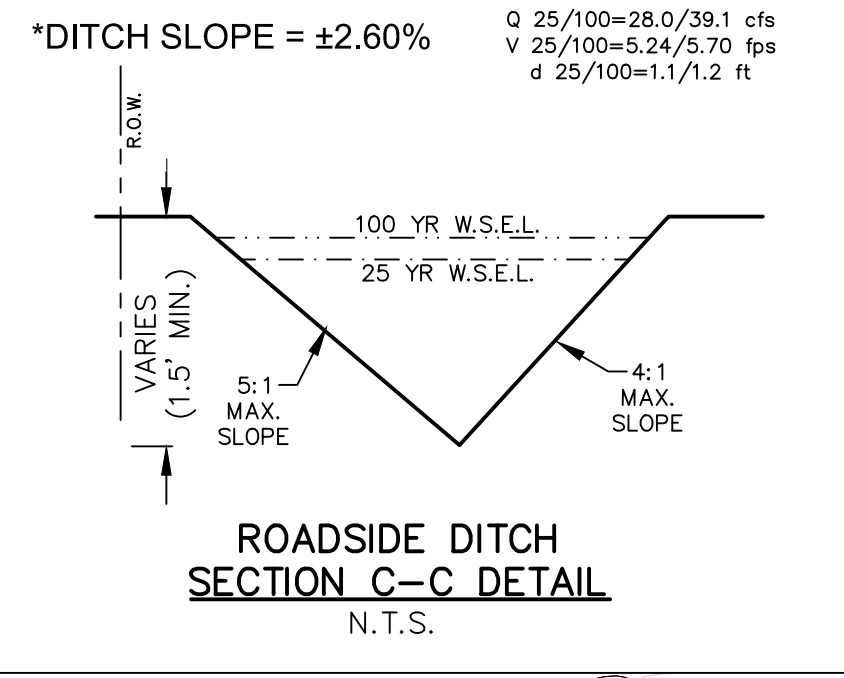
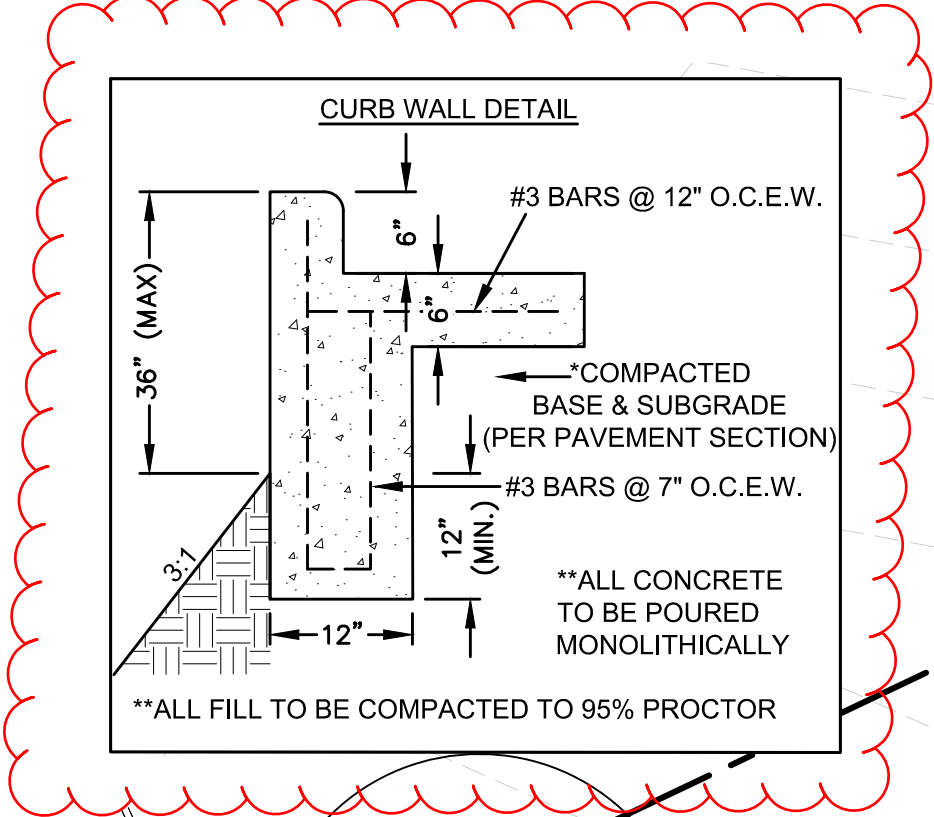
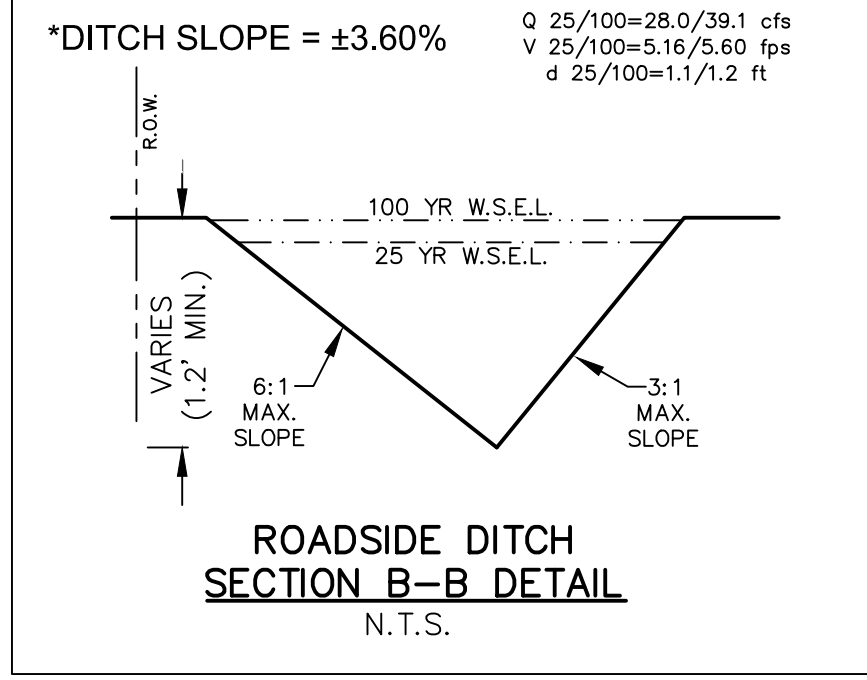
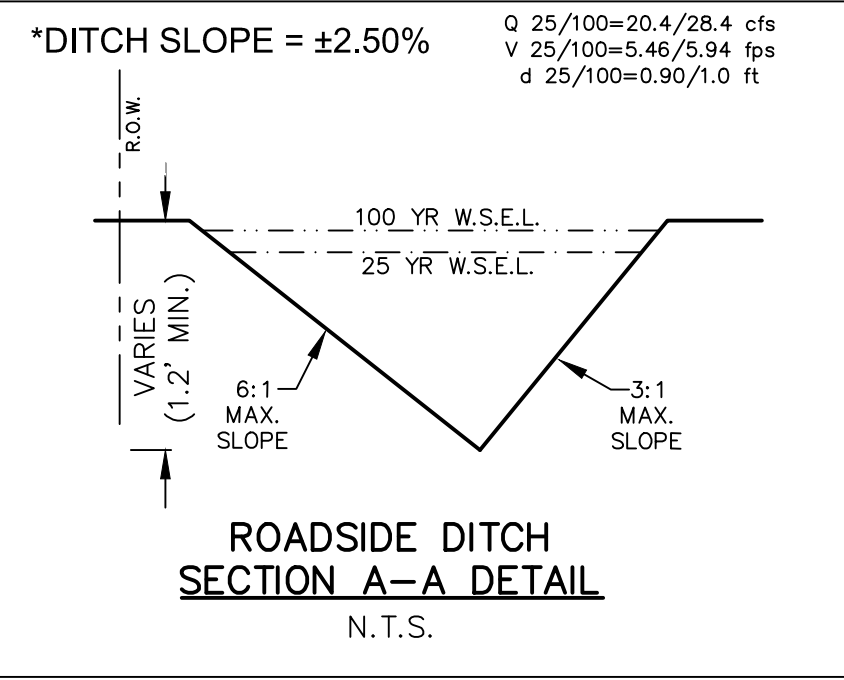
A PRECONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.

JAMISON CIVIL ENGINEERING LLC
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 INFO@JAMISONENG.COM

THE SQUARE AT CRYSTAL FALLS
 EXISTING CONDITIONS & DEMOLITION PLAN
 PROJECT NUMBER #21-SD-036

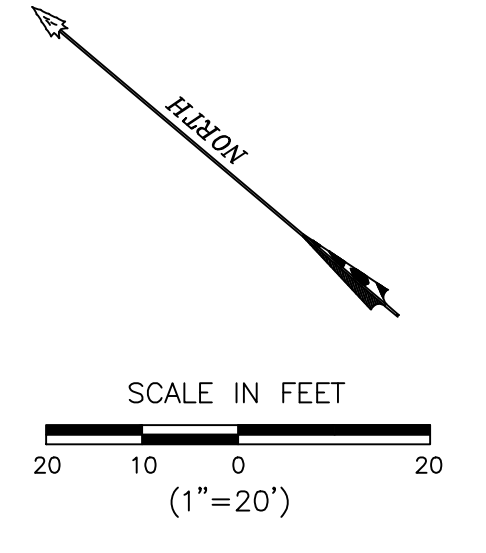
The seal appearing on this document was authorized by Stephen Roy Jamison on 8/09/2022.

File: H:\1900 BAGDAD\DWG\PLANS\EXISTING.DWG
 Job No. Snapshot: WATER
 Scale (Hor.): 1"=30' Scale (Vert.):
 Date: 08/09/21 Checked By: SRJ Drawn By: MM
 Revision 1:
 Revision 2:
 Revision 3:
 Revision 4:



NOTE:

1. RUNNING SLOPE OF ACCESSIBLE ROUTES SHALL NOT EXCEED 1":20' (5.0%). CROSS SLOPE OF ACCESSIBLE ROUTES SHALL NOT EXCEED 1":50' (2.0%). CONTRACTOR TO VERIFY ALL SLOPES PRIOR TO CONSTRUCTION OF ACCESSIBLE ROUTES.

