

APPROVAL _____

SIGNATURE _____

DATE _____

REVISIONS _____

GAME DAY MEN'S HEALTH
BAPTIST WESTOVER HILLS
SAN ANTONIO, TEXAS

GAME DAY MEN'S HEALTH SUITE 102

BAPTIST WESTOVER HILLS
3903 WISEMAN BLVD.
SAN ANTONIO, TEXAS 78251

PROJECT TEAM

TENANT GAME DAY MEN'S HEALTH 250 E BASSE RD #208 SAN ANTONIO, TX 78209 PHONE: 210-900-3691 CONTACT: VERNIE LIEB EMAIL: VERNIE.LIEB@GMAIL.COM	INTERIOR DESIGNER THE JORDAN GROUP 20079 STONE OAK PKWY., STE 1200 SAN ANTONIO, TX 78258 PHONE: 210-267-8320 CONTACT: RUTH JORDAN & KATY MCKENNA RUTH@THEJORDANGROUP-SA.COM KATY@THEJORDANGROUP-SA.COM
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PROJECT SUMMARY

USABLE AREA: 1,891 RSF	SPRINKLED: YES	BUILDING TYPE: IIB
NUMBER OF EXITS REQUIRED: 1	OCCUPANCY TYPE: B	OCCUPANT LOAD (PER IBC 2021): WAITING = 10 EXAM = 3 TOTAL OCCUPANTS = 20

SHEET INDEX

A0.0	TITLE PAGE
A0.1	GENERAL NOTES/ INSTRUCTIONS
A0.2	ADA STANDARDS
A1	DEMO FLOOR PLAN/NEW FLOOR PLAN/LIFE SAFETY/FINISHES
A2	POWER/ RCP
A3	ELEVATIONS/SECTIONS

CODE INFORMATION

Building / Dwelling Code IBC 2021 with local amendments
Structural Code IBC 2021 with local amendments
Plumbing Code IPC 2021 with local amendments
Mechanical Code IMC 2021 with local amendments
Electrical Code NEC 2020 with local amendments
Fire/Life Safety Code IFC 2021 with local amendments
Accessibility Code State of Texas Accessibility Standards (TAS)
Energy Code IECC 2021 with local amendments

ACCESSIBILITY

TEXAS ACCESSIBILITY STANDARDS, ELIMINATION OF ARCHITECTURAL BARRIERS, TEXAS GOVERNMENT CODE, CHAPTER 469 ADMINISTERED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION SHALL CONDUCT A PLAN REVIEW TO VERIFY ALL CONSTRUCTION DOCUMENTS COMPLY WITH THE REGULATIONS AS WE UNDERSTAND THEM. IF ANY PLAN DISCREPANCIES SHALL ARISE, INTERIOR DESIGNER WILL ADDRESS WITH OWNER UPON PLAN REVIEW COMMENTS.

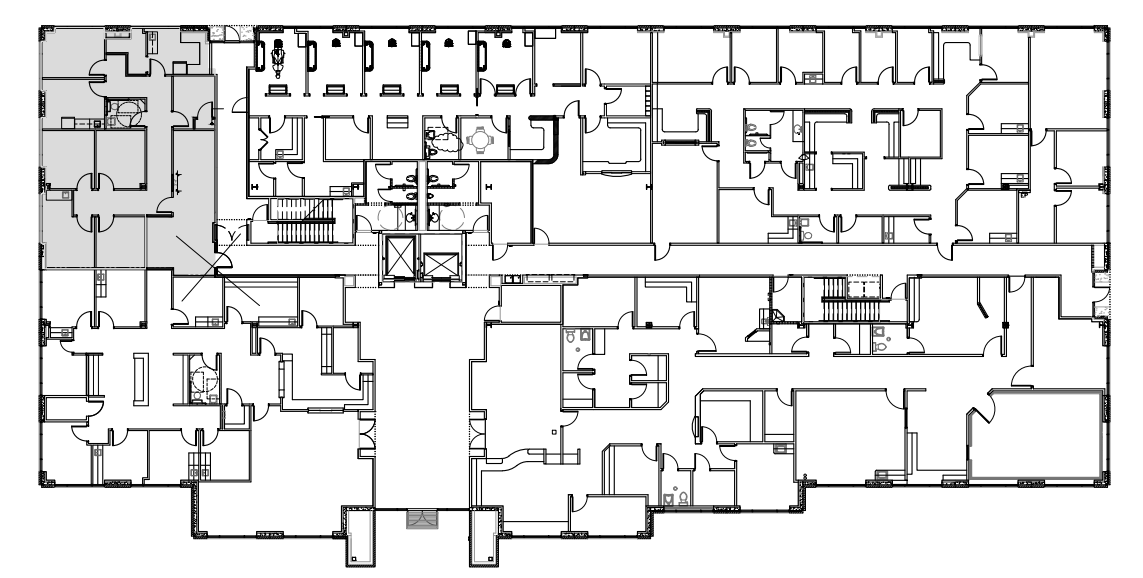
A FIELD INSPECTION SHALL ALSO TAKE PLACE AFTER CERTIFICATE OF SUBSTANTIAL COMPLETION HAS BEEN ISSUED TO ENSURE ALL CONSTRUCTION IS IN COMPLIANCE WITH TEXAS ACCESSIBILITY STANDARDS (TAS). THE SCOPE OF OUR SERVICES IS LIMITED TO THE INTERIOR FINISH OUT ONLY. EXISTING BUILDING CONDITIONS MAY ALSO BE INSPECTED AND ANY NON-COMPLIANT CONDITIONS OUTSIDE OF OUR SCOPE OF SERVICES SHALL BE REMEDIATED AT THE OWNER'S EXPENSE.

ANY NEW CONSTRUCTION FOUND TO BE NON-COMPLIANT AND DOES NOT REFLECT OUR CONSTRUCTION DOCUMENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CORRECTED AS REQUIRED.

ALTERNATES

- IN LIEU OF EXISTING BLINDS TO REMAIN, PROVIDE AND INSTALL NEW ROLLER SHADES BY SWF CONTRACT, 5% OPENNESS, COLOR TBS, INSIDE MOUNT/VALANCE TO MATCH STANDARD BUILDING FRAME, COLOR: CLEAR ALUMINUM. **PRICE AS ALTERNATE #1.**
- IN LIEU OF EXISTING MILLWORK TO BE REMOVED, NEW MILLWORK TO MACH GAME DAY STANDARD COLORS, REMOVE EXISTING PLUMBING. **PRICE AS ALTERNATE # 2.**

LOCATION MAP



1,891 RSF

PRICING
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ISSUED AS PRICING
DOCUMENTS ONLY NOT
FOR CONSTRUCTION.
RUTH JORDAN TEXAS
REGISTRATION #10682

PROJECT INFORMATION
DRAWN BY: KM
REVIEW: 10/18/2024
PRICING:
CONSTRUCTION:
DRAWING TITLE:
TITLE PAGE

SHEET NO.
A0.0
SHEET 1 OF 6

GENERAL NOTES AND INSTRUCTIONS

GENERAL CONTRACTOR NOTES & INSTRUCTIONS

- GENERAL CONDITIONS: "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AIA DOCUMENT - A201, SHALL GOVERN ALL WORK PERFORMED UNDER THIS CONTRACT.
- ALL REQUEST FOR CLARIFICATIONS OF THESE DRAWINGS SHALL BE SUBMITTED IN WRITING TO THE DESIGNER.
- CLAIMS FOR ADDITIONAL COSTS: ALL ADDITIONAL CLAIMS TO THE CONTRACT SUM SHALL BE ISSUED IN WRITING WITHIN 7 DAYS AFTER EVENT WHICH CAUSES SUCH CLAIM. THIS NOTICE SHALL BE GIVEN BY THE CONTRACTOR BEFORE PROCEEDING TO EXECUTE THE WORK, EXCEPT IN EMERGENCIES ENDANGERING LIFE OR PROPERTY IN WHICH CASE THE CONTRACTOR SHALL PROCEED IN ACCORDANCE WITH GENERAL INSTRUCTION.
- ANY CHANGE TO CONTRACT SUM SHALL BE AUTHORIZED BY A WRITTEN CHANGE ORDER ONLY.
- NO SUBSTITUTIONS SHALL BE MADE UNLESS SUBMITTED TO THE DESIGNER IN WRITING WITHIN 5 DAYS OF CONTRACT AWARD. EACH REQUEST SHALL INCLUDE DESCRIPTION OF PROPOSED SUBSTITUTE, NAME OF MATERIAL OR EQUIPMENT FOR WHICH IT IS TO REPLACE, AS WELL AS CUT SHEETS, SPECIFICATIONS, OR PERTINENT DATA NECESSARY TO MAKE AN INFORMED EVALUATION. INTERIOR DESIGNER SHALL APPROVE/ DENY EACH REQUEST IN WRITING.
- A DIRECTORY OF ALL SUBCONTRACTORS SHALL BE PROVIDED TO INTERIOR DESIGNER WITHIN 5 DAYS OF AWARD OF CONTRACT.
- WITHIN 5 DAYS OF CONTRACT AWARD, CONTRACTOR SHALL CERTIFY THAT ALL MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF PROJECT ARE ORDERED AND DELIVERY DATES ARE COORDINATED WITH PROJECT SCHEDULE. ANY EXCEPTIONS SHALL BE BROUGHT FORTH AT THIS TIME ALONG WITH REQUESTS FOR SUBSTITUTIONS.
- PROGRESS SCHEDULE: CONTRACTOR SHALL PROVIDE AN ESTIMATED PROGRESS SCHEDULE TO INTERIOR DESIGNER FOR REVIEW WITHIN 5 DAYS OF AWARDED CONTRACT.
- PROTECTION- PERSONS AND PROPERTY: CONTRACTOR SHALL TAKE ALL REASONABLE PRE-CAUTIONS FOR THE SECURITY AND PROTECTION OF EMPLOYEES AND ALL PERSONS WHO MAY BE AFFECTED ON THE JOB IN ORDER TO PREVENT DAMAGE, INJURY, OR LOSS. ALL COMPLETED WORK MATERIALS, AND EQUIPMENT TO BE INCORPORATED THEREIN WHICH IS IN THE CARE, CUSTODY, OR CONTROL OF THE CONTRACTOR, AND ALL OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS, OF ANY PUBLIC AUTHORITY HAVING JURISDICTION. IN THE EVENT OF AN EMERGENCY AFFECTING SAFETY OF PERSONS OR PROPERTY, THE CONTRACTOR SHALL WORK TO PREVENT THREATENED DAMAGE, INJURY, OR LOSS.
- CONTRACTOR SHALL ENFORCE DISCIPLINE AND GOOD ORDER AMONG CONTRACTORS, SUBCONTRACTORS, AND ALL ORGANIZED TRADES AND NOT PERMIT ANY UNLICENSED OR UNQUALIFIED PERSONS TO CARRY OUT THE WORK ASSIGNED TO THEM.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY ALL PROJECT TEAM MEMBERS OF ANY DISCREPANCIES.
- ALL CONSTRUCTION SHALL COMPLY WITH MOST CURRENT ADOPTED EDITION OF BUILDING AND LOCAL CODES.
- MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE ORDINANCES.
- CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING SAFETY GUIDELINES AND NECESSARY PRE-CAUTIONS FOR THE SECURITY AND PROTECTION OF EMPLOYEES AND ALL OTHER PERSONS WHO MAY BE AFFECTED IN ORDER TO PREVENT DAMAGE, INJURY OR LOSS.
- COMPLETION: UPON COMPLETION OF WORK, CONTRACTOR AND OWNER TO PREPARE A PUNCH LIST OR WRITTEN DOCUMENT SPECIFYING ALL AREAS OF WORK THAT STILL NEED ATTENTION. PROJECT WILL NOT BE DEEMED COMPLETE UNTIL ALL OUTSTANDING ITEMS ARE COMPLETED AND APPROVED BY OWNER/ TENANT.
- ALL AFTER HOURS WORK SHALL BE SCHEDULED/ COORDINATED WITH BUILDING OWNER.

- GENERAL CONTRACTORS SHALL NOT ALLOW ANY DEBRIS TO ACCUMULATE IN STRUCTURE OR ON GROUNDS, HAUL AWAY AND DISPOSE OF AT CONTRACTOR'S EXPENSE. UPON JOB COMPLETION, ALL GLASS SURFACES SHALL BE CLEANED AND WORK AREA LEFT "BROOM CLEAN."
- ACCOMMODATIONS SHALL BE MADE TO PROTECT PORTIONS OF THE BUILDING IDENTIFIED AS NOT IN CONTRACT: DO NOT ALLOW LEAKS IN EXISTING STRUCTURE AND ELIMINATE OR CONTROL ALL SMOKE/ DUST.
- ALL EXITS ARE TO BE OPERATIVE FROM INSIDE OF SPACE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- CONTRACTOR RESPONSIBLE FOR IDENTIFYING EXISTING BUILDING SLAB AND CONDITIONS PRIOR TO ANY CORE DRILLING OF CUTTING. X-RAYS OF SLAB MAY BE REQUIRED DEPENDING ON BUILDING TYPE. PRIOR TO ANY CUTTING. X-RAY TO BE REVIEWED BY ENGINEER. COORDINATE WITH OWNER LOCATION AND EXTENT OF STRUCTURAL MEMBERS AND REINFORCING, AS WELL AS OTHER BUILDING SYSTEMS THAT MAY BE AFFECTED BY CUTTING OPERATION. ANY REPAIRS RESULTING IN FAILURE TO DO SO WILL BE RESPONSIBILITY OF CONTRACTOR AND ITS SUBCONTRACTORS.
- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH LOCAL OBLIGATIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND REFERENCED HIS FINDINGS WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCIES, ERRORS, OR OMISSIONS SHALL IMMEDIATELY BE REPORTED TO THE INTERIOR DESIGNER.
- MECHANICAL, ELECTRICAL, PLUMBING, SPRINKLER SYSTEMS AND FIRE SAFETY SHALL BE AS ENGINEERED BY BUILDING CONSULTING ENGINEER OR GENERAL CONTRACTORS / SUBCONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- ALL WORK IS SUBJECT TO APPROVAL BY INTERIOR DESIGNER.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL FIRE EXTINGUISHERS AND FIRE EXTINGUISHER CABINETS IN QUANTITIES AND LOCATIONS REQUIRED BY CODE.
- MECHANICAL ELECTRICAL, PLUMBING, FIRE AND SAFETY SYSTEMS SHALL BE ENGINEERED BY BUILDING CONSULTING ENGINEER OR GENERAL CONTRACTOR'S SUBCONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES. CONTRACTOR TO COORDINATE LOCATIONS OF ALL FIRE ALARM DEVICES AND THERMOSTATS WITH DESIGNER PRIOR TO ROUGH-IN AND INSTALLATION.
- PROVIDE ALL SAFETY SYSTEMS AS REQUIRED FOR NEW WALL CONFIGURATIONS. PROVIDE ALL REQUIRED EXIT SIGNS, EMERGENCY LIGHTS, FIRE EXTINGUISHERS, SMOKE DETECTORS, AND FIRE ALARMS TO MEP ALL APPLICABLE CODES. ALL SYSTEMS TO BE TIED INTO BUILDING SYSTEMS AS REQUIRED. RELOCATE SPRINKLER HEADS AS REQUIRED DUE TO NEW WALL AND LIGHTING CONFIGURATIONS IN ACCORDANCE WITH APPLICABLE CODES. EMERGENCY LIGHTING IS TO BE VIA BATTERY PACK ONLY.
- MODIFY OR PROVIDE NEW HVAC SYSTEM AS REQUIRED DUE TO NEW WALL CONFIGURATIONS AND LIGHTING CONFIGURATIONS.
- PROVIDE INDEPENDENT TEST AND BALANCE OF THE HVAC SYSTEM AFTER CONSTRUCTION IS COMPLETE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE SCOPE OF DEMOLITION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING, CONSTRUCTION AND INSPECTION PERMITS AND FEES PRIOR TO THE START OF CONSTRUCTION.
- G.C. TO COORDINATE WITH BUILDING OWNER/MANAGEMENT FOR ALARM PROTOCOL IN REGARDS TO ANY SCOPE OF WORK THAT COULD CAUSE FIRE ALARMS TO ACTIVATE.
- G.C. TO NOTIFY DESIGNER OF ANY DISCREPANCIES WITH ADA STANDARDS PER A0.2
- STARTING CONSTRUCTION PRIOR TO OBTAINING PERMIT IS AT GENERAL CONTRACTOR'S OWN RISK.