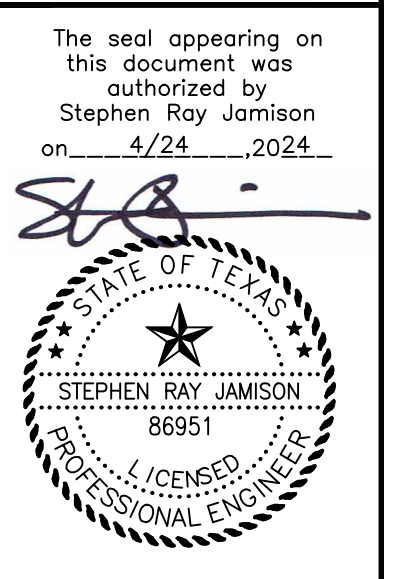


LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY	---
EASEMENT LINE	---
EXISTING CONTOUR LINE	---
PROPOSED CONTOUR LINE	---
PROPOSED SPOT ELEVATION	+782.5
SAWCUT LINE	---

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THE SQUARE AT CRYSTAL FALLS
GRADING PLAN
PROJECT NUMBER #21-SD-036



Job No.	Snapshot: WATER
Scale (Hor.):	1"=30'
Scale (Vert.):	Scale (Vert.):
Date:	08/09/21
Checked By:	SRJ
Drawn By:	MM
Revision 1:	
Revision 2:	
Revision 3:	
Revision 4:	

21-SD-036

CAUTION!!!
CONTRACTOR SHALL LOCATE ANY ALL EXISTING UTILITIES PRIOR TO ANY SITE WORK, (BOTH HORIZONTALLY AND VERTICALLY). THE DESIGN ENGINEER WILL NOT BE RESPONSIBLE FOR DAMAGES TO ANY EXISTING UTILITIES OR FOR ANY CONFLICTS THAT MAY ARISE DUE TO ANY UTILITIES NOT PROPERLY LOCATED.

SITE CALCULATIONS:
TOTAL SITE AREA = 142,418 SF. = 3.269 AC

IMPERVIOUS COVER:
EXISTING (TO REMAIN): 6,491 SF. / 0.15 AC.
PROPOSED:
BUILDINGS: 21,000 SF. / 0.48 AC.
SIDEWALK: 8,953 SF. / 0.21 AC.
PAVING: 63,308 SF. / 1.45 AC.
SUBTOTAL: 93,261 SF. / 2.14 AC.
TOTAL: 99,752 SF. / 2.29 AC. / 70.0% OF SITE AREA

LIMITS OF CONSTRUCTION = 148,580 SF / 3.41 AC.
GROSS FLOOR AREA = 27,000 SF / 0.62 AC. (18.9%)
BUILDING COVERAGE = 21,000 SF / 0.48 AC. (14.6%)
FLOOR TO AREA RATIO = 27,000 SF / 0.62 AC. = 0.18:1
BUILDING HEIGHT = 35 FT (MAX.)
BUILDING TYPE = TYPE II B
LAND USE = RETAIL SALES

PARKING TABLE
PARKING REQUIRED FOR RETAIL SALES (1 SPACE FOR 225 SQ FT.)

REQUIRED PARKING:
RETAIL SALES: 27,000 SF/225 = 120 SPACES
TOTAL REQUIRED PARKING: = 120 SPACES
HANDICAP PARKING: = 7 SPACES

PROPOSED PARKING (PH1):
REGULAR PARKING: = 100 SPACES
COMPACT PARKING: = 12 SPACES
HANDICAP PARKING: = 8 SPACES (8 VAN)
SUBTOTAL PROPOSED PARKING: = 120 SPACES

BICYCLE PARKING PROPOSED: = 8 SPACES

BOUNDARY CURVE TABLE

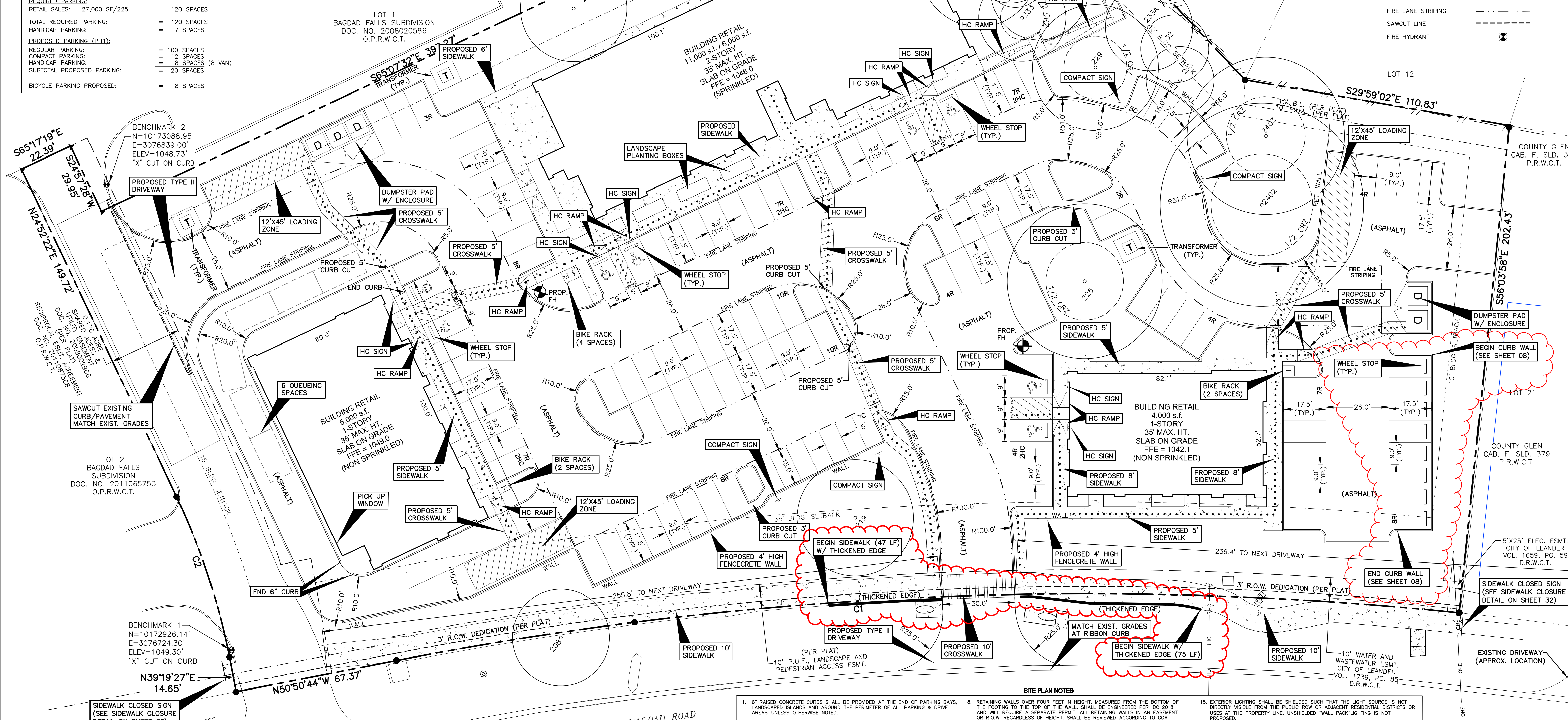
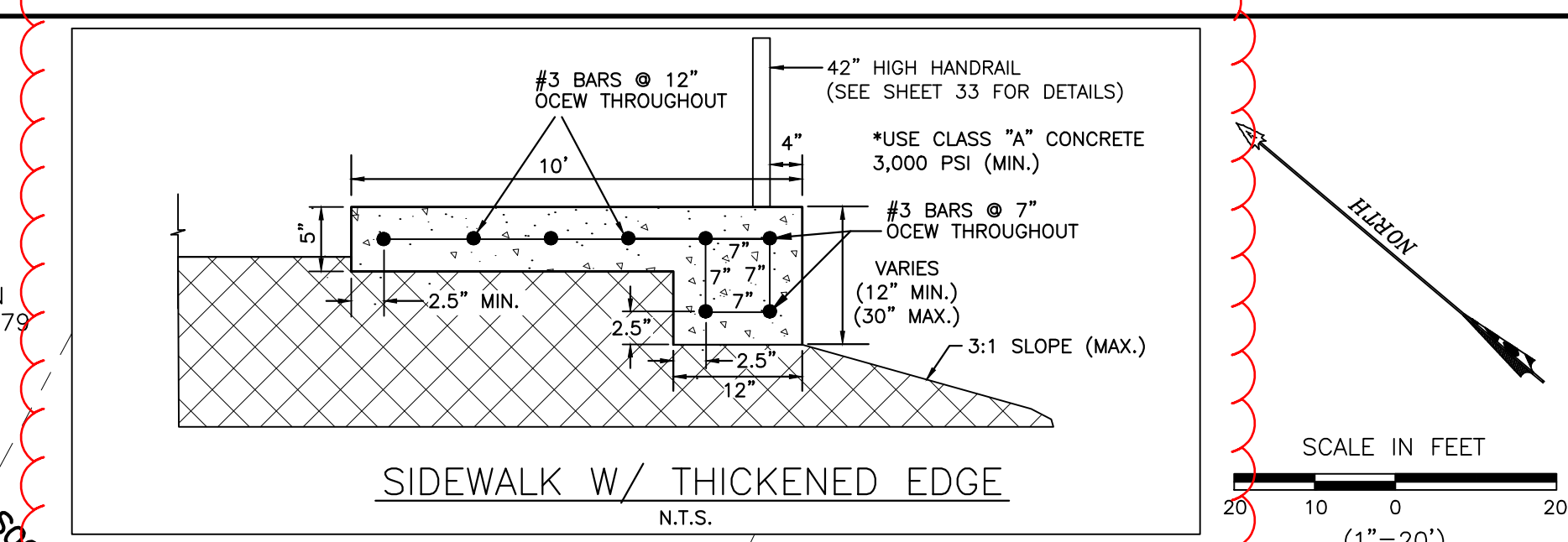
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	441.26'	1492.68'	16°56'14"	N42°22'54"W	439.65'
C2	69.98'	285.00'	14°04'04"	N31°52'57"E	69.80'

*SEE TxDOT DETAIL SHEET 32 FOR TRAFFIC CONTROL MEASURES

*SEE DETAILS #501-1 & #501-2 (ON SHEET 23) FOR FIRE LANE STRIPING AND SIGNAGE REQUIREMENTS

*UNDERGROUND DETENTION IS TO BE PRIVATELY MAINTAINED

*SEE SHEET 05 FOR METES AND BOUNDS DESCRIPTION



*PLEASE NOTE: THERE ARE NO EXISTING DRIVEWAYS ACROSS BAGDAG RD. ADJACENT TO THIS SITE.