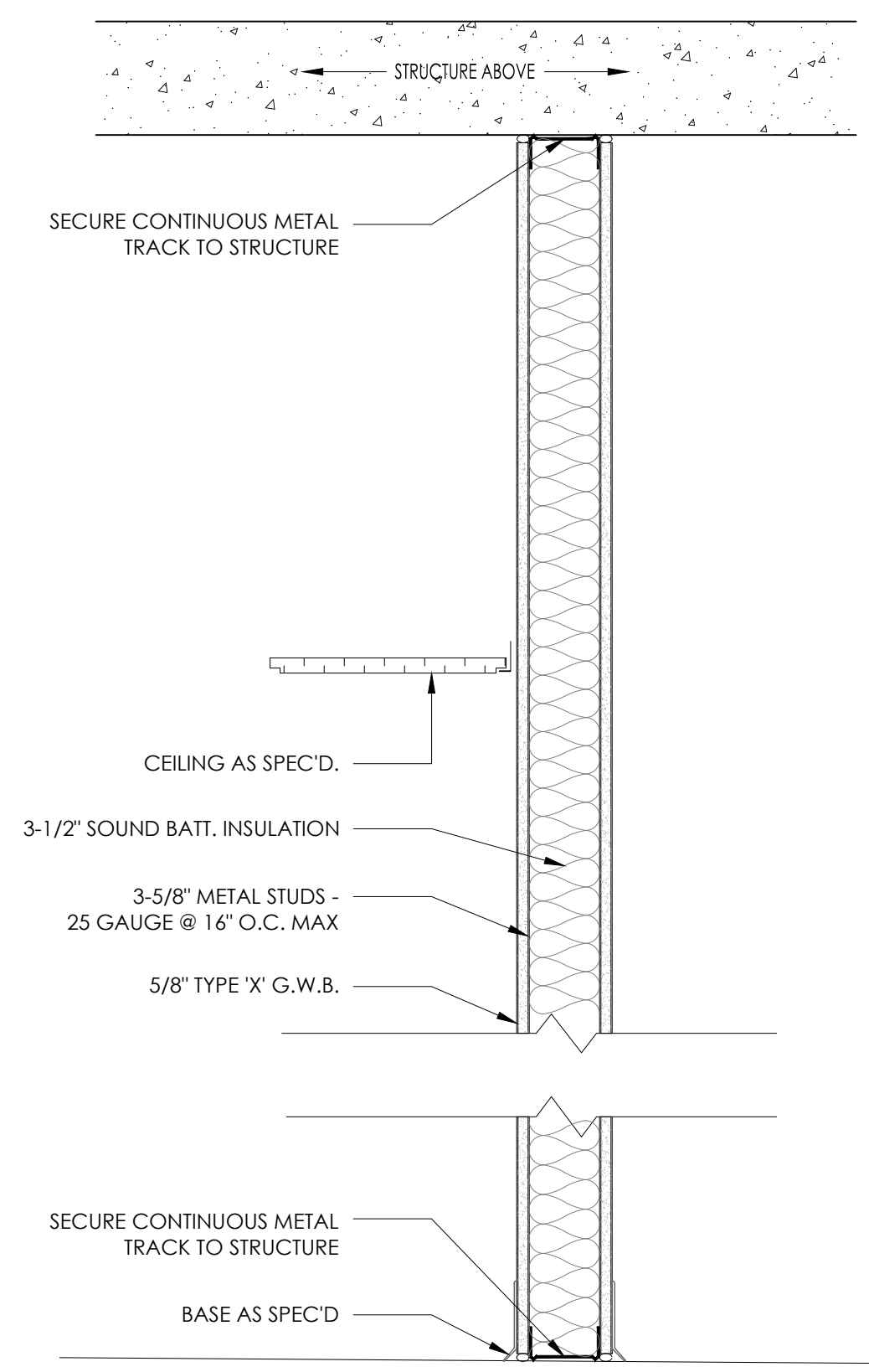
FIRE AND SAFETY NOTES:
 FIRE SPRINKLER HEADS: RECESSED ESCUTCHEONS W/ CONCEALED CAP
 FIRE SYSTEM STROBE/ SOUNDERS : TO MATCH EXISTING SYSTEM

ABBREVIATIONS

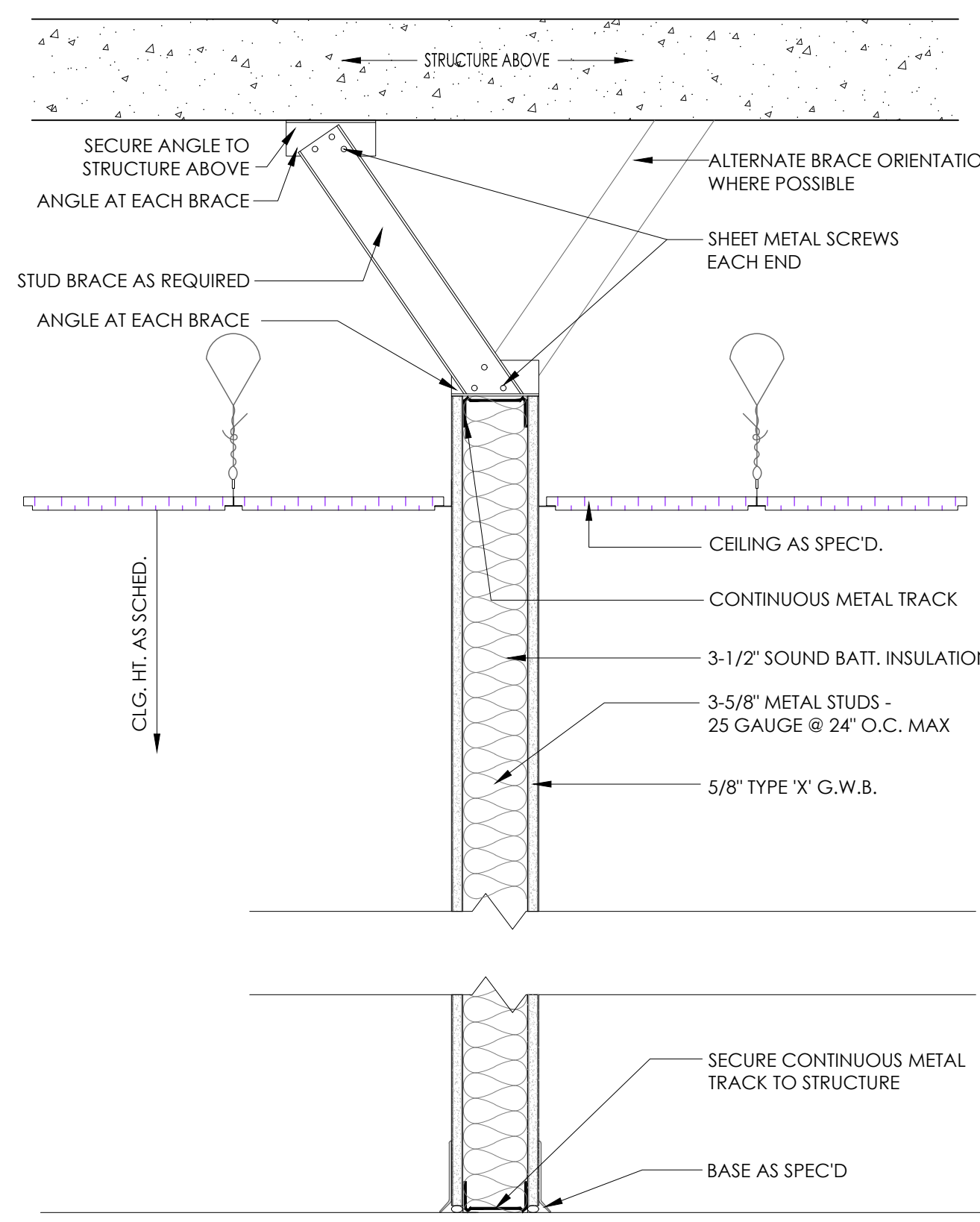
A.F.F.	ABOVE FINISHED FLOOR	F.D.	FLOOR DRAIN	OH	OVER HEAD
A/C	AIR CONDITIONING	F.E.	FIRE EXTINGUISHER	OPNG.	OPENING
ABV.	ABOVE	F.O.	FACE OF	OPPO.	OPPOSITE
ACOU.	ACOUSTIC	F.S.	FLOOR SINK	P.LAM.	PLASTIC LAMINATE
ACT	ACOUSTICAL CEILING TILE	FACP	FIRE ALARM CONTROL PANEL	PERF.	PERFORATED
ADD.	ADDITION or ADDENDUM	FDC	FIRE DEPARTMENT CONNECTION	PERP. or	PERPENDICULAR
AL. or	ALUMINUM	FDN.	FOUNDATION	PL.	PLASTER
ALT.	ALTERNATE	FIN.	FINISH	PLAS.	PLASTIC
AVG	AVERAGE	FL	FLOOR FINISH	PLUMB.	PLUMBING
B.O.	BOTTOM OF	FLG.	FLOORING	PLYWD.	PLYWOOD
BD.	BOARD	FLUOR.	FLOURESCENT	PORC.	PORCELAIN
BLDG	BUILDING	FP	FIRE PROOF	PREFAB.	PREFABRICATED
BLK.	BLOCK	FURN.	FURNISH	PSF	POUNDS PER SQUARE FOOT
BLKG.	BLOCKING	GA.	GAUGE	PSI	POUNDS PER SQUARE INCH
BM.	BEAM	GALV.	GALVANIZED	PTN.	PARTITION
C.D.	CONSTRUCTION DOCUMENTS	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	PWR.	POWER
C.J.	CONTROL JOINT	GF	GROUND FAULT INTERRUPTER	QTY.	QUANTITY
C.O.	CLEAN OUT	GL	GLASS	R	RADIUS
C.T.	CERAMIC TILE	GYP.	GYP SUM	R.O.	ROUGH OPENING
CAB	CABINET	GYP. BD.	GYP SUM BOARD	REF	REFRIGERATOR
CEM.	CEMENT	H.C.	HOLLOW CORE	REF.	REFERENCE
CER	CERAMIC	H.M.	HOLLOW METAL	REQ.D.	REQUIRED
CH or	CHANNEL	H/C	HANDICAPPED	REV.	REVISION
CKT. BKR.	CIRCUIT BREAKER	HDW	HARDWARE	RM	ROOM
CL or C	CENTERLINE	HGT.	HEIGHT	S.C.	SOLID CORE
CLG.	CEILING	HTR	HEATER	S/L	SKYLIGHT
CLKG.	CAULKING	HVAC	"HEATING, VENTILATING & AIR CONDITIONING"	S/S	STAINLESS STEEL
CLO.	CLOSET	HW	HOT WATER	SELF CLOSING	SELF CLOSING
CLR.	CLEAR	ID	IDENTIFICATION	SCHED.	SCHEDULE
CMU	CONCRETE MASONRY UNIT	IG	ISOLATED GROUND	SECT.	SECTION
CNTRD.	CENTERED	INCL.	"INCLUDE, INCLUSIVE"	SH	SHEET
COL.	COLUMN	INSUL.	INSULATION	SIM.	SIMILAR
COMB.	COMBINATION	INT.	INTERIOR	SPEC'S	SPECIFICATIONS
CONC.	CONCRETE	J-BOX	JUNCTION BOX	SQ. FT.	SQUARE FEET
CONST.	CONSTRUCTION	L.FT.	LINEAR FEET	STC	SOUND TRANSMISSION CLASS
CONT.	CONTINUOUS	LAM	LAMINATE	STD.	STANDARD
CONTR.	CONTRACTOR	LAT.	LATERAL	STL.	STEEL
D.F.	DRINKING FOUNTAIN	LAV	LAVATORY	SUSP.	SUSPENDED
D/W	DISHWASHER	LD.	LEAD	SW	SWITCH
DBL.	DOUBLE	LIN.	LINEAR	SYM	SYMMETRICAL
DEMO	DEMOLITION	LT.	LIGHT	SYS.	SYSTEM
DIA. or Ø	DIAMETER	MAT'L	MATERIAL	T.V.	TELEVISION OUTLET
DIAG.	DIAGONAL	MAX.	MAXIMUM	TEL.	TELEPHONE
DIM.	DIMENSION	MECH.	MECHANICAL	TH.	THRESHOLD
DN.	DOWN	MFG.	MANUFACTURING	THD.	THREADED
DR	DR	MFR.	MANUFACTURER	THK.	THICK
E.F.	EXHAUST FAN	MIN.	MINIMUM	THRU	THROUGH
E.J.	EXPANSION JOINT	MISC.	MISCELLANEOUS	TLT.	TOILET
EA.	EACH	MOD.	MODULAR	TYP.	TYPICAL
EL	ELEVATION	MTL.	METAL	UR	URINAL
ELECT.	"ELECTRIC, ELECTRICAL"	MUL	MULLION	V.B.	VAPOR BARRIER
ELEV.	ELEVATOR	N.I.C.	NOT IN CONTRACT	V.I.F.	VERIFY IN FIELD
EQ.	EQUIPMENT	N.T.S.	NOT TO SCALE	VCT	VINYL COMPOSITION TILE
EQUIP.	EQUIPMENT	NFC	NOT FOR CONSTRUCTION	VERT.	VERTICAL
EST.	ESTIMATE	NO.	NUMBER	W/C	WATER CLOSET
EXH.	EXHAUST	NOM.	NOMINAL	WDW	WINDOW
EXIST. or E	EXISTING	O.C.	ON CENTER	WP	WEATHER PROOF
EXT.	EXTERIOR	O.D.	OUTSIDE DIAMETER	WT.	WEIGHT
F.A.	FIRE ALARM	O.H.	OVER HANG	W/	WITH
				W/O	WITHOUT
				WD.	WOOD

SYMBOLS

- FLOOR PLAN KEYED NOTE
- POWER PLAN KEYED NOTE
- RCP KEYED NOTE
- ELEVATION KEYED NOTE
- ROOM NAME/ NUMBER
- DOOR KEY
- ELEVATION KEY
- SECTION REFERENCE KEY
- DETAIL REFERENCE KEY



1 DEMISING/ FULL HEIGHT WALL PARTITION
 SCALE: 1-1/2" = 1'-0"



2 TYPICAL WALL PARTITION
 SCALE: 1-1/2" = 1'-0"



20079 STONE OAK PKWY #1200
 SAN ANTONIO, TEXAS 78258

APPROVAL _____

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GAME DAY MEN'S HEALTH
 BAPTIST WESTOVER HILLS
 SAN ANTONIO, TEXAS

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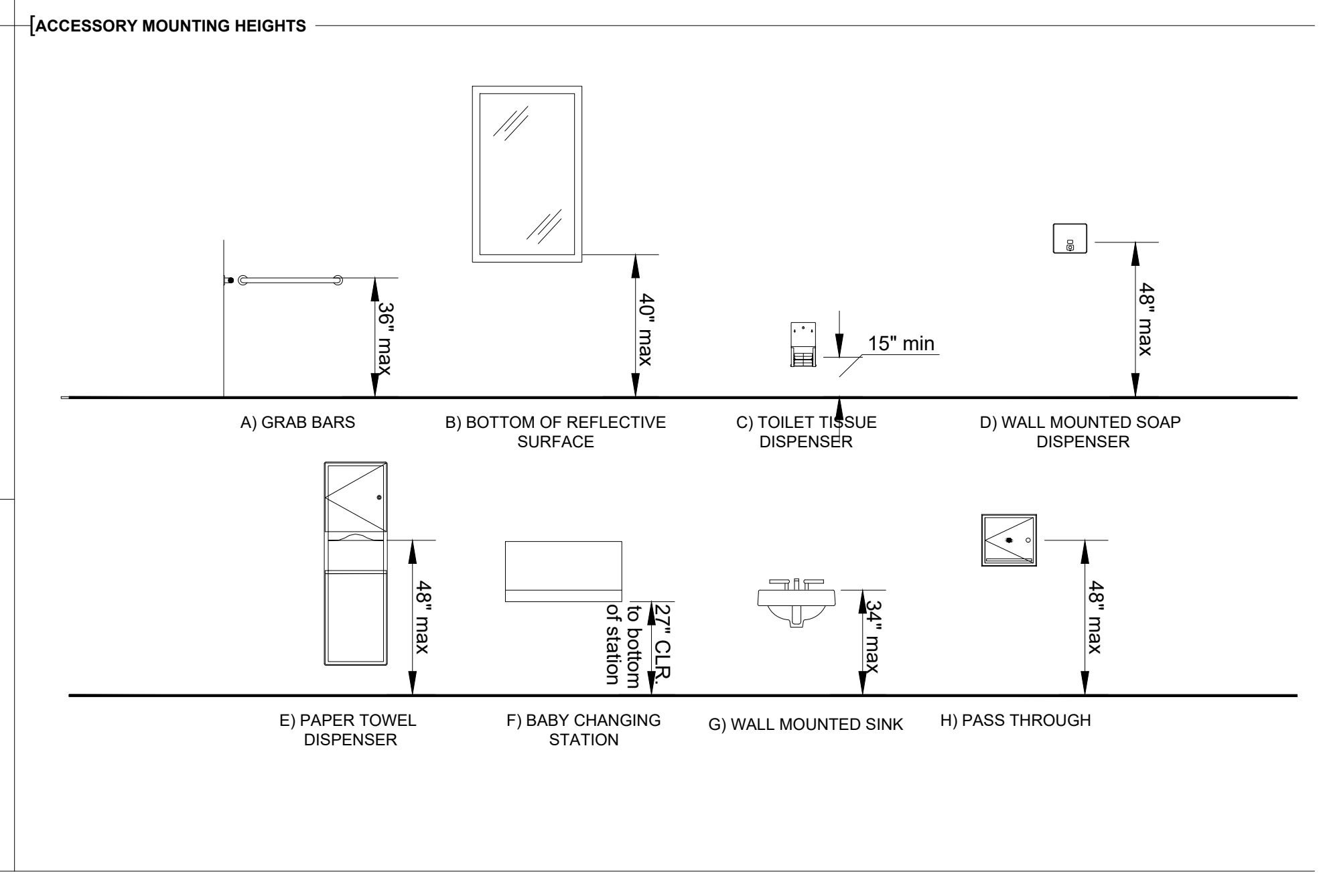
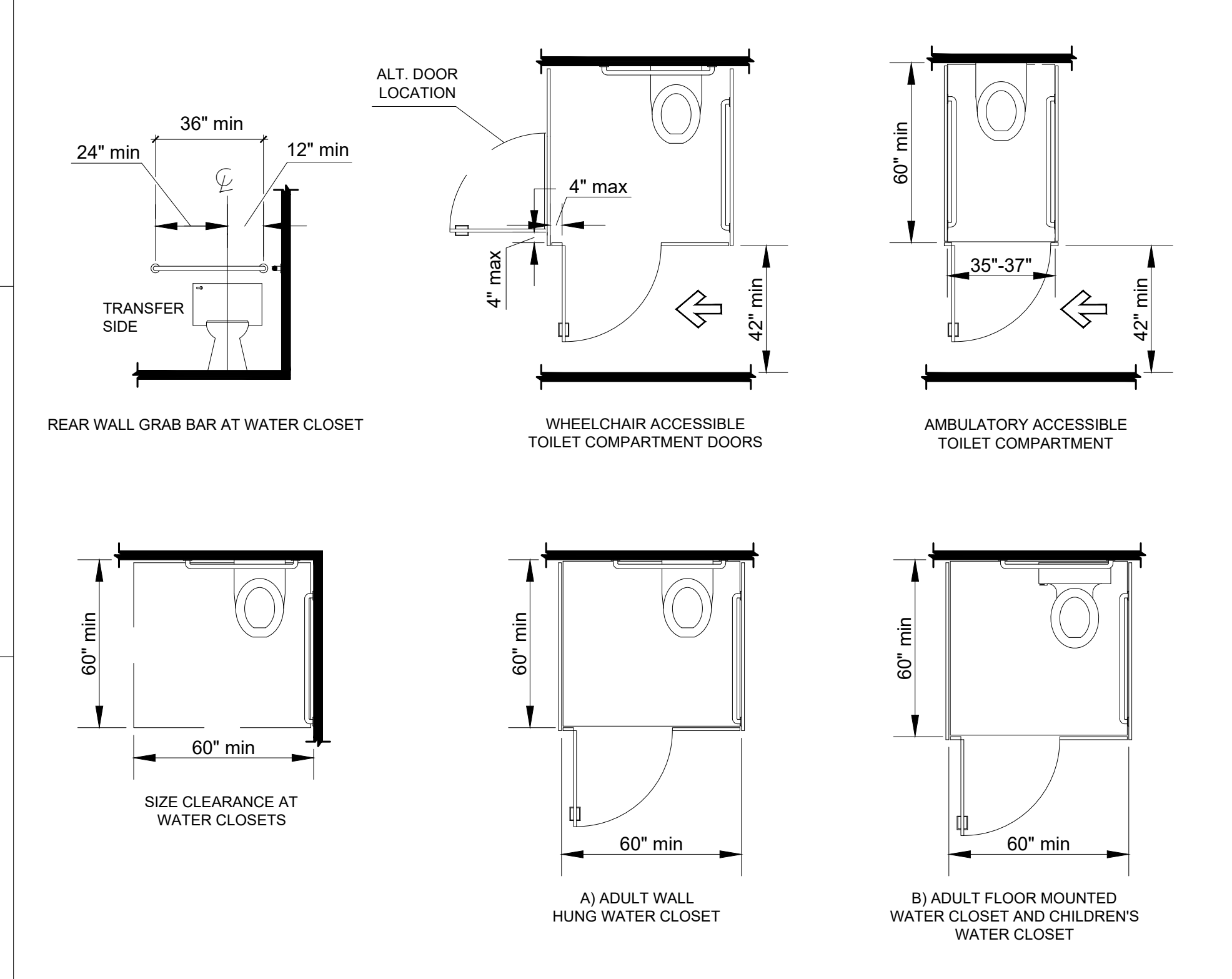
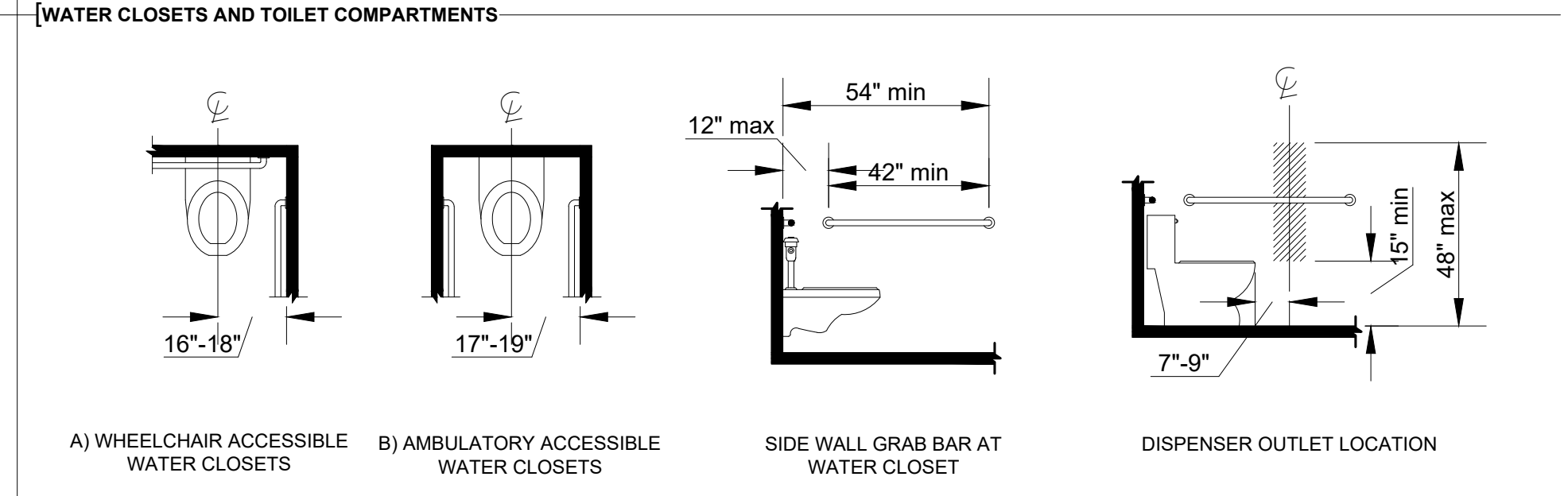
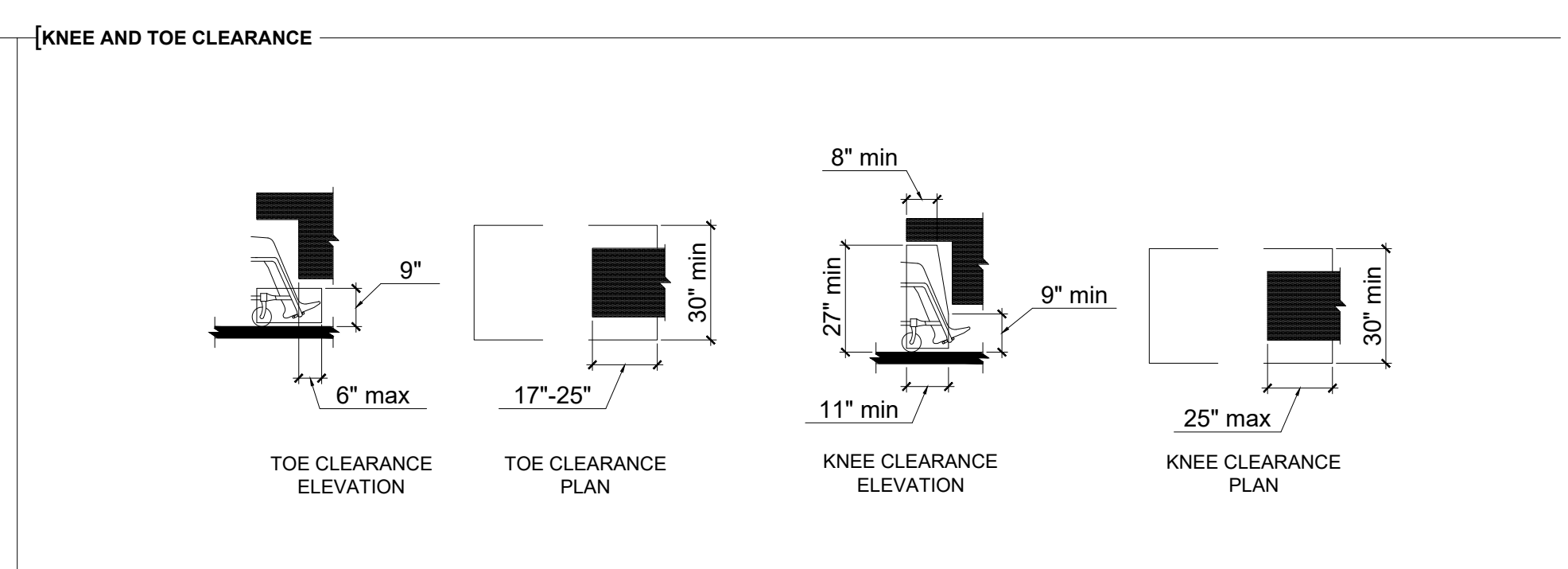
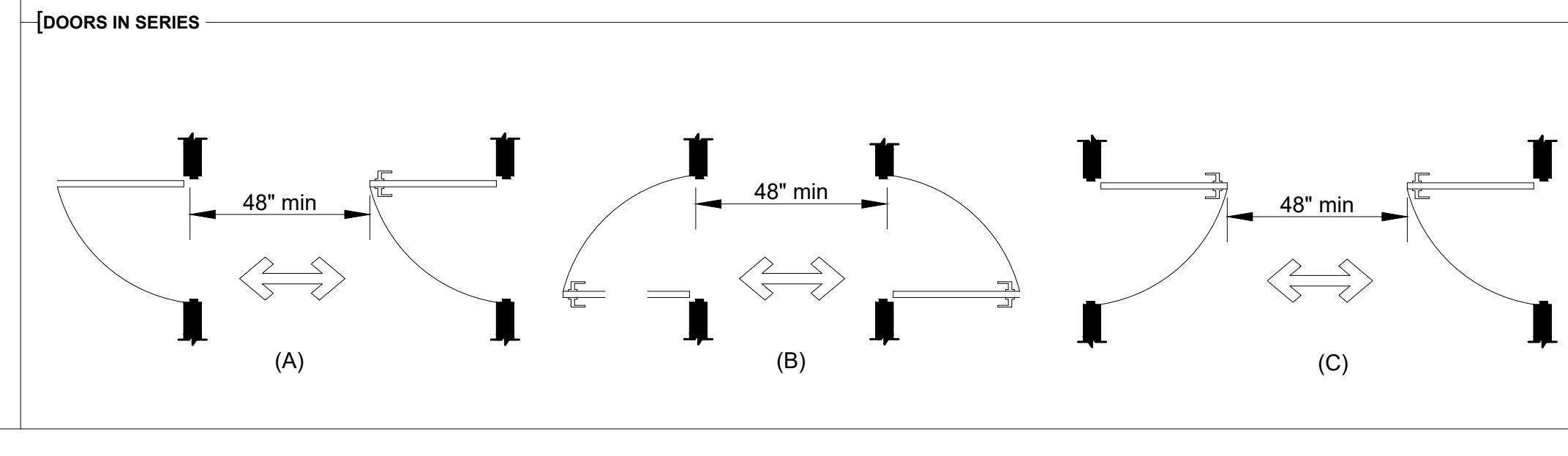