- SITE PLAN NOTES**
- 6" RAISED CONCRETE CURBS SHALL BE PROVIDED AT THE END OF PARKING BAYS, LANDSCAPED ISLANDS AND AROUND THE PERIMETER OF ALL PARKING & DRIVE AREAS UNLESS OTHERWISE NOTED.
 - ALL CURB RETURNS SHALL BE 3' RADIUS UNLESS OTHERWISE NOTED.
 - THE USE OF COAL TAR BASED ASPHALT SEALANTS FOR CONSTRUCTION OR REPAIR OF ASPHALTIC CONCRETE PAVING IS PROHIBITED ON THIS PROPERTY.
 - RUNNING SLOPE OF ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20 (5.0%). CROSS SLOPE OF ACCESSIBLE ROUTE SHALL NOT EXCEED 1:50 (2.0%). CONTRACTOR TO VERIFY ALL SLOPES PRIOR TO CONSTRUCTION OF ACCESSIBLE ROUTES.
 - ALL NEW PAVING SHALL BE PER THE PAVING PLAN.
 - THE NOISE LEVEL OF MECHANICAL EQUIPMENT WILL NOT EXCEED 70 DBA AT THE PROPERTY LINE ADJACENT TO RESIDENTIAL USES.
 - A MINIMUM VERTICAL CLEARANCE OF 11'4" MUST BE PROVIDED AT ACCESSIBLE PASSENGER LOADING ZONES AND ALONG VEHICLE ACCESS ROUTES TO SUCH AREAS FROM SITE ENTRANCES. A MINIMUM VERTICAL CLEARANCE OF 9'8" MUST BE PROVIDED FOR VAN-ACCESSIBLE PARKING SPACES AND ALONG THE VEHICULAR ROUTE THERETO.
 - RETAINING WALLS OVER FOUR FEET IN HEIGHT, MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, SHALL BE ENGINEERED PER IRC 2018 AND WILL REQUIRE A SEPARATE PERMIT. ALL RETAINING WALLS IN AN EASEMENT OR R.O.W. REGARDLESS OF HEIGHT, SHALL BE REVIEWED ACCORDING TO COA TRANSPORTATION CRITERIA MANUAL, CHAPTER 11.
 - DUMPSTER PAD TO BE DESIGNED BY OWNERS STRUCTURAL ENGINEER; TRASH COLLECTION WILL BE PROVIDED BY A PRIVATE COMPANY.
 - SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS OR OF EQUAL QUALITY TO PRINCIPAL BUILDING MATERIALS.
 - ALL EXISTING STRUCTURES WITHIN 50' OF THE SITE ARE SHOWN.
 - ALL SIGNS MUST COMPLY WITH THE LATEST REQUIREMENTS OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - APPROVAL OF THESE PLANS BY THE CITY OF LEANDER INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.
 - ALL SITE UTILITY LINES ARE PROPOSED TO BE LOCATED UNDERGROUND.
 - EXTERIOR LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE IS NOT DIRECTLY VISIBLE FROM THE PUBLIC ROW OR ADJACENT RESIDENTIAL DISTRICTS OR USES AT THE PROPERTY LINE. UNSHIELDED "WALL PACK" LIGHTING IS NOT PROPOSED.
 - AL CLAWSON DISPOSAL, INC. SHALL BE THE SOLE PROVIDER OF WASTE HAULING FOR THIS SITE AFTER CONSTRUCTION. DURING CONSTRUCTION, AN ALTERNATIVE WASTE HAULER MAY BE USED AS LONG AS THEY HAVE A FRANCHISE AGREEMENT WITH THE CITY HERE BY A LINK TO THE APPROVED WASTE HAULERS: <https://leandertx.gov/utilites/page/garbage-and-recycling>
 - AIR CONDITIONING UNITS ARE NOT PROPOSED FORWARD OF THE FRONT WALL OF THE BUILDING. GARbage DUMPSTERS ARE LOCATED NO CLOSER TO A ROADWAY THAN THE FRONT WALL OF THE PRINCIPAL STRUCTURE LOCATED CLOSEST TO THE ROADWAY. GARbage DUMPSTERS ARE SCREENED BY A WALL (COMPOSED OF MASONRY COMPATIBLE WITH THE STRUCTURE OR WOODCRETE) AT LEAST AS HIGH AS THE CONTAINER. THE OPEN SIDE TO THE DUMPSTER OR OTHER TRASH RECEPTACLE IS A GATE CONSTRUCTED OF SOLID WOOD OR METAL. THE DUMPSTER IS ORIENTED FOR PICKUP BY A FRONT LOAD GARbage TRUCK.
 - FOR 90 GALLON ROLL OUT CONTAINER STORE OUTSIDE, IT IS REQUIRED TO BE ENCLOSED BY PRIVACY FENCE.

CAUTION!!!
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ADDITIONAL EASEMENTS
ALL EASEMENTS OF RECORD AS INDICATED ON THE MOST RECENT TITLE RUN DATED: OCTOBER 20, 2020. CONDUCTED BY STEWART TITLE GUARANTY COMPANY FOR THIS PROPERTY ARE SHOWN ON THIS SITE PLAN.