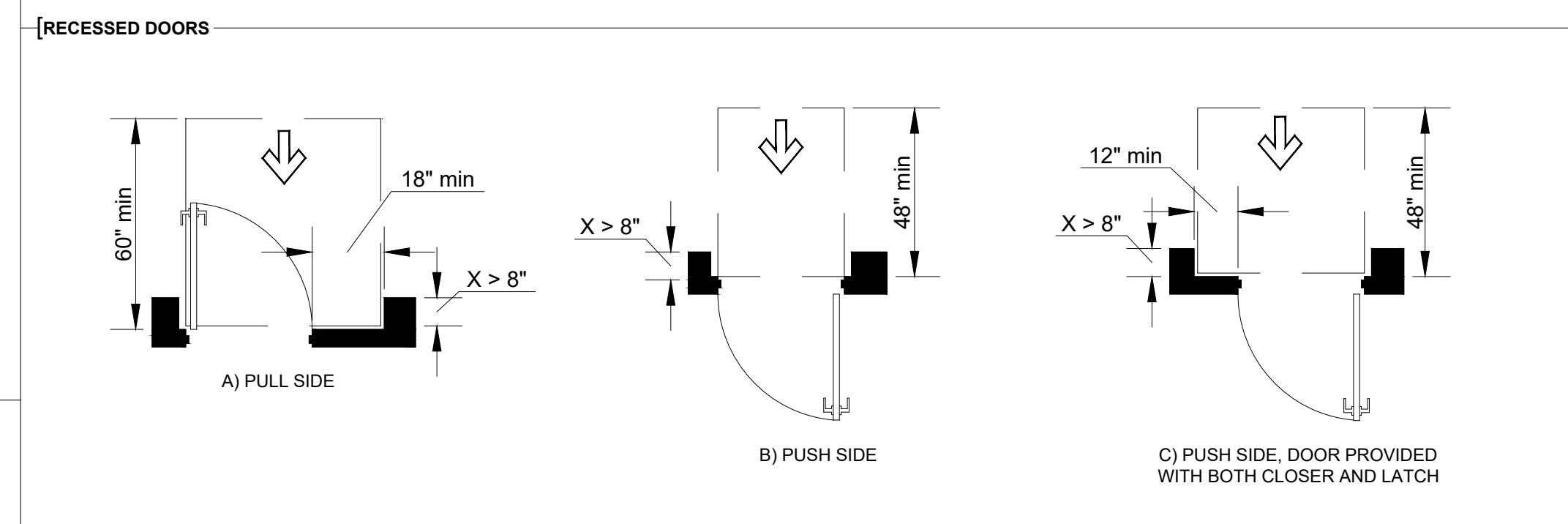
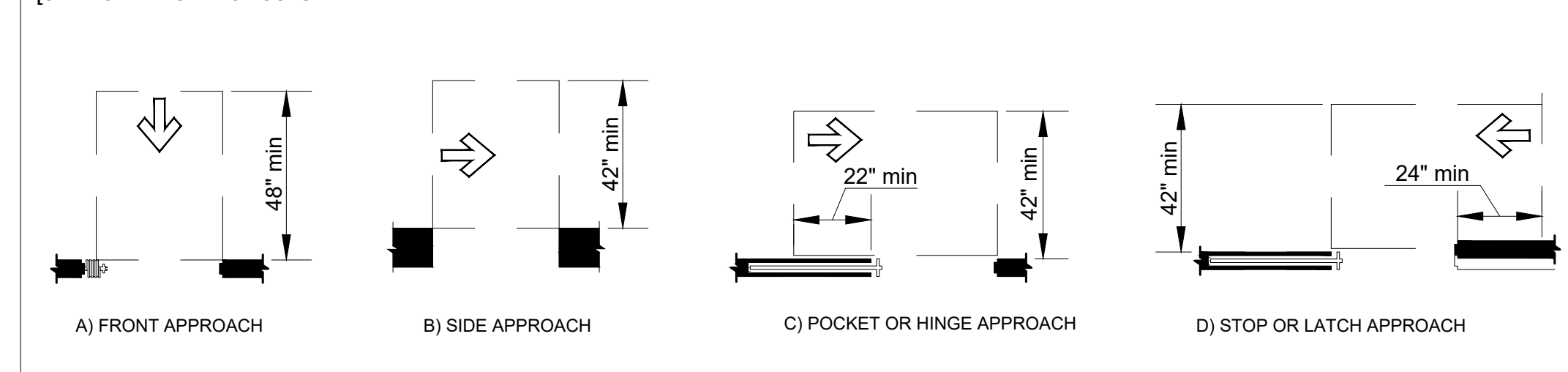
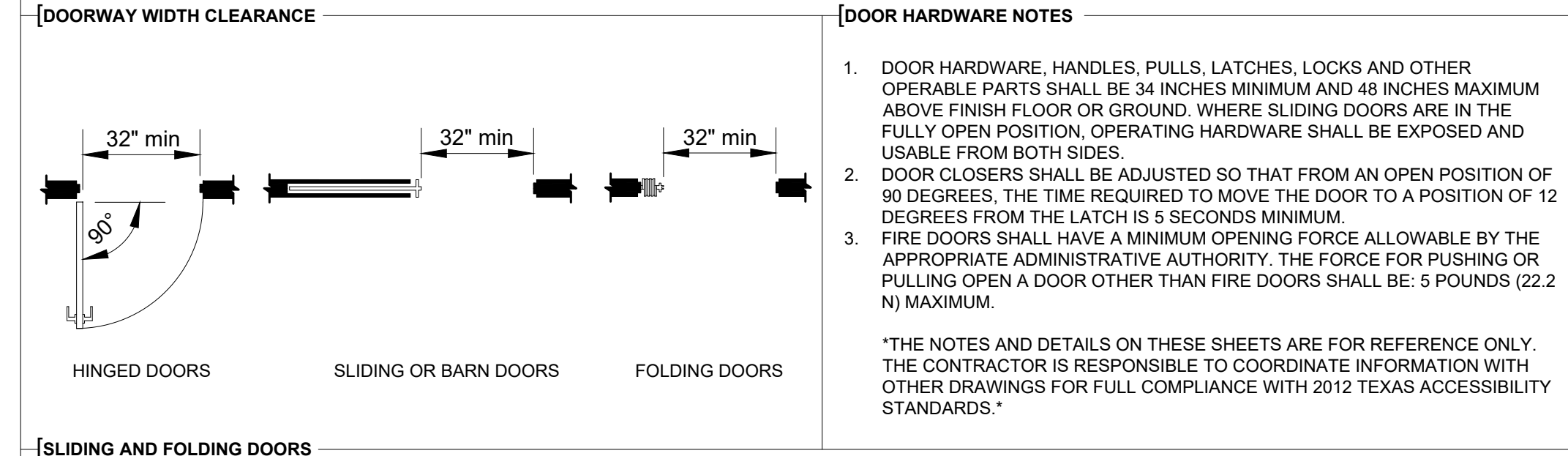
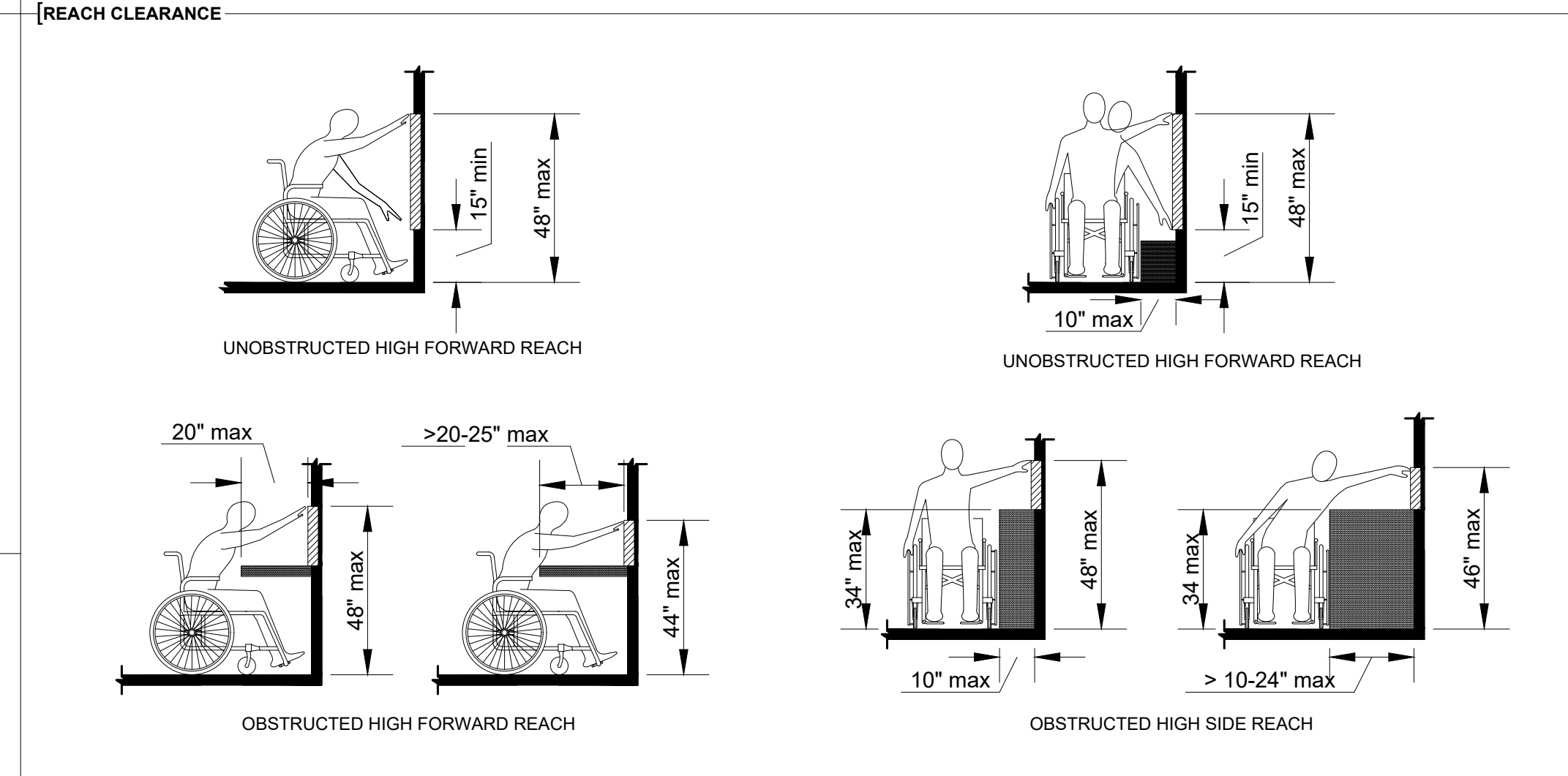
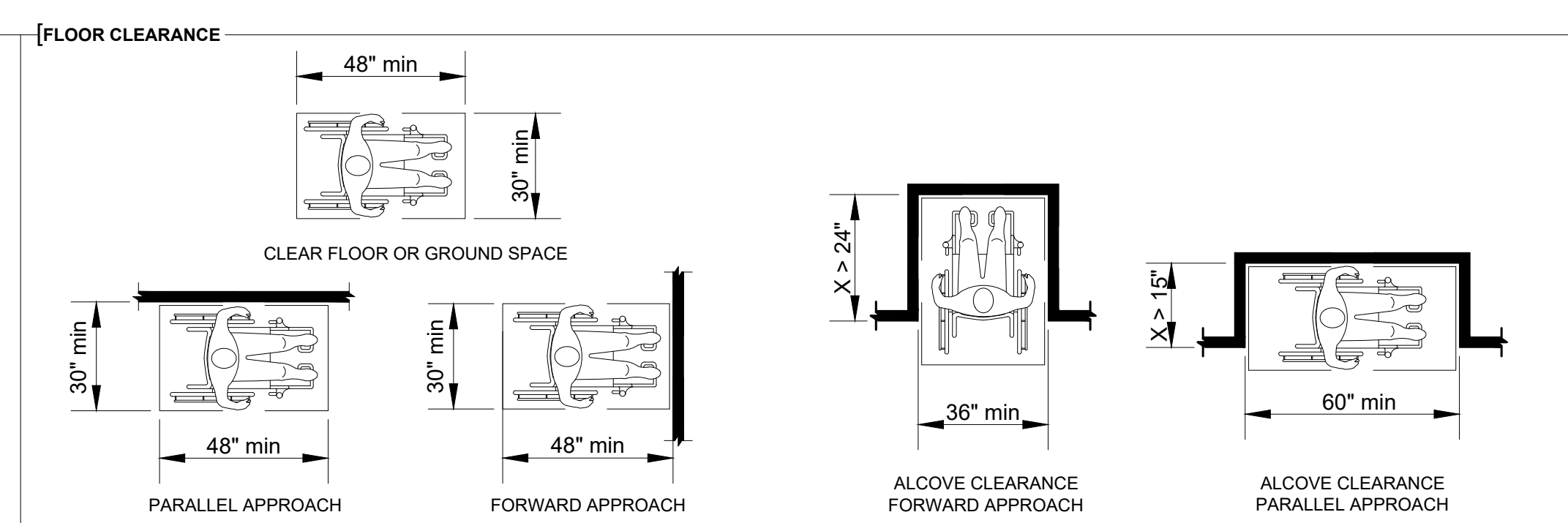
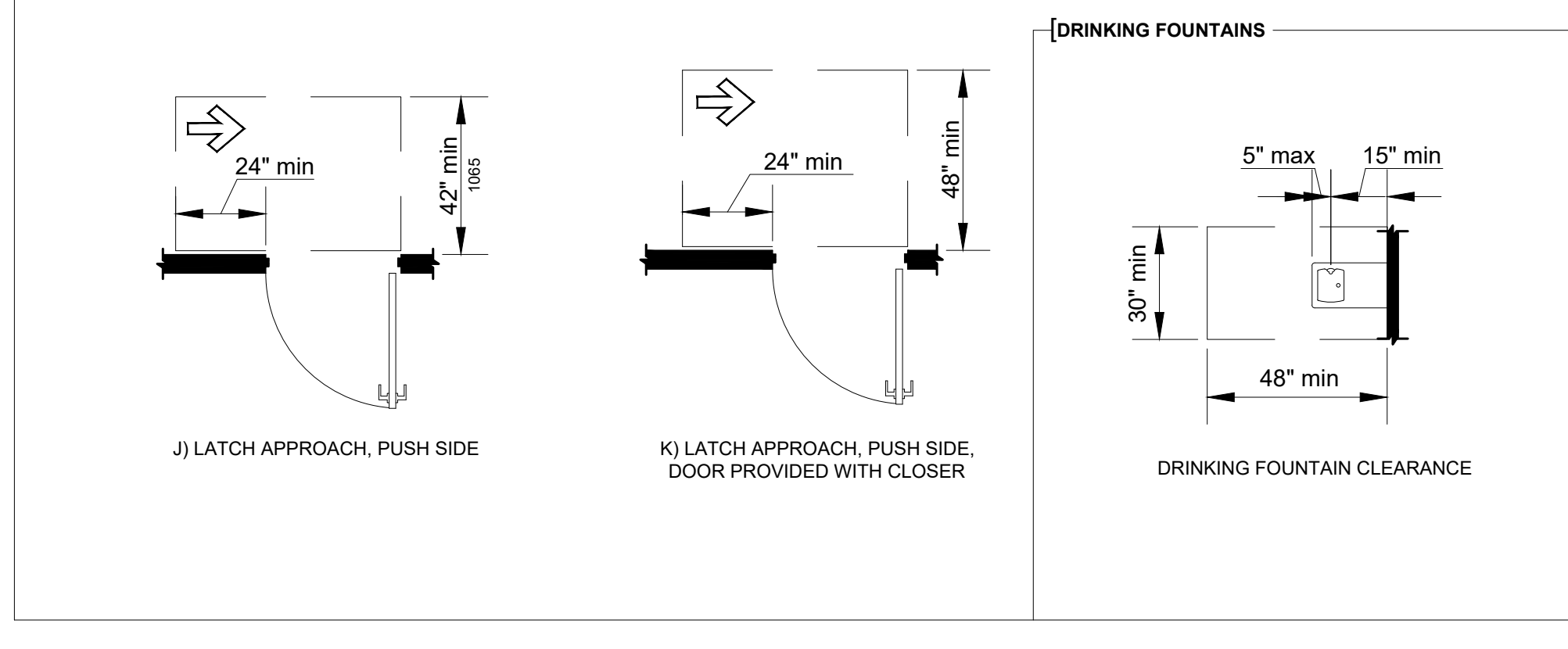
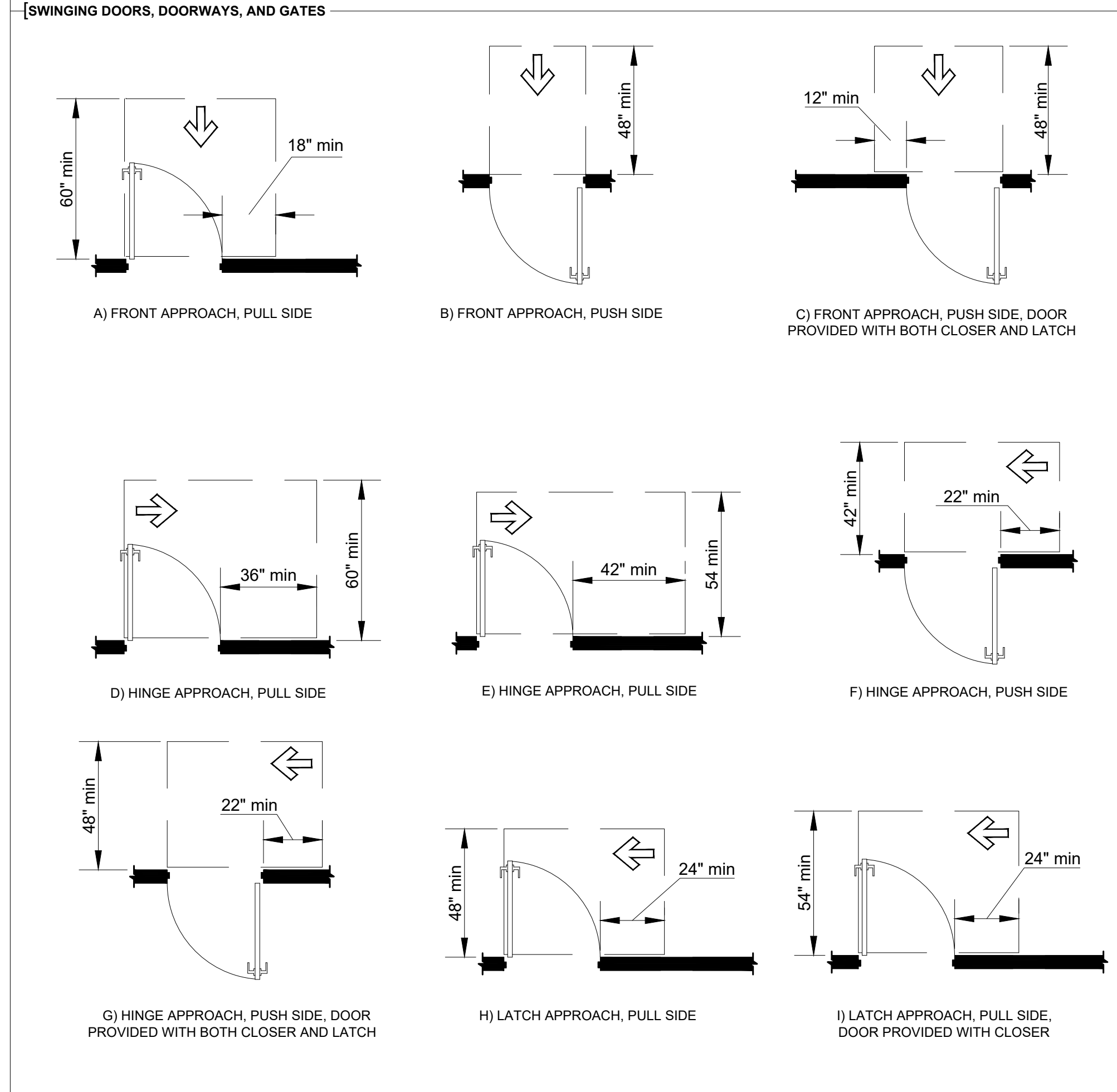
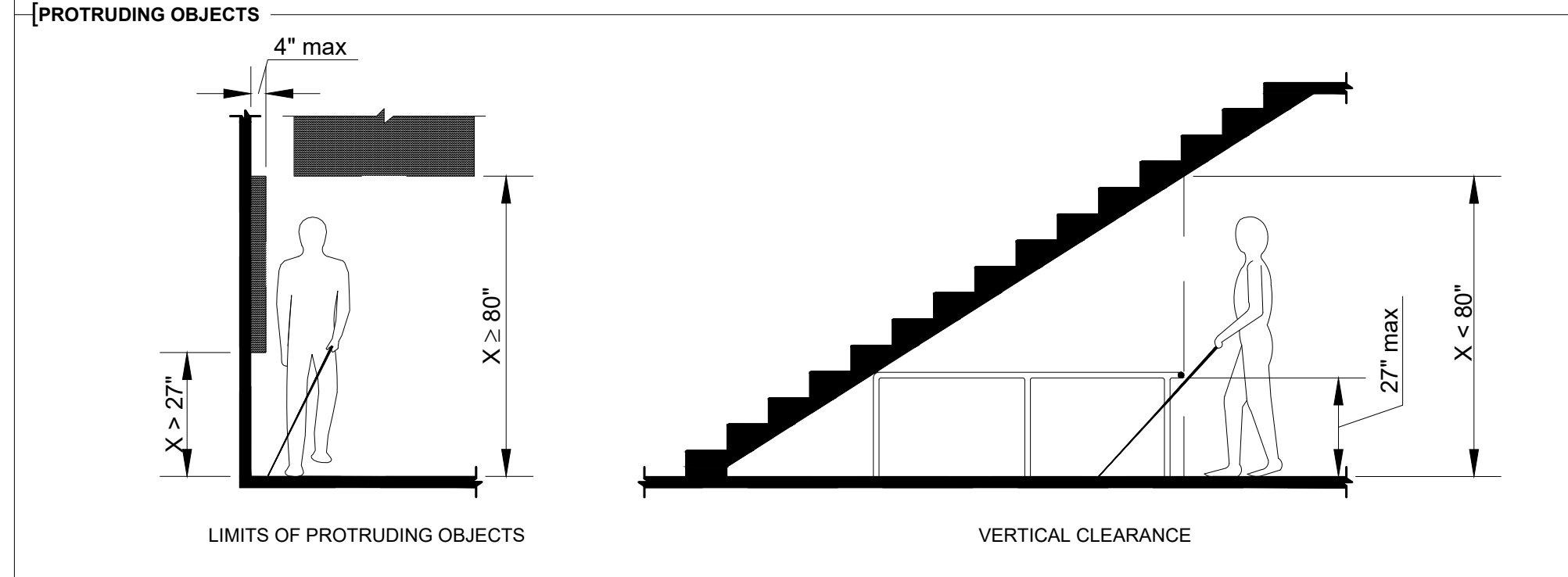
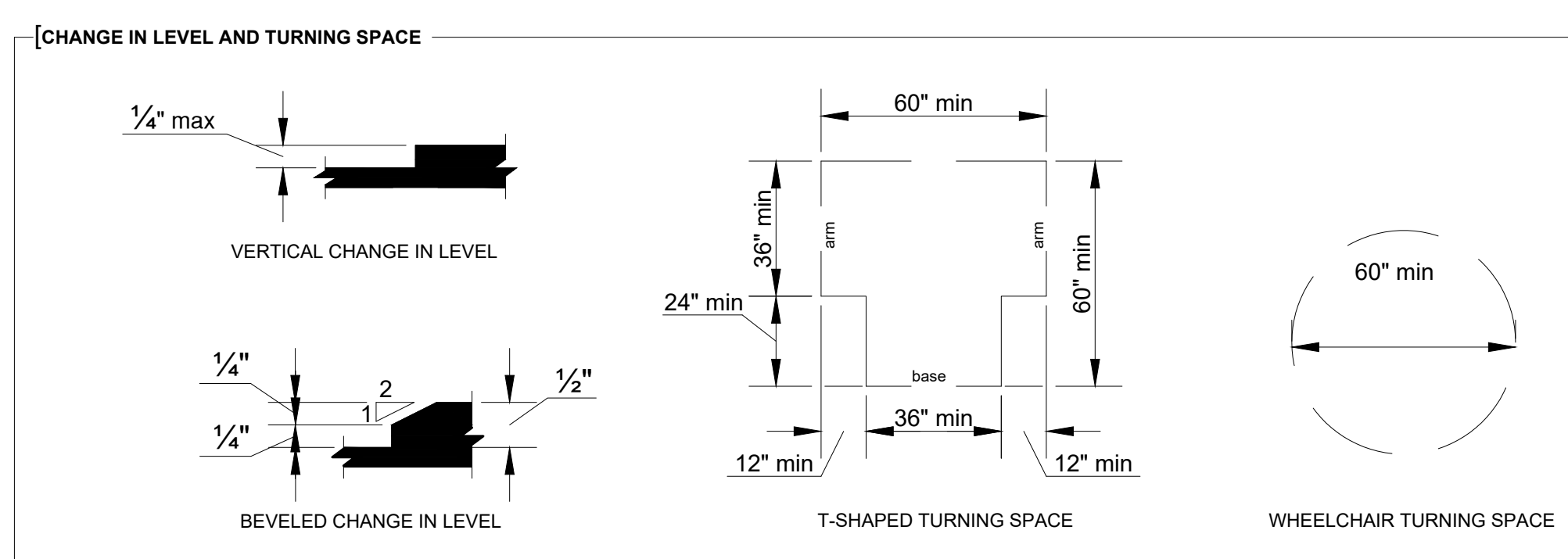
PROJECT INFORMATION
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 GENERAL NOTES
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 WALL SECTIONS

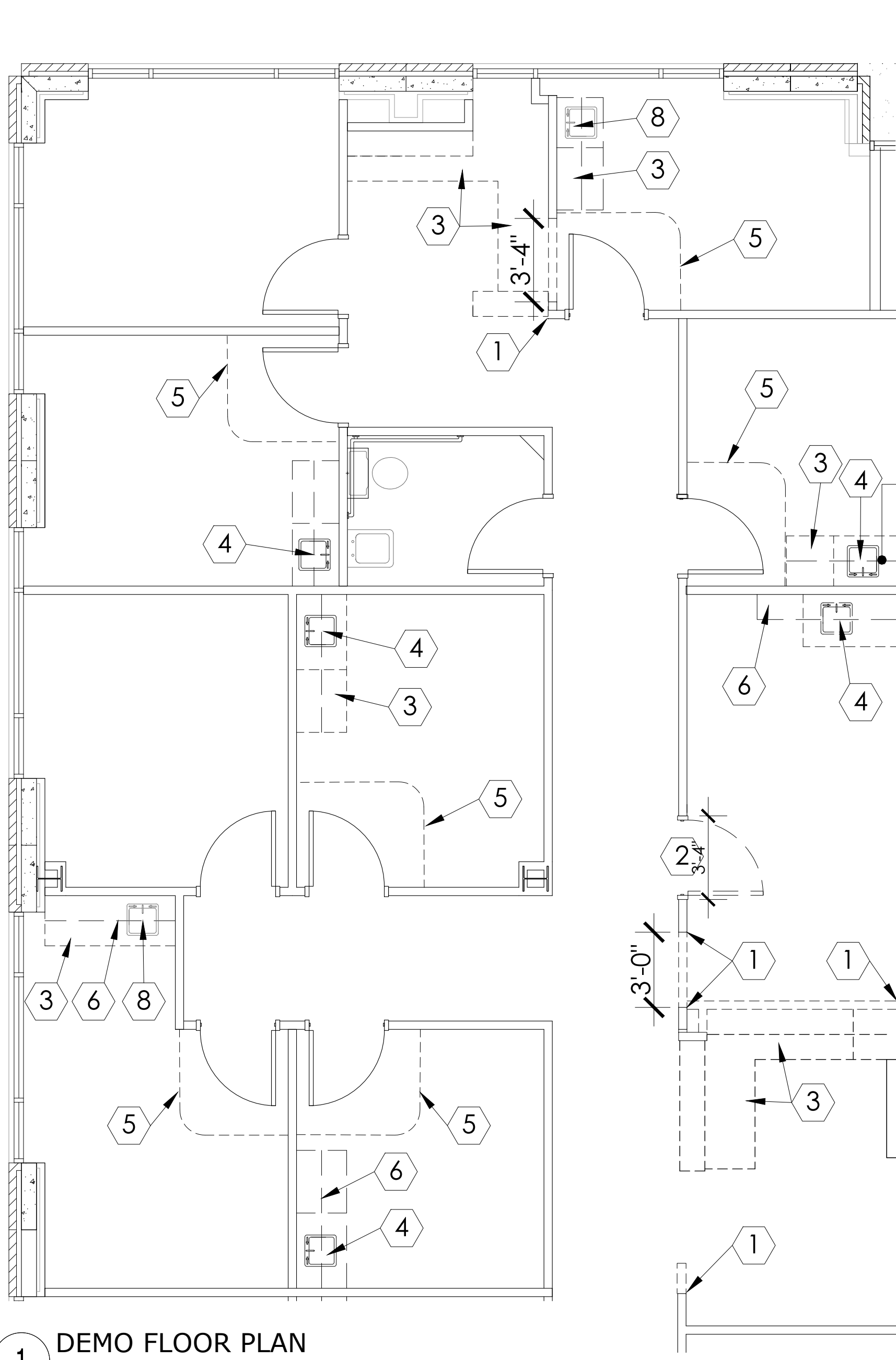
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 SHEET 2 OF 6

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[PROJECT INFORMATION] DRAWN BY: KM
REVIEW: 10/18/2024
PRICING: CONSTRUCTION:
DRAWING TITLE: ADA STANDARDS





1 DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

DEMO PLAN KEYED NOTES

- ① DEMO WALL BACK AS INDICATED, PATCH AT POINT OF REMOVAL
- ② REMOVE EXISTING DOOR AND FRAME, STOCKPILE FOR REUSE WITH NEW CONSTRUCTION, IF APPLICABLE. CLEAN, SERVICE AND REPAIR FOR LIKE NEW APPEARANCE. INFILL EXISTING OPENING AT REMOVED DOOR, PREPARE TO RECEIVE NEW FINISHES. MATCH CONSTRUCTION STYLE, WIDTH AND HEIGHT WITH EXISTING.
- ③ EXISTING MILLWORK TO BE REMOVED.
- ④ REMOVE EXISTING PLUMBING FIXTURE, SALVAGE AND STOCKPILE FOR REUSE. CAP WATER LINES BACK AT SOURCE OR POINT OF REUSE.
- ⑤ REMOVE EXISTING CEILING HUNG PRIVACY TRACK AND CURTAINS, PATCH OR REPLACE CEILING TILES AS REQUIRED AT POINT OF TRACK REMOVAL.
- ⑥ REMOVE EXISTING WALL CABINETS, PATCH AND REPAIR WALL TO RECEIVE NEW FINISHES AS SPECIFIED.
- ⑦ EXISTING MILLWORK TO REMAIN. PROTECT DURING CONSTRUCTION, CLEAN, REPAIR, & SERVICE AS REQUIRED FOR 'LIKE NEW' APPEARANCE.
- ⑧ SALVAGE PLUMBING FIXTURE FOR REUSE IN NEW CONSTRUCTION. REINSTALL WITH NEW SPECIFIC MILLWORK.

FINISH SCHEDULE GENERAL NOTES

- 1. ALL FINISHES COMPLY WITH IBC 2021 SECTION 803.