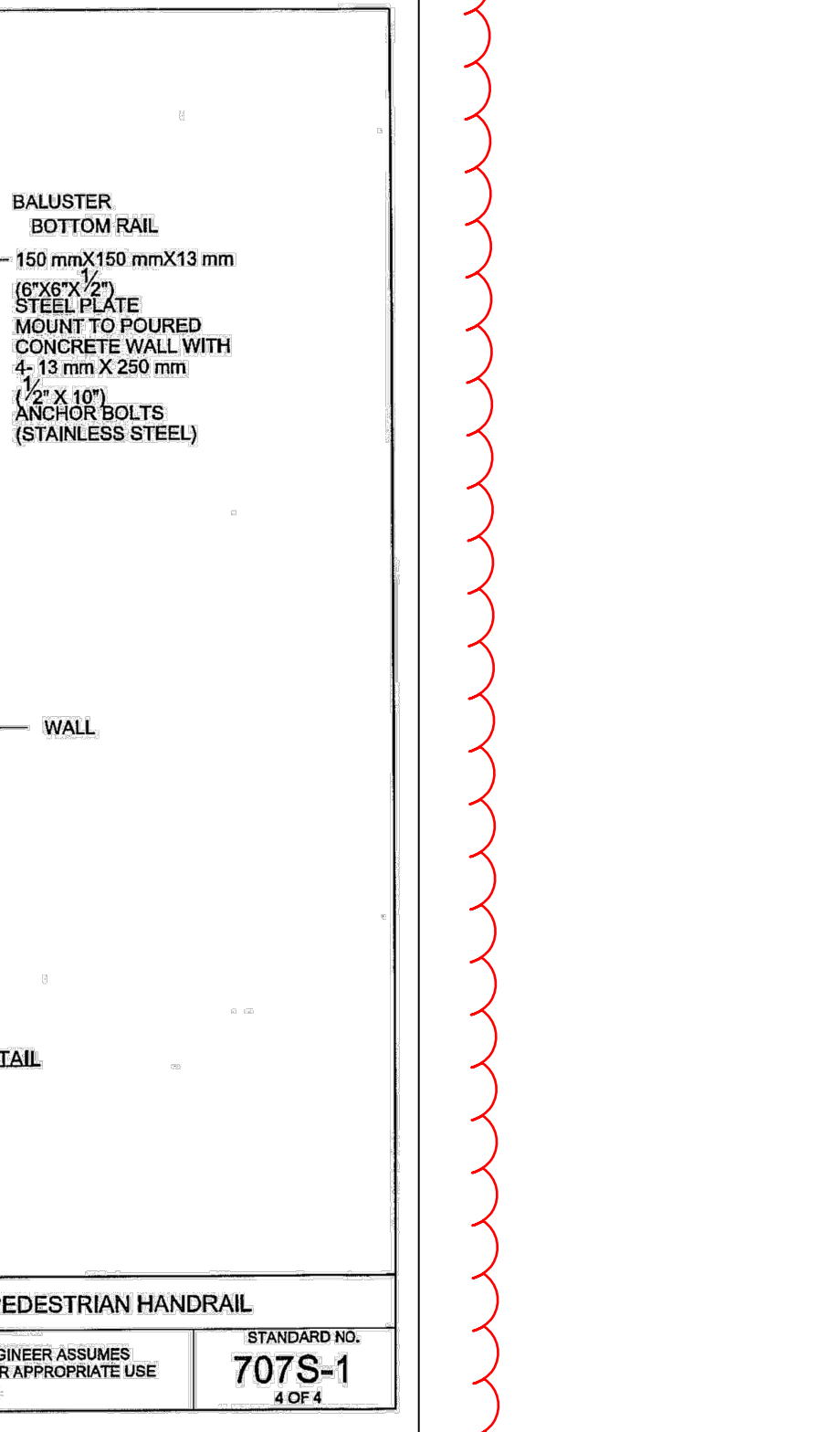
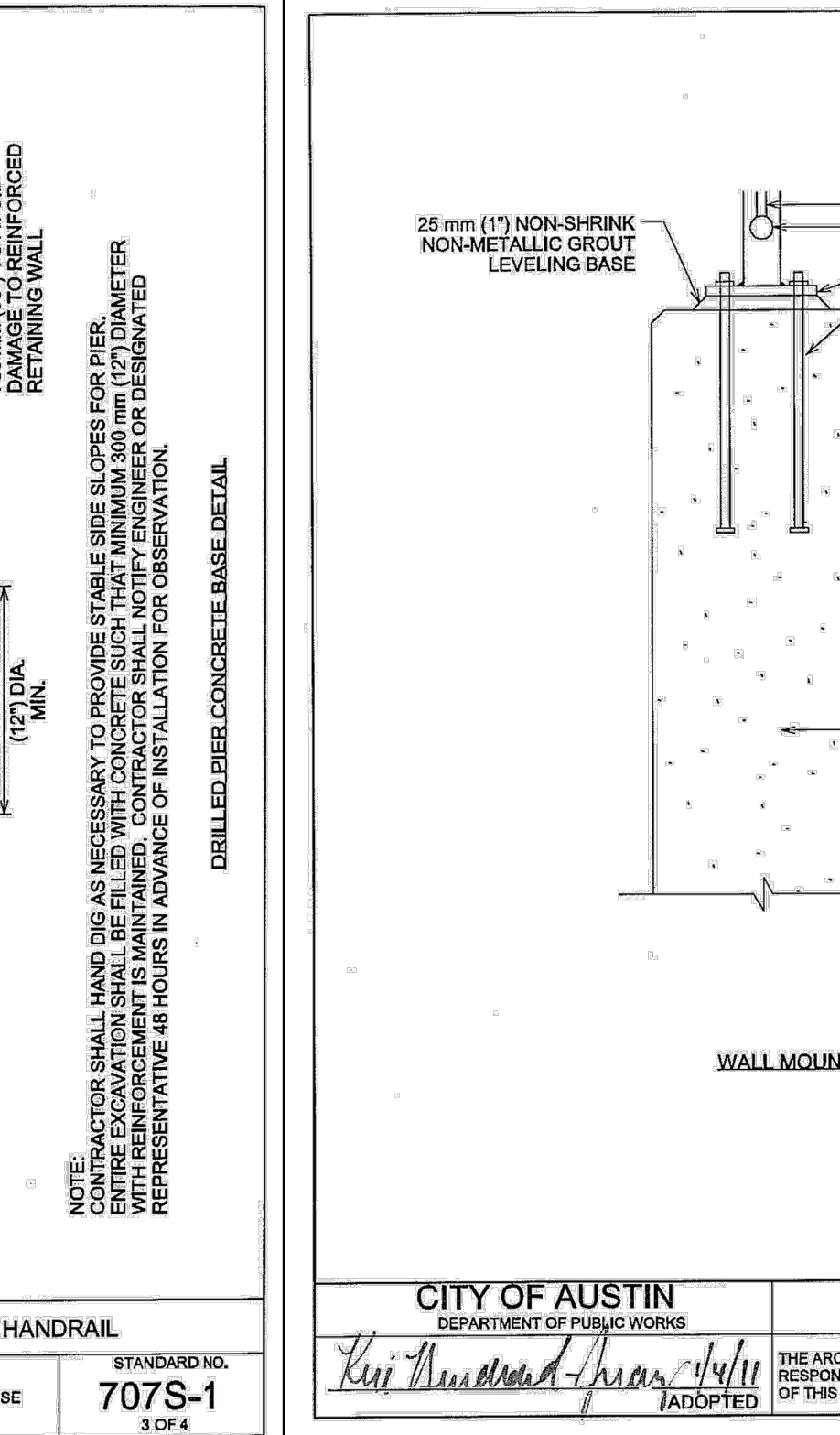
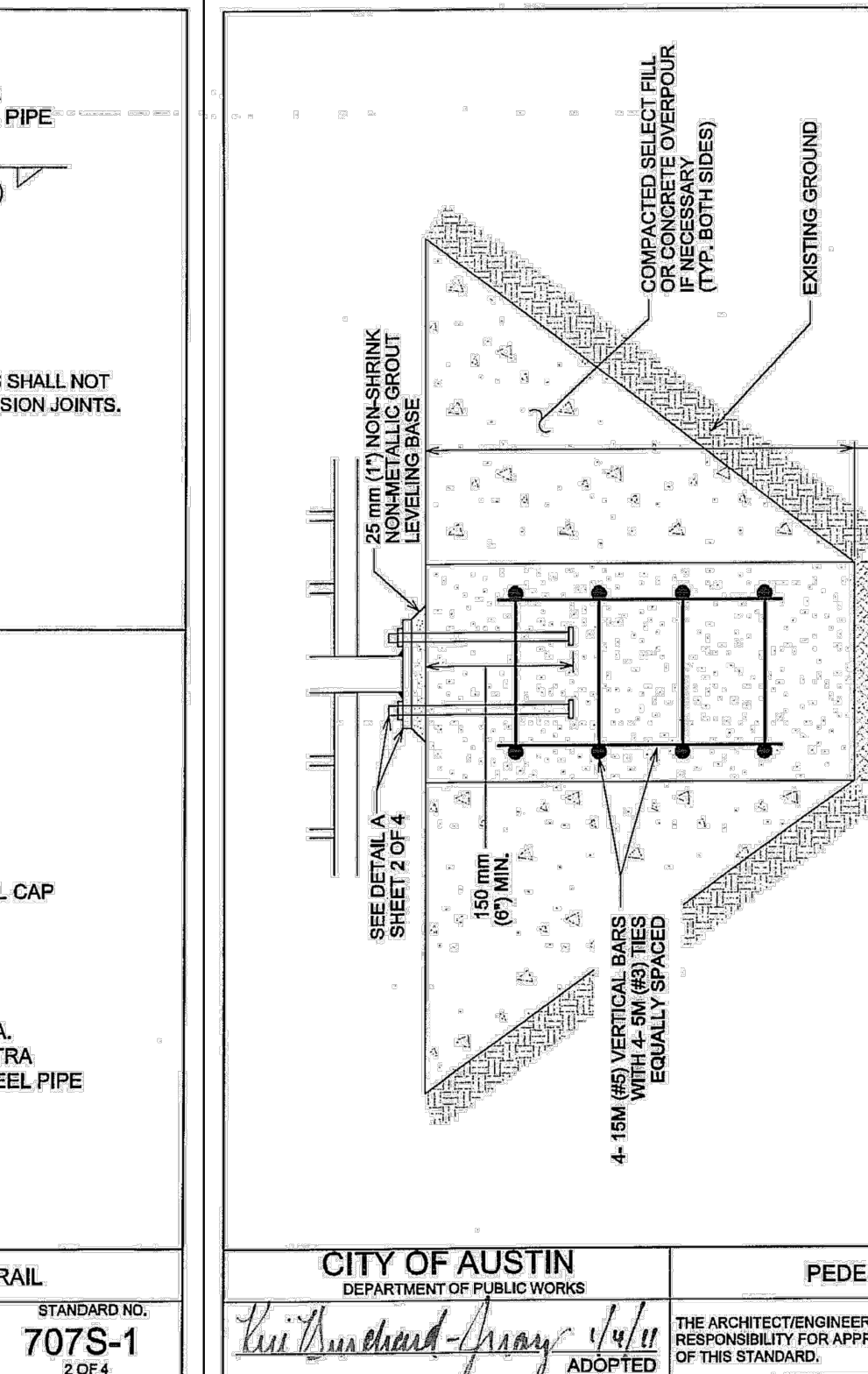
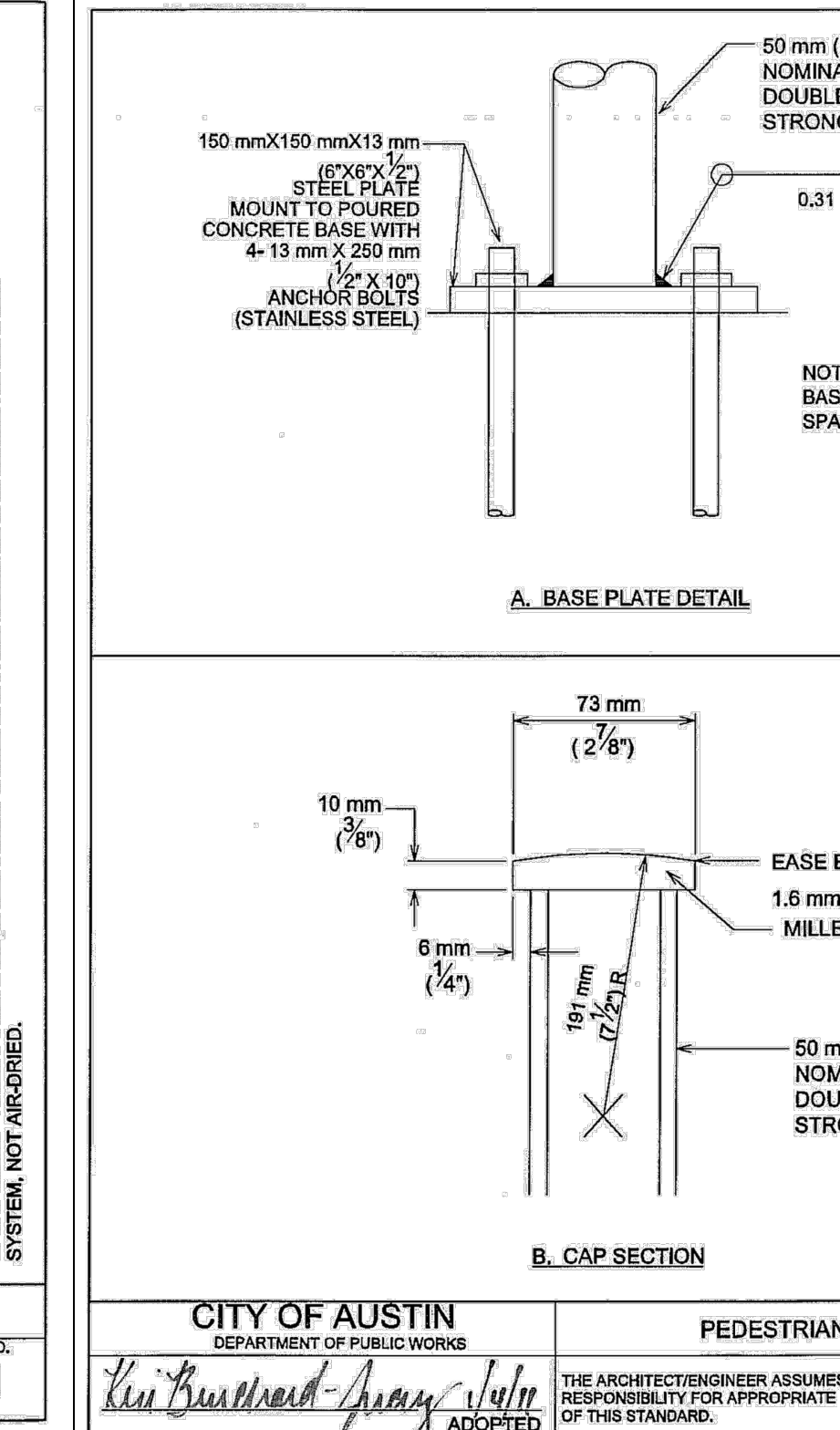
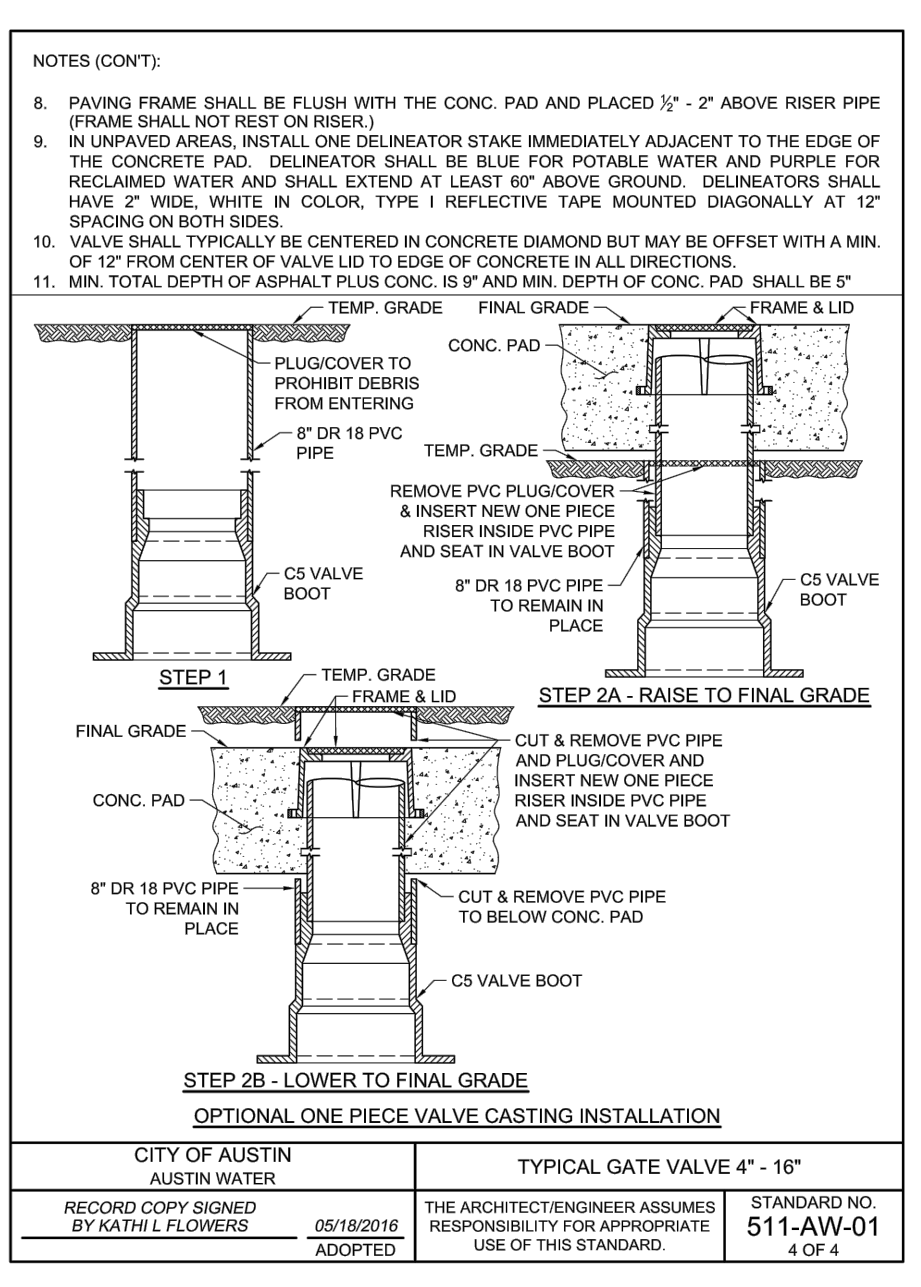