ROOM FINISH LEGEND

FLOORING

LVT-1	LUXURY VINYL TILE, BY SHAW, 0454V TERRAIN II, COLOR: TBD
BASE	
RB-1	RUBBER COVE BASE, BY TBD, COLOR: TBD

WALLS
WALLS ARE TO RECEIVE 1 COAT OF PRIMER AND 2 COATS OF INTERIOR LATEX ENAMEL, EGG SHELL FINISH. TEXTURE TO BE ROLL ON ORANGE PEEL OR TO MATCH EXISTING ADJACENT WALLS, COORDINATE WITH TENANT. PROVIDE SAMPLES OF ALL PAINT COLORS ON SITE FOR DESIGNERS APPROVAL A MINIMUM OF 1 WEEK PRIOR TO SCHEDULED PAINTING. DESIGNER RESERVES THE RIGHT TO MODIFY PAINT COLORS AT THAT TIME. DO NOT TINT FINAL PAINT UNTIL DESIGNER HAS PROVIDED FINAL APPROVAL. PRICE TO PROVIDE ONE ACCENT COLOR AT EACH ROOM.

PT-1	PAINT BY BEHR, IMPERIAL GREY, PPU26-02 (OVERALL)
PT-2	PAINT BY TBD, COLOR TBD (ACCENT)
PT-3	PANTONE 485C, INTERIOR DOOR COLOR
PT-4	PAINT BY TBD, COLOR TBD (G.W.B. CEILINGS)
PT-5	PAINT BY TBD, COLOR TBD (HOLLOW METAL WINDOW & DOOR FRAMES)
PR	PROFESSIONAL VINYL WALL COVERING PRIMER

MILLWORK

PL-1	PLASTIC LAMINATE, BY TBD (RECEPTION WORKSURFACE)
PL-2	PLASTIC LAMINATE, BY TBD (GENERAL COUNTER / WORKSURFACE)
PL-3	PLASTIC LAMINATE, TBD (GENERAL UPPER/WALL BASE)

RS-1	ROLLER SHADE BY SEIRRA WINDOW FASHION, 5% OPENESS, INSIDE MOUNT, VALANCE TO MATCH WINDOW FRAME COLOR, SHADE COLOR TO BE SELECTED. PRICE AS ALTERNATE #1.
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DOOR SCHEDULE

DOOR #	TYPE	WIDTH	HEIGHT	THICKNESS	DOOR FINISH	DOOR HARDWARE	FRAME TYPE	FRAME FINISH
101	C	3'-0"	7'-10"	1-3/4"	S.C. WOOD	C.I.	RACO	CLR. ANODIZED
102	A	3'-0"	7'-10"	1-3/4"	S.C. WOOD	C.P	RACO	CLR. ANODIZED
104B	A	3'-0"	7'-10"	1-3/4"	S.C. WOOD	P	RACO	CLR. ANODIZED
107	B	3'-0"	7'-10"	1-3/4"	N/A	N/A	RACO	CLR. ANODIZED

HARDWARE LEGEND

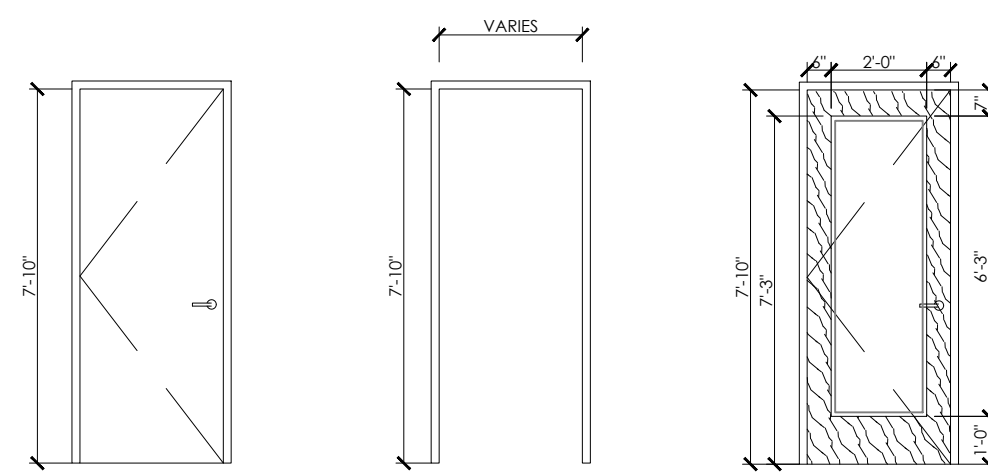
*ANY NEW HARDWARE TO MATCH EXISTING LEVER TYPE HARDWARE, FINISH TO MATCH EXISTING. VERIFY ALL EXISTING CLOSERS ARE IN GOOD WORKING CONDITION AND ENSURE MAX. OPENING FORCE - 5LB/F
*EXISTING WALL STOPS TO REMAIN, VERIFY IN GOOD WORKING CONDITION. CLEAN, REPAIR OR REPLACE FOR LIKE NEW APPEARANCE. ADD NEW WHERE REQUIRED.

Ⓒ CLOSER (MAX. OPENING FORCE - 5 LB/F)

Ⓕ LOCKSET

*** ON EGRESS DOORS THAT LOCK: READILY VISIBLE DURABLE SIGN IS TO BE POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING: " THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED. THE SIGN SHALL BE IN LETTERS 1" HIGH ON A CONTRASTING BACKGROUND.

DOOR LEGEND



TYPE A
NEW 3'-0" X 7'-10" X 1 3/4" SOLID CORE WOOD DOOR, TO BE SANDED AND PAINTED GAME DAY RED, WITH RACO CLEAR ANODIZED ALUMINUM FRAME TO MATCH EXISTING.

TYPE B
NEW OR RELOCATED 3'-0" X 7'-10" CASED OPENING, RACO CLEAR ANODIZED ALUMINUM FRAME TO MATCH EXISTING.

TYPE C
EXISTING SOLID CORE WOOD DOOR CUT IN A FULL HEIGHT 1/2" THICK TEMPERED GLASS INSERT WITH APPLIED ON FILM FOR SAND BLASTED APPEARANCE INTERIOR SIDE TO BE SANDED AND PAINTED GAME DAY RED, EXTERIOR SIDE TO MATCH BUILDING STANDARDS. RACO CLEAR ANODIZED ALUMINUM FRAME TO MATCH EXISTING.

TYPE E
EXISTING TO REMAIN, SERVICE FOR LIKE NEW APPEARANCE.

PARTITION TYPES

- EXISTING PARTITION TO REMAIN
- - - EXISTING PARTITION TO BE REMOVED
- NEW TYPICAL WALL PARTITION, 2/A0.1
- NEW DEMISING WALL PARTITION, 1/A0.1
- CONVERT TO DEMISING WALL PARTITION

LEGEND

— PATH OF TRAVEL

TRAVEL DISTANCE

A=71'-10"

OCCUPANT LOAD SCHEDULE

ROOM #	ROOM NAME	AREA	LOAD FACTOR	OCCUPANT LOAD	NO. OF EXITS REQ. PER ROOM
101	RECEPTION	152	150	2	1
102	WAITING	145	15	10	1
104A	EXAM 1	89	150	1	1
105	LAB	109	150	1	1
108	OFFICE 1	121	150	1	1
109	BREAK	121	150	1	1
112	EXAM 2	114	150	1	1
113	OFFICE 2	119	150	1	1
114	BLOOD DRAW	136	150	1	1
115	EXAM 3	101	150	1	1
TOTAL:				20	

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR	BASE	WALLS				NOTES
				N	E	S	W	
101	RECEPTION	LVT-1	RB-1	PT-1	PT-3	PT-1/PR	PT-1/PR	
102	WAITING				PT-1			
103	HALL							
104A	EXAM 1							
104B	I.T.							
105	LAB							
106	HALL							
107	STORAGE							
108	OFFICE							
109	BREAK							
110	RR							
111	HALL							
112	EXAM 2							
113	OFFICE							
114	BLOOD DRAW							
115	EXAM 3							

** ACCENT PAINT LOCATIONS & FLOORING PATTERNS TO BE DETERMINED.
*** ALLOW FOR ONE ACCENT WALL PER ROOM.

FLOOR PATTERN LEGEND

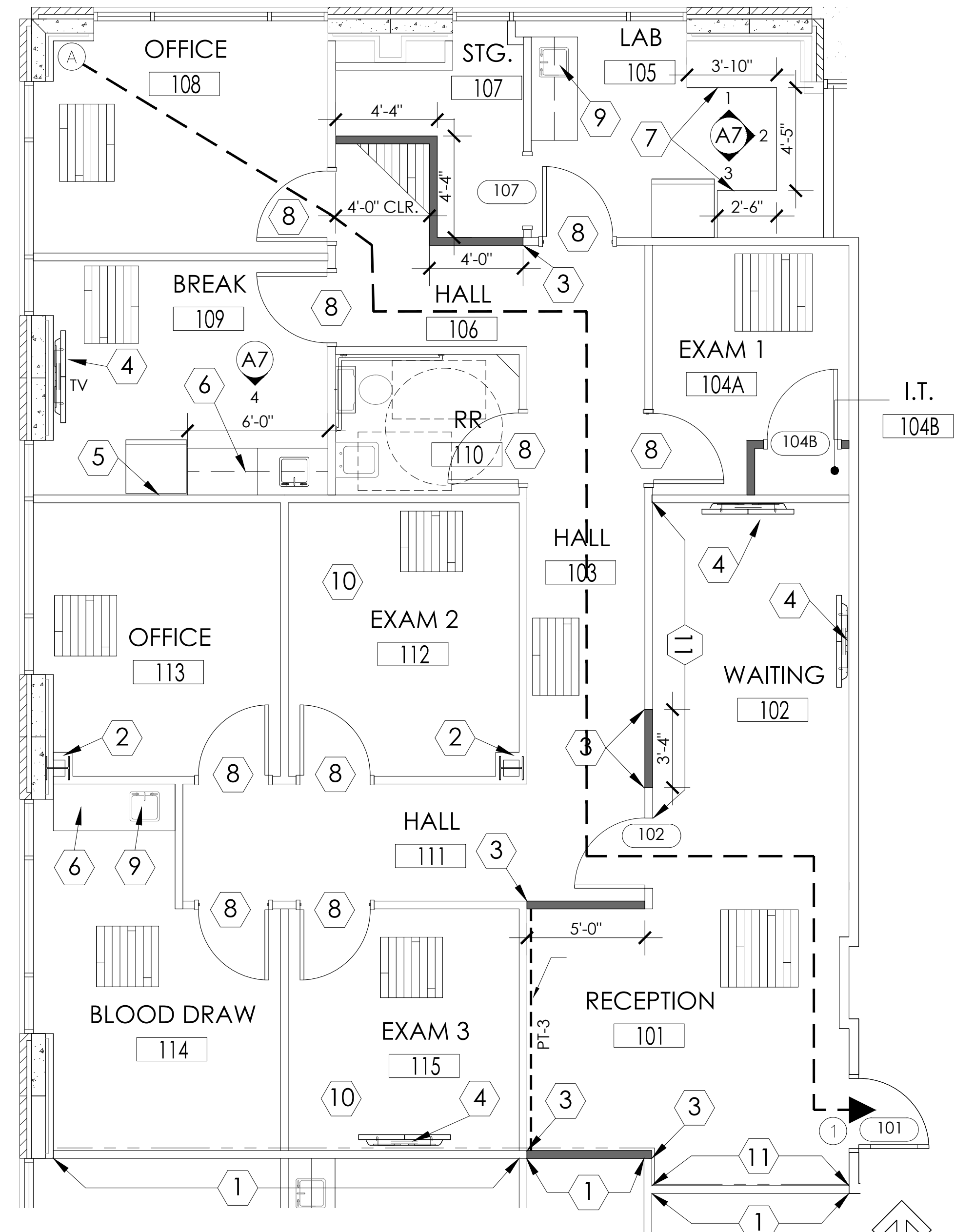
▨ LVT: LUXURY VINYL TILE

NEW FLOOR PLAN GENERAL NOTES

- 1. REPAIR OR REPLACE ANY DAMAGED WALL STOPS THROUGHOUT.
- 2. PROTECT ALL EXISTING WINDOWS FROM DAMAGE, DEBRIS & DUST OR OTHERWISE. CLEAN AND SERVICE ALL WINDOWS AFTER CONSTRUCTION IS COMPLETE TYP.
- 3. EXISTING WINDOW SILLS TO REMAIN, CLEAN FOR LIKE NEW APPEARANCE. REPAIR AND PATCH AS REQUIRED, PROVIDE FOR NEW PAINT AS SCHEDULED.
- 4. PROVIDE AND INSTALL NEW ADA COMPLIANT RESTROOM SIGNAGE AS NEEDED.
- 5. PROVIDE FOR DIFFERENCES IN WALL THICKNESS THAT ARE UNFORESEEN DUE TO ENCLOSED STRUCTURE.
- 6. EXISTING WINDOW BLINDS TO REMAIN THROUGHOUT. PROTECT DURING CONSTRUCTION FROM DUST, DEBRIS OR OTHERWISE. PROVIDE TO REPLACE AND/OR REPAIR ANY DAMAGED UNITS, MISSING SLATS, WANDS OR BROKEN STRINGS. INSPECT EACH UNIT INDIVIDUALLY. WHERE NEW WALLS REQUIRE SPLIT OF EXISTING BLINDS, PROVIDE NEW UNITS ACCORDINGLY.
- 7. PROVIDE FOR CONTROL JOINTS AT ALL GWB LOCATIONS IN EXCESS LENGTH OF 30'. COORDINATE JOINT INSTALLATION LOCATIONS WITH DESIGNER. FOLLOW ALL ASTM STANDARDS AND GUIDELINES FOR GYPSUM WALL BOARD APPLICATIONS AND INSTALLATIONS.
- 8. BUILDING MANAGEMENT / OWNER TO PROVIDE PERMANENT SUITE NUMBER SIGNAGE PRIOR TO BUILDING FINAL INSPECTION.

NEW FLOOR PLAN KEYED NOTES

- ① NEW DEMISING WALL TO EXTEND TO DECK, EXTEND EXISTING WALL TO MATCH NEW DEMISING WALL.
- ② EXISTING G.W.B. CLADDING AT COLUMN TO REMAIN, PREPARE SURFACE FOR NEW FINISHES AS SCHEDULED.
- ③ ALIGN NEW WALL WITH EXISTING WALL, MATCH CONSTRUCTION STYLE, WIDTH AND HEIGHT WITH EXISTING.
- ④ PROVIDE NON COMBUSTIBLE IN-WALL WD BLK'G AS REQ. FOR TENANT PROVIDED TV AND BRACKET. INSTALLATION BY G.C. COORDINATE WITH TENANT.
- ⑤ PROVIDE AND INSTALL 1/4" COPPER WATER LINE & SHUT OFF VALVE FOR CONNECTION TO TENANT PROVIDED AND INSTALLED REFRIGERATOR.
- ⑥ NEW 24" D PLASTIC LAMINATE COUNTER TOP AND BASE CABINETS WITH 13" D WALL CABINETS, FULL FLUSH OVERLAY CONSTRUCTION, MELAMINE LINED INTERIORS AND 3.5" WIRE PULLS, PROVIDE FOR REMOVABLE ADA PANEL AT SINK AND 4" BACKSPASH.
- ⑦ NEW 24" D PLASTIC LAMINATE COUNTER TOP.
- ⑧ EXISTING DOOR TO BE SANDED AND PAINTED GAME DAY RED.
- ⑨ EXISTING PLUMBING FIXTURE TO BE REINSTALLED WITHIN NEW MILLWORK, PROTECT DURING CONSTRUCTION, VERIFY IN GOOD WORKING CONDITION, CLEAN AND SERVICE FOR LIKE NEW APPEARANCE. FIXTURE TO BE CONNECTED TO RELOCATED HOT WATER HEATER.
- ⑩ IN LIEU OF EXISTING MILLWORK, NEW MILLWORK TO MACH GAME DAY STANDARD COLORS, REMOVE EXISTING PLUMBING, RE: ELEVATION. **PRICE AS ALTERNATE #2.**
- ⑪ WALL TO BE SANDED AND PRIMED TO RECEIVE WALLCOVERING, MUST CURE FOR ONE WEEK PRIOR TO MURAL INSTALLATION. MURAL TO BE PROVIDED AND INSTALLED BY TENANT. CONTACT TENANT AS SOON AS WALL IS PRIMED SO VWC INSTALLATION CAN BE COORDINATED.



2 FLOOR PLAN

SCALE: 1/4" = 1'-0"

[APPROVAL _____]

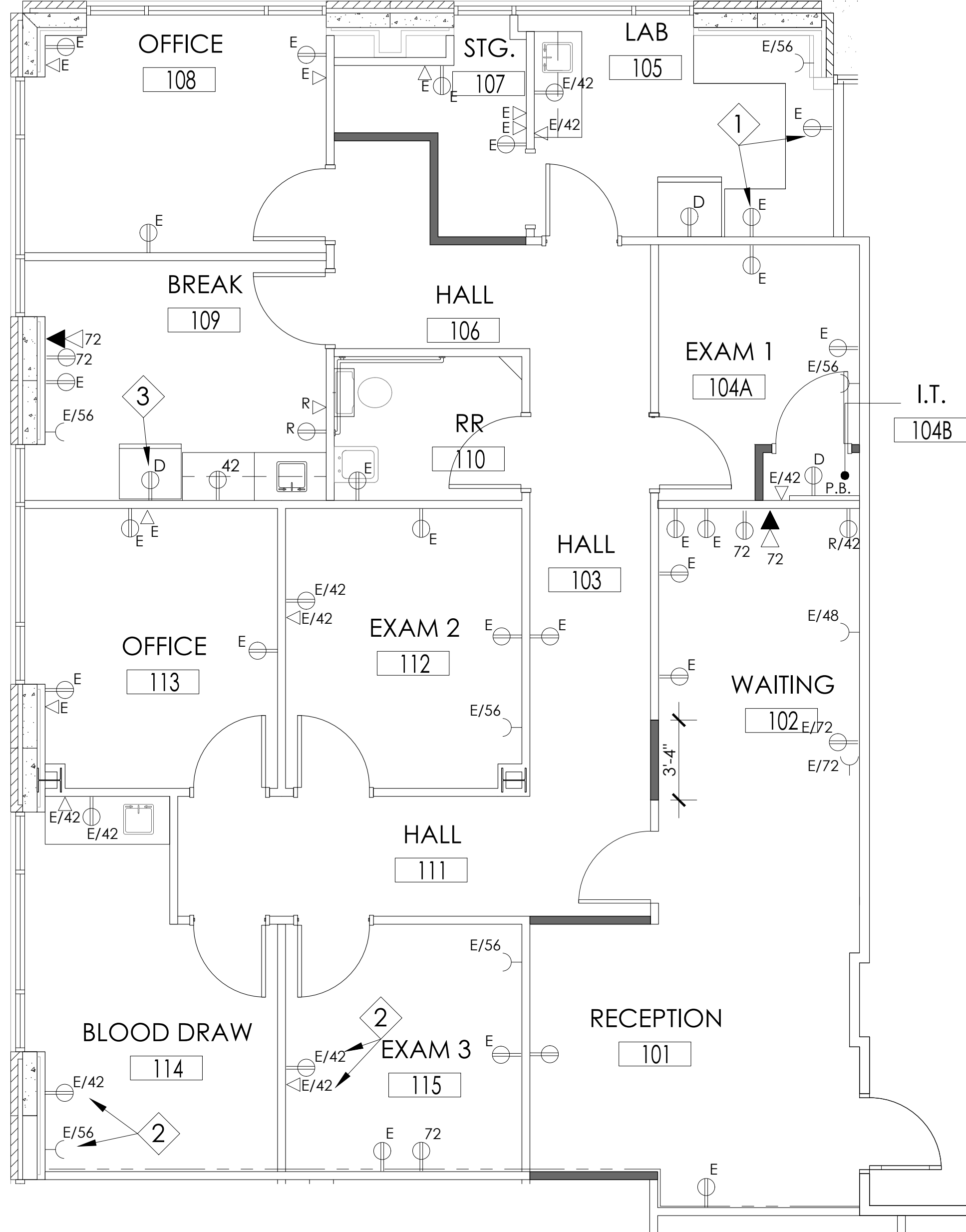
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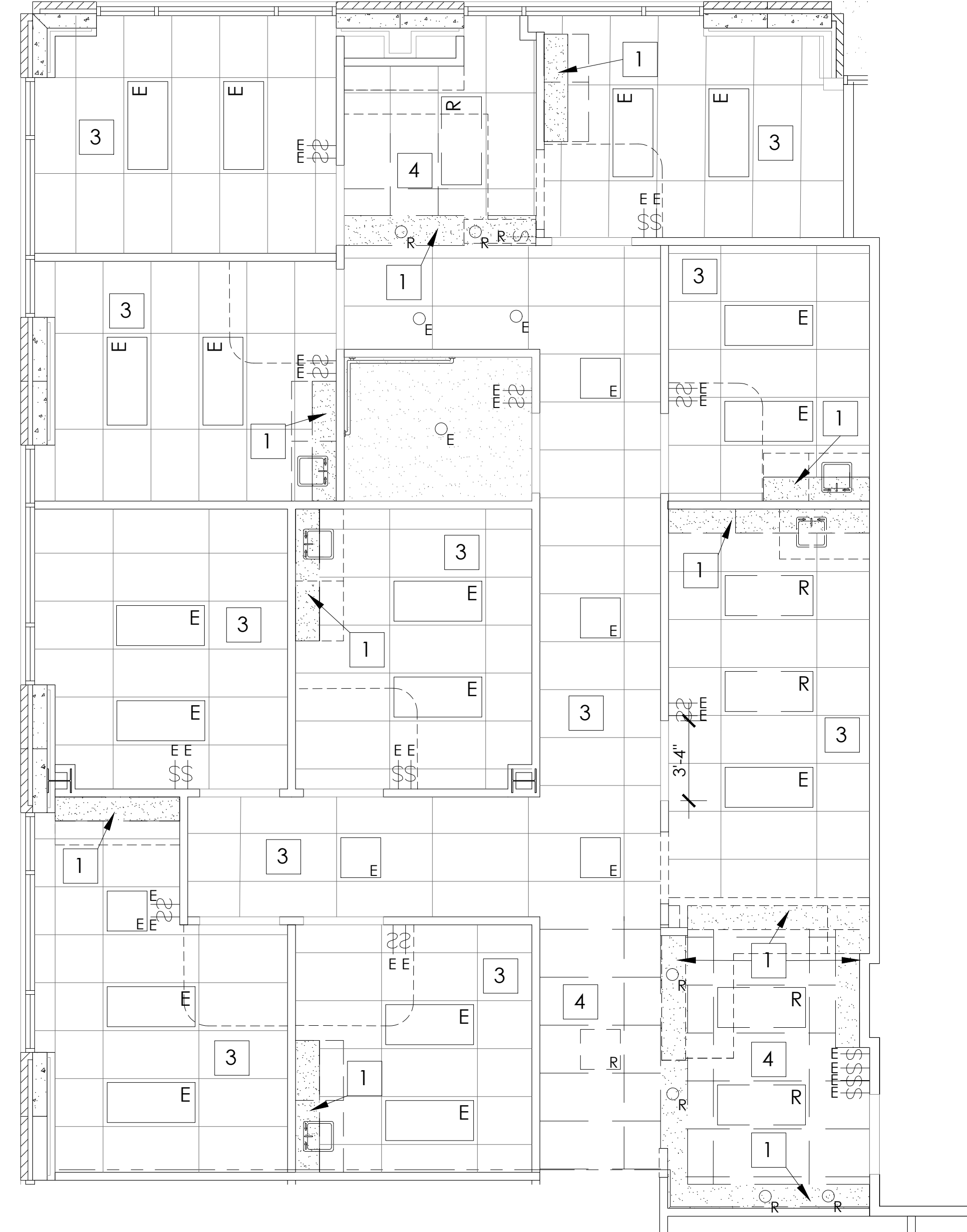
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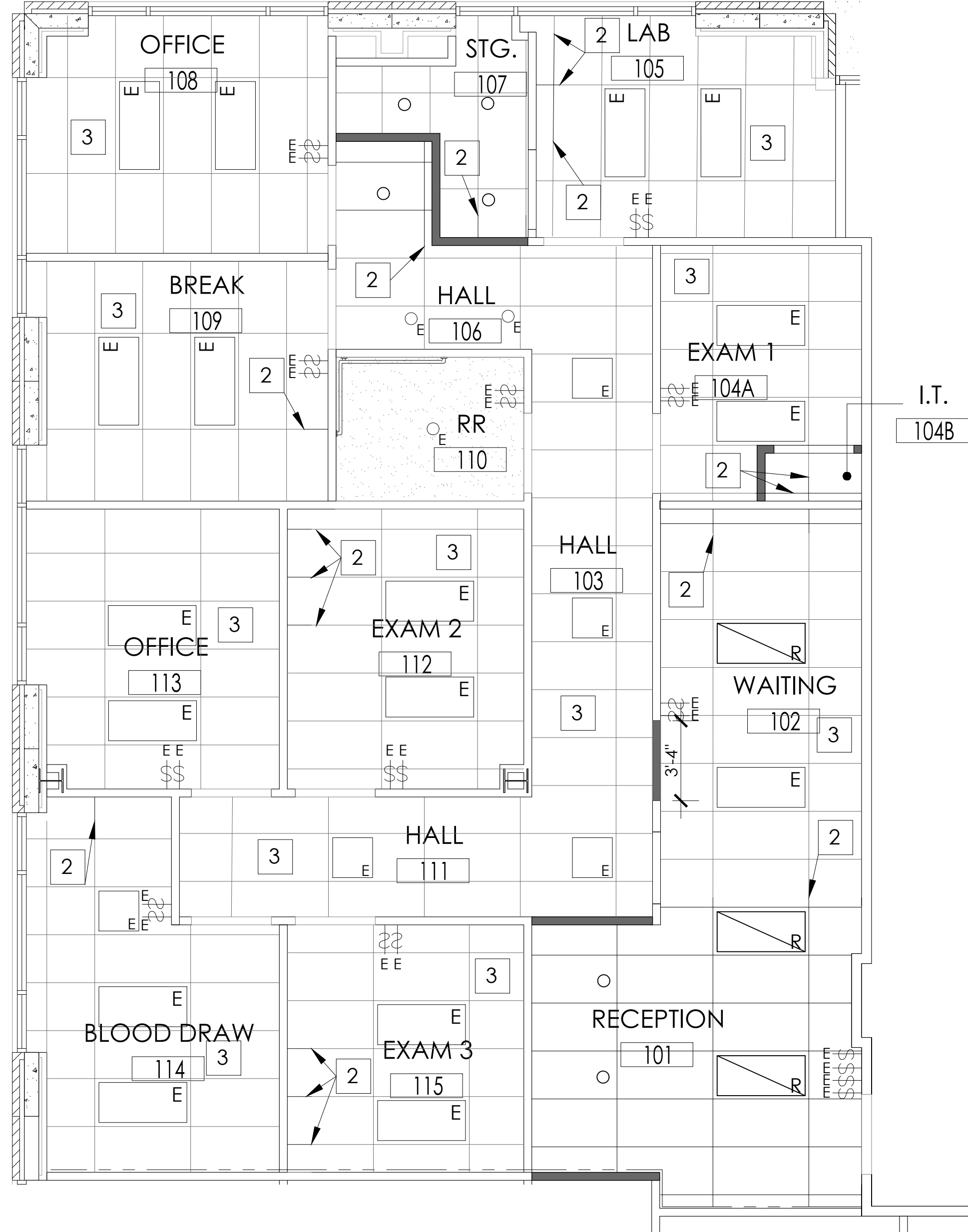
GAME DAY MEN'S HEALTH
BAPTIST WESTOVER HILLS
SAN ANTONIO, TEXAS



1 POWER PLAN
SCALE: 1/4" = 1'-0"



2 DEMO REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



3 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

POWER GENERAL NOTES

- AT ALL EXISTING OUTLETS AND SWITCHES CLEAN, REPAIR, & SERVICE AS REQUIRED FOR 'LIKE NEW' APPEARANCE.
- ANY NEW COVER PLATES TO BE WHITE TO MATCH EXISTING.
- INSTALL GFCI OUTLETS AT ANY PLUG LOCATIONS NEAR WATER SOURCES.
- MEP TO VERIFY EXACT LOCATIONS OF ALL POWER/DATA OUTLETS. REFER TO MEP FOR SPECIFICATION U.O.N. ON INTERIOR'S DRAWINGS.
- WHERE ELECTRICAL OUTLETS AND PHONE DATA OUTLETS ARE INDICATED TO BE ADJACENT TO EACH OTHER, THE MAXIMUM ALLOWABLE DIMENSION BETWEEN COVERPLATES SHALL BE 3". UTILIZE BRIDGES BETWEEN STUDS AS REQUIRED TO ACHIEVE REQUIRED SEPARATION DISTANCE AND LOCATIONS INDICATED ON PLAN.
- PROVIDE GROMMET HOLES AS NECESSARY COLOR TO BE SELECTED, COORDINATE EXACT LOCATION WITH TENANT.
- OWNER PROVIDED AND INSTALL TV MONITORS NOT TO EXCEED 4" IN DEPTH (INCLUDING MOUNTING EQUIPMENT)
- PROVIDE NEW FIRE STROBE AT ALL EXAM ROOMS AS REQUIRED.
- EXISTING OUTLETS LOCATED AT 18" AFF UNLESS OTHERWISE NOTED.
- MOUNT OUTLETS ABOVE COUNTER TOPS HORIZONTALLY.

POWER LEGEND NOTES

- RAISE EXISTING OUTLET TO 44" AFF. PATCH & REPAIR WALL AT POINT OF OUTLET REMOVAL. TAPE, FLOAT, TEXTURE, & PAINT AS SPECIFIED.
- LOWER EXISTING OUTLET TO 18" AFF. PATCH & REPAIR WALL AT POINT OF OUTLET REMOVAL. TAPE, FLOAT, TEXTURE, & PAINT AS SPECIFIED.
- EXISTING OUTLET TO BE CONVERTED TO DEDICATED.

POWER LEGEND

- EXISTING DUPLEX TO REMAIN
- EXISTING PHONE/DATA OUTLET TO REMAIN
- EXISTING DUPLEX TO REMAIN. # INDICATES MOUNTED HEIGHT OF OUTLET.
- EXISTING DUPLEX TO BE REMOVED.
- EXISTING CABLE TO REMAIN.
- NEW DUPLEX OUTLET MOUNTED AT 18" AFF. (U.O.N.)
- NEW DEDICATED DUPLEX OUTLET MOUNTED AT 18" AFF. (U.O.N.)
- NEW PHONE / DATA OUTLET MOUNTED AT 18" AFF (U.O.N.) PROVIDE 3/4" DIA. CONDUIT, STUB OUT ABOVE CEILING WITH PULL STRING.