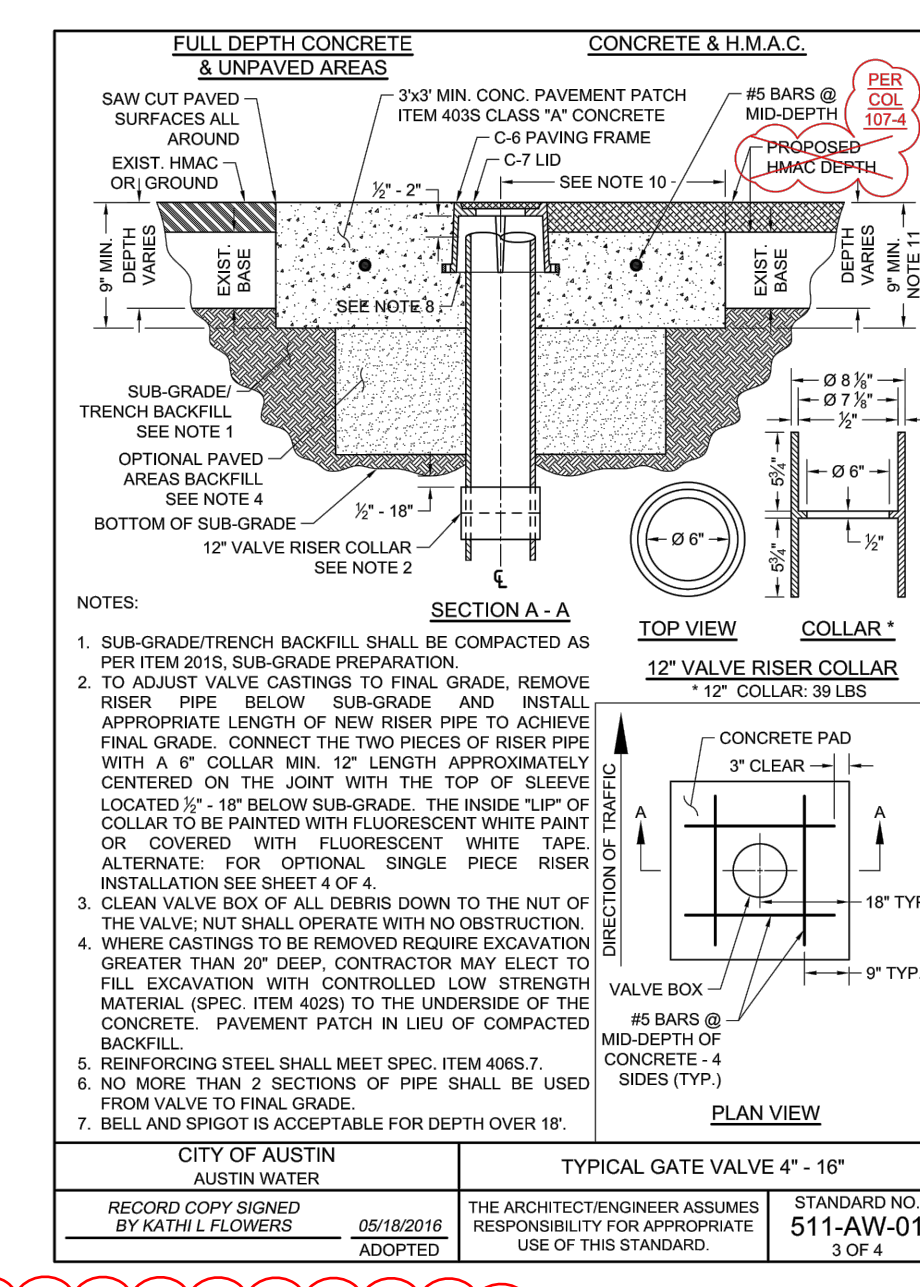
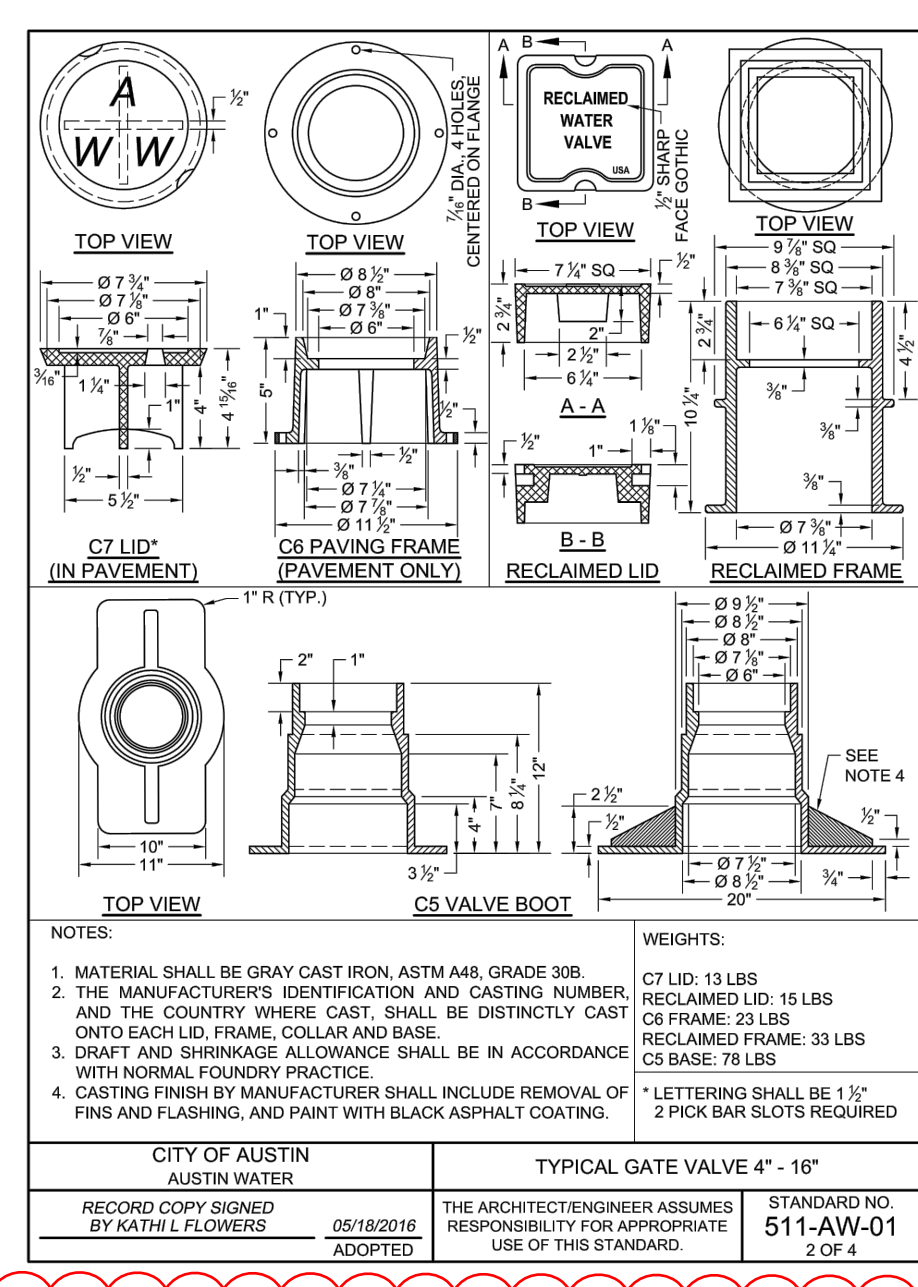
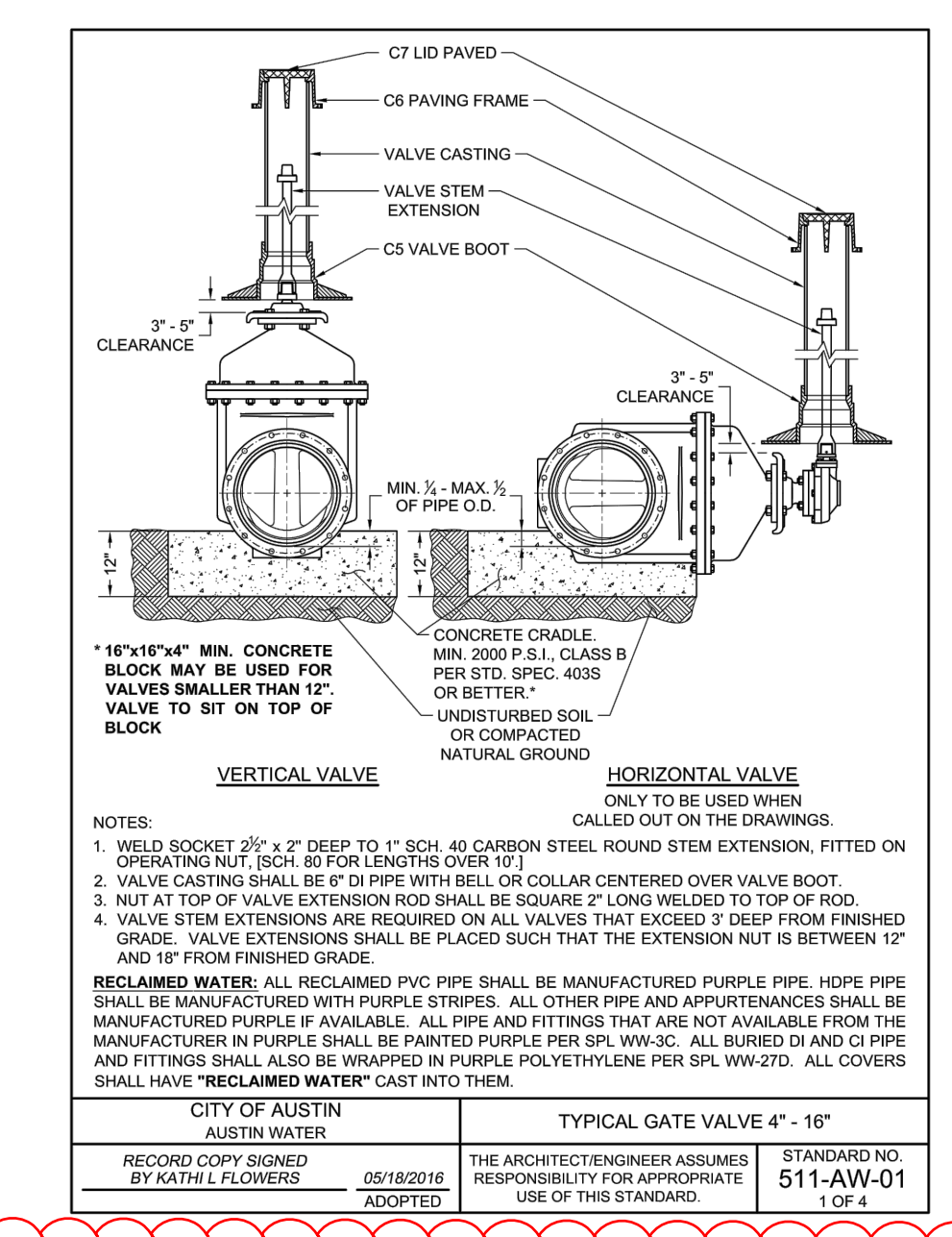
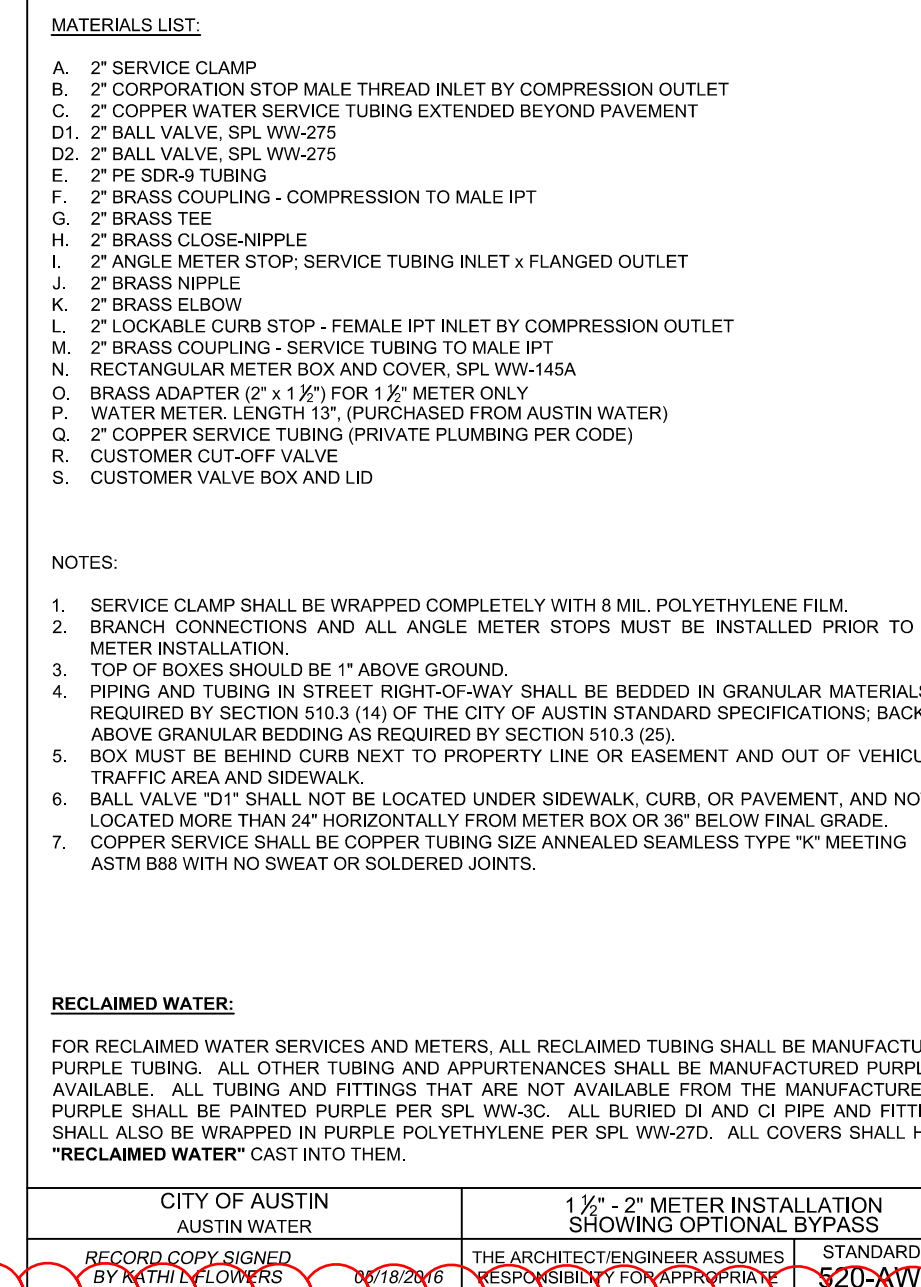
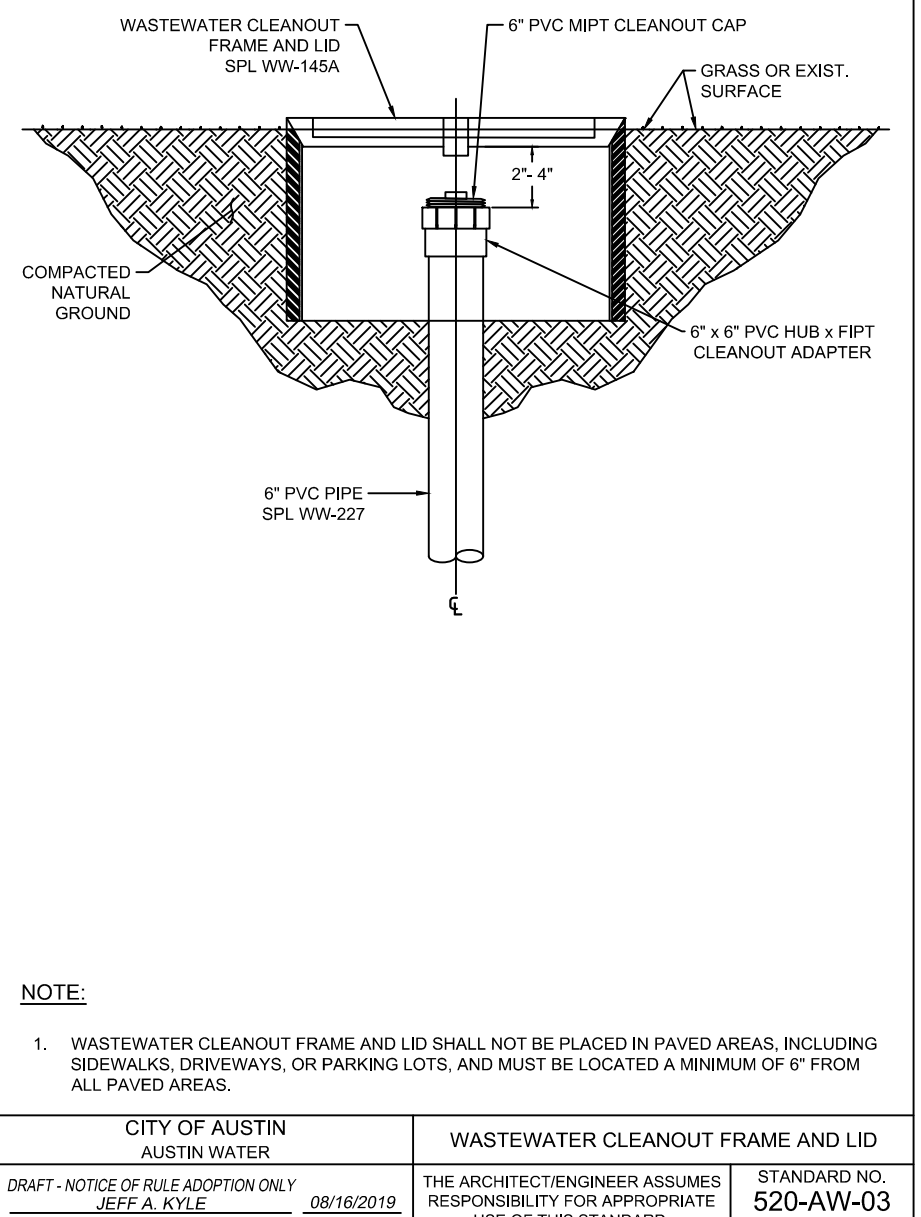