RCP NOTES

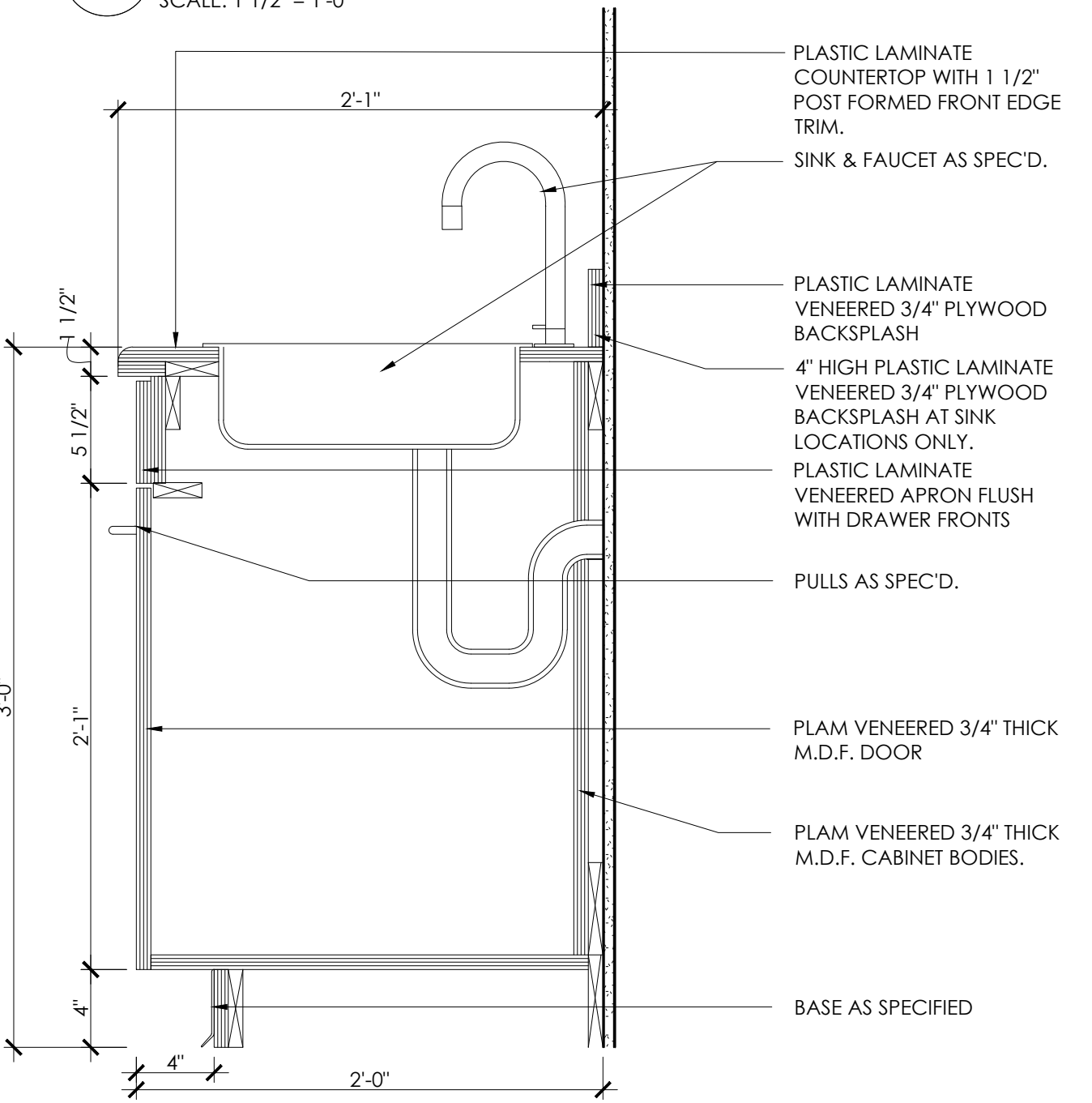
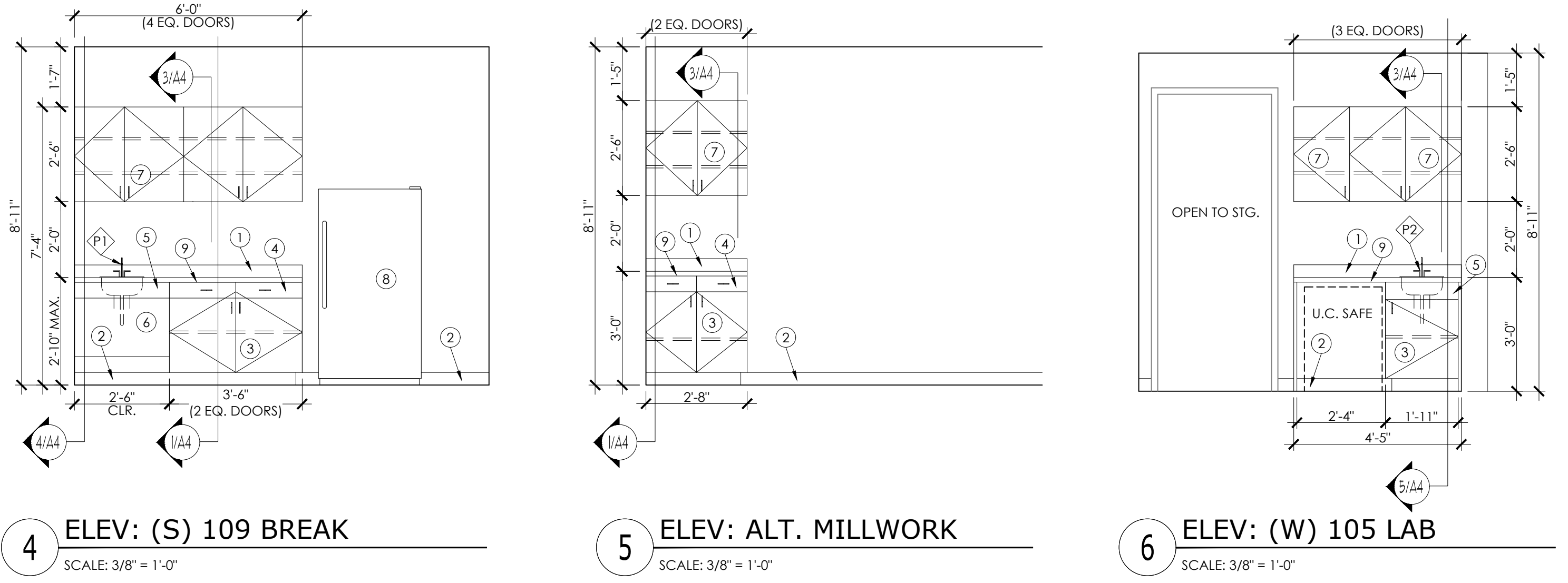
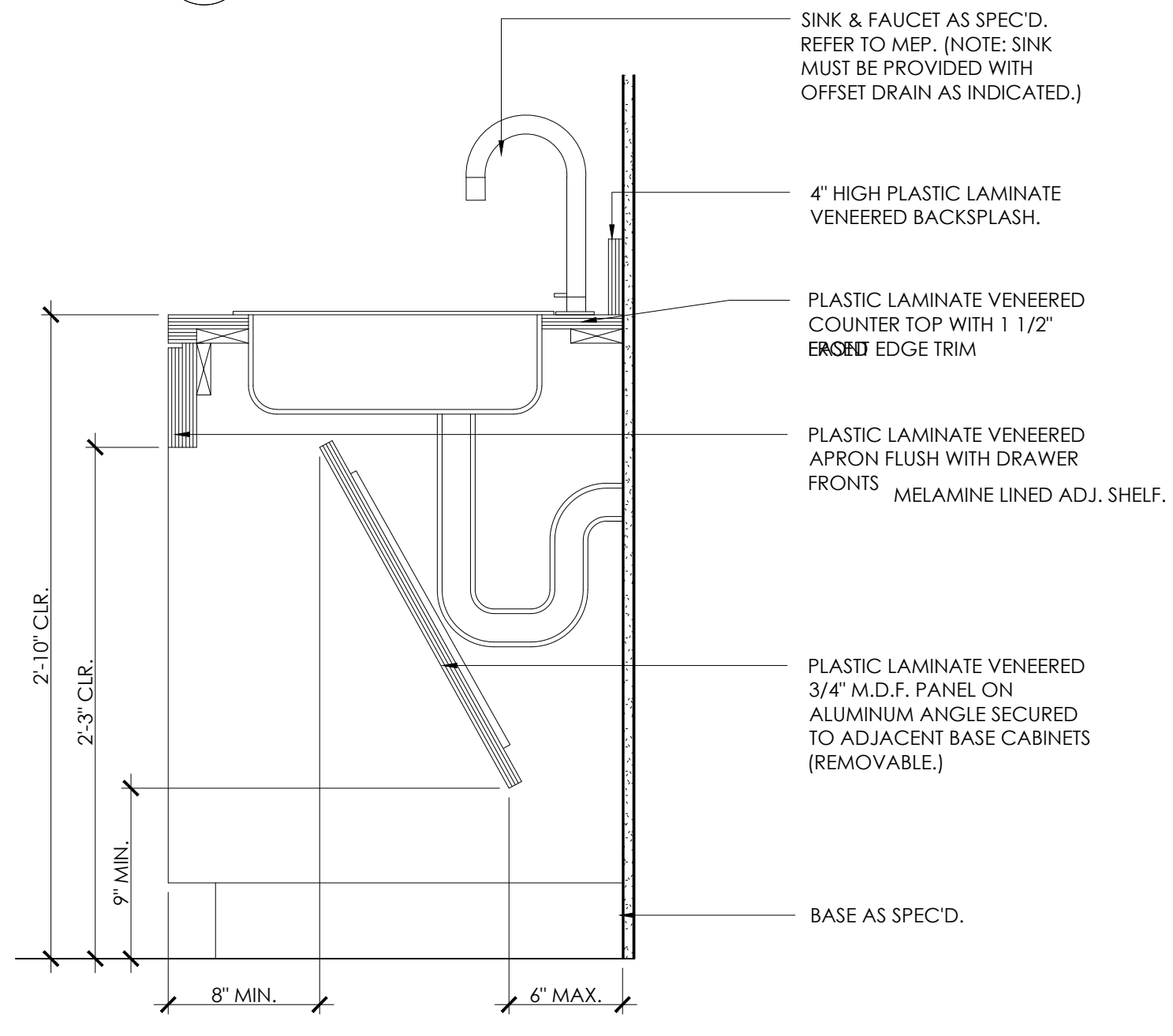
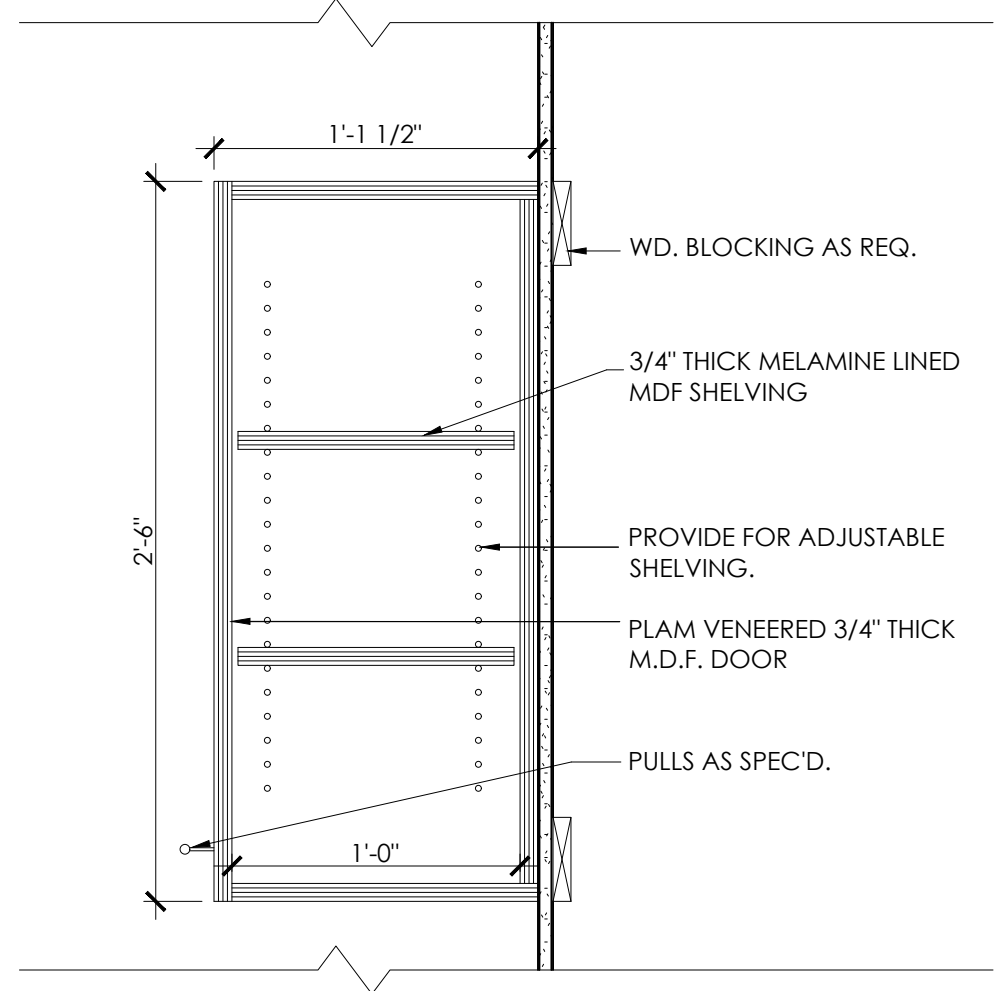
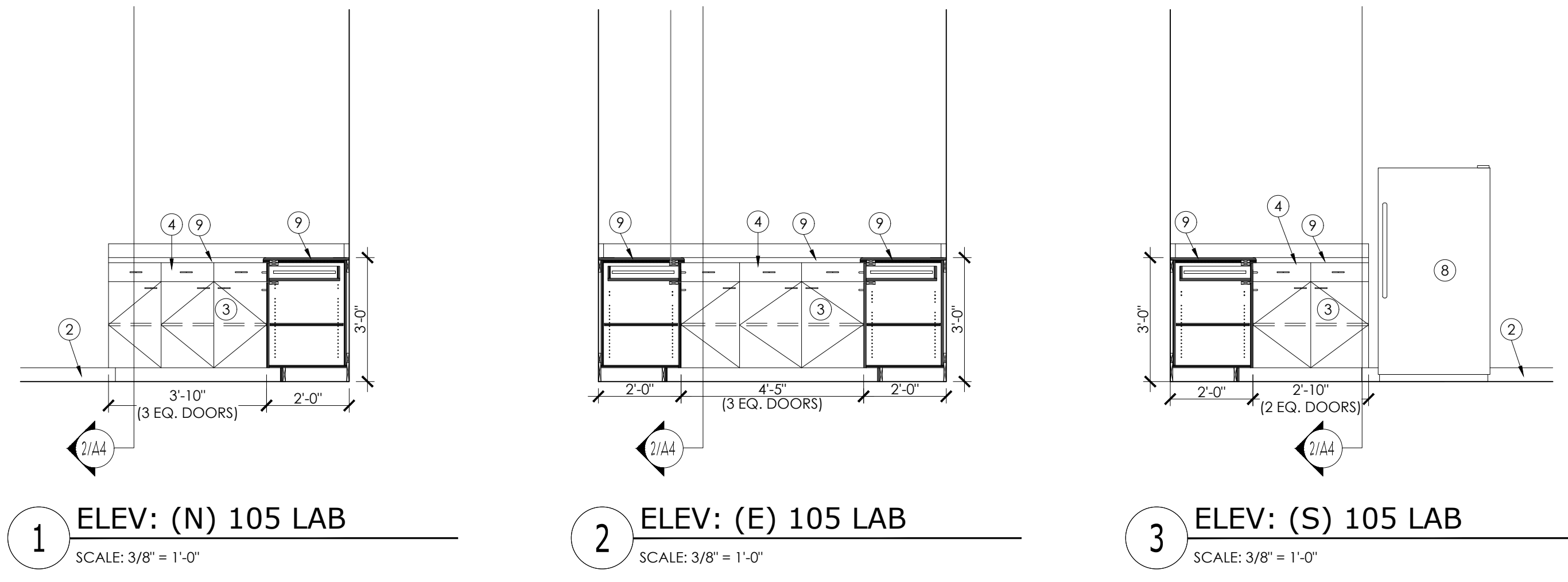