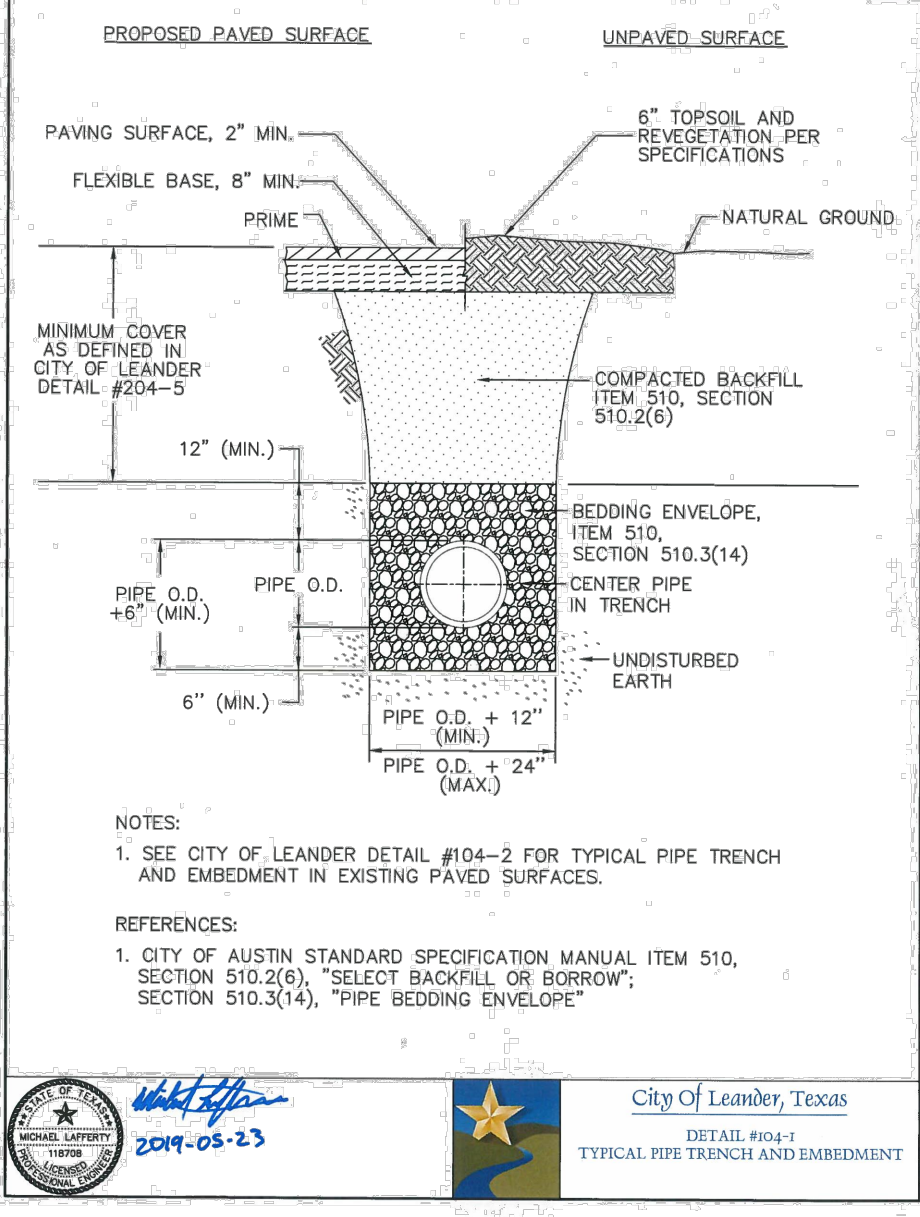
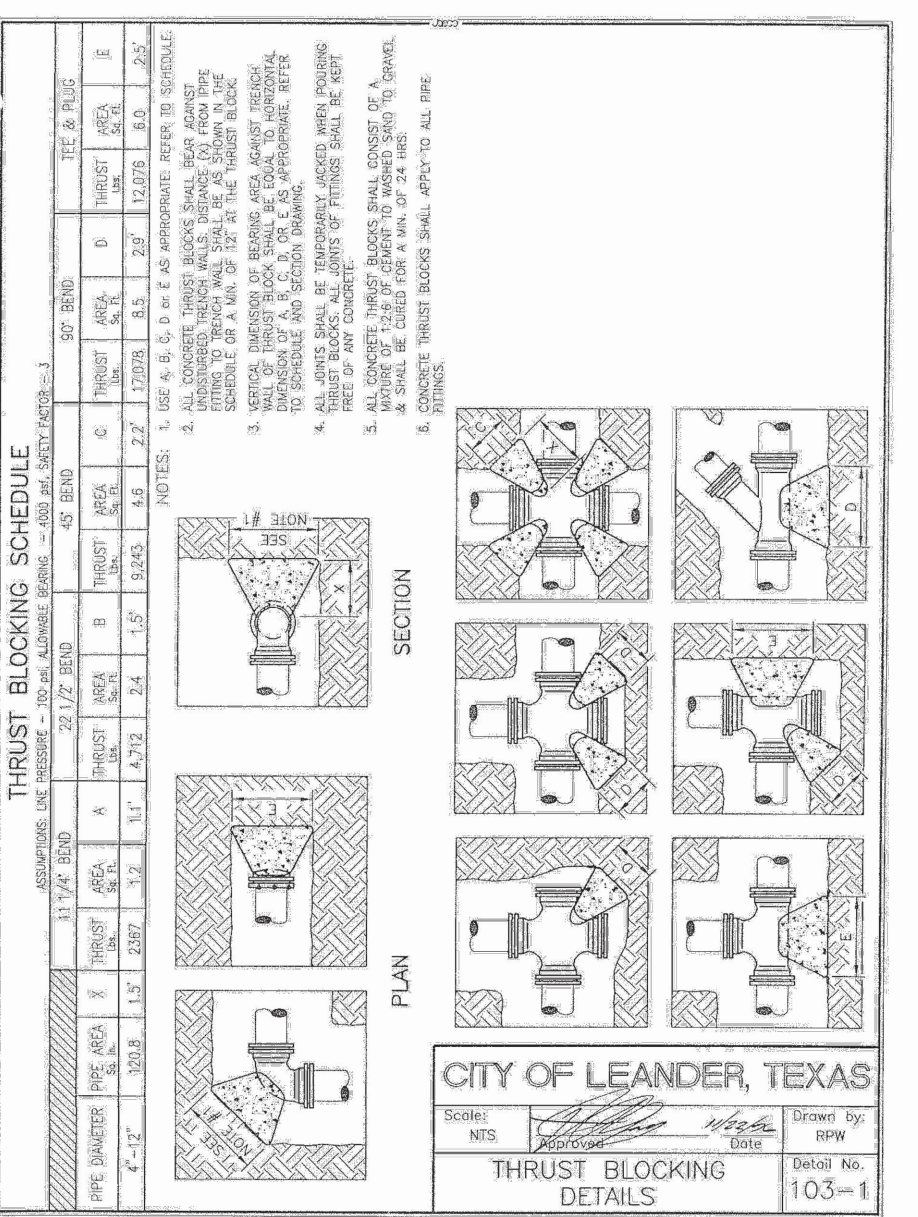
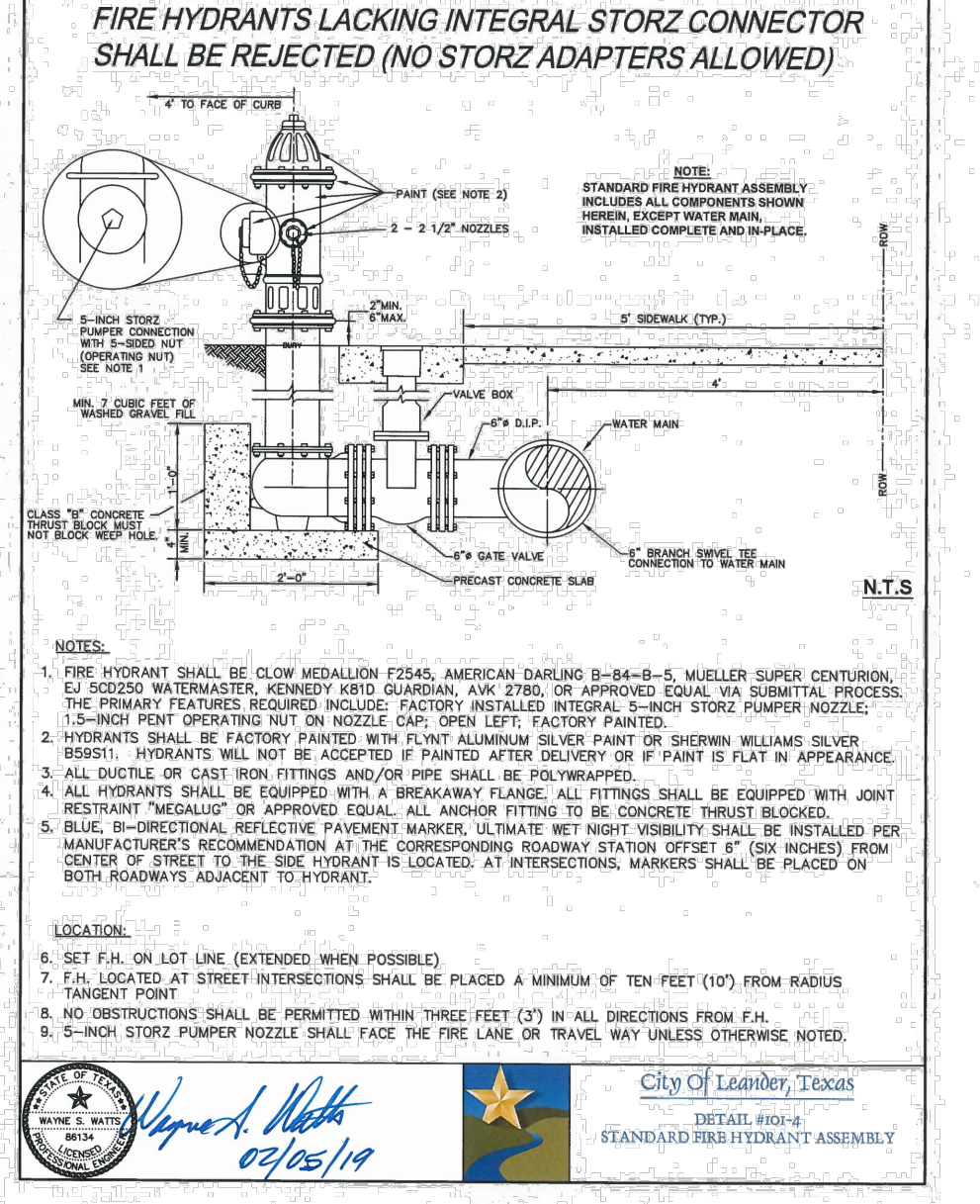
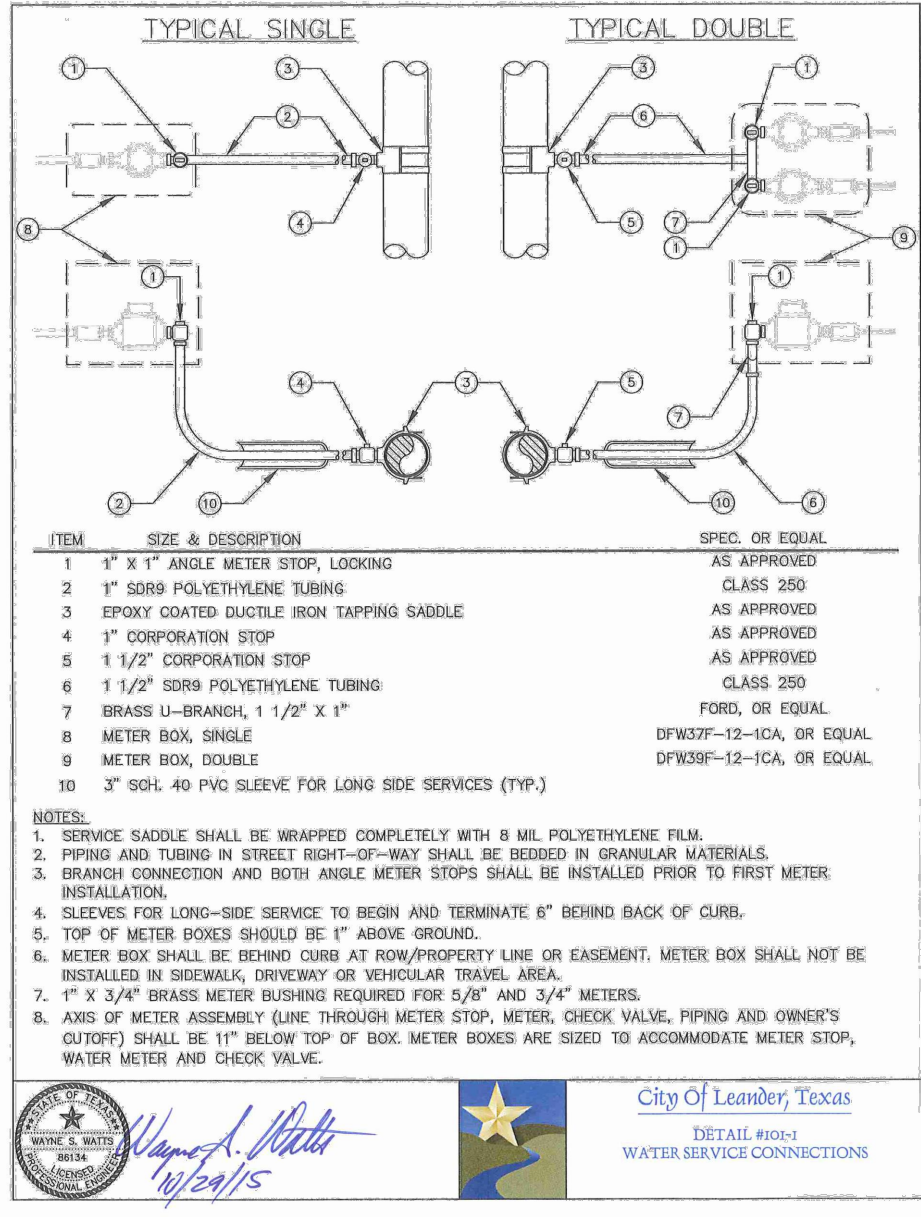
ADDITIONAL EASEMENTS
ALL EASEMENTS OF RECORD AS INDICATED ON THE MOST RECENT TITLE RUN DATED: OCTOBER 20, 2020. CONDUCTED BY TITLE RESOURCES GUARANTY COMPANY FOR THIS PROPERTY ARE SHOWN ON THIS SITE PLAN.

JAMISON CIVIL ENGINEERING LLC
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INFO@JAMISONENG.COM

THE SQUARE AT CRYSTAL FALLS
SITE PLAN
PROJECT NUMBER #21-SD-036

The seal appearing on this document was authorized by Stephen Roy Jamison on 4/24/2024.

File: H1900 BAGDAD DRIVING PLANS SITE.DWG
Job No.
Scale (Hor.): 1"=30'
Scale (Vert.):
Date: 08/09/21
Checked By: SRJ
Drawn By: MM
Revision 1:
Revision 2:
Revision 3:
Revision 4:



CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS
 PEDESTRIAN HANDRAIL
 STANDARD NO. 707S-1
 1 OF 4

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS
 PEDESTRIAN HANDRAIL
 STANDARD NO. 707S-1
 2 OF 4

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS
 PEDESTRIAN HANDRAIL
 STANDARD NO. 707S-1
 3 OF 4

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS
 PEDESTRIAN HANDRAIL
 STANDARD NO. 707S-1
 4 OF 4

CAUTION!!!
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THE SQUARE AT CRYSTAL FALLS
 WATER & WASTEWATER DETAILS
 PROJECT NUMBER #21-SD-036

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY Stephen Roy Jamison on 4/24/2024.

STATE OF TEXAS
 JAMISON CIVIL ENGINEERING, L.L.C.
 PROFESSIONAL ENGINEER

File: H1900_BAGDADDING_PLANS_DETAILS.DWG
 Job No. Snapshot:
 Scale (Hor.): Scale (Vert.):
 Date: 08/09/21 Checked By: SRJ Drawn By: MM
 Revision 1:
 Revision 2:
 Revision 3:
 Revision 4:

SHEET 33 OF 39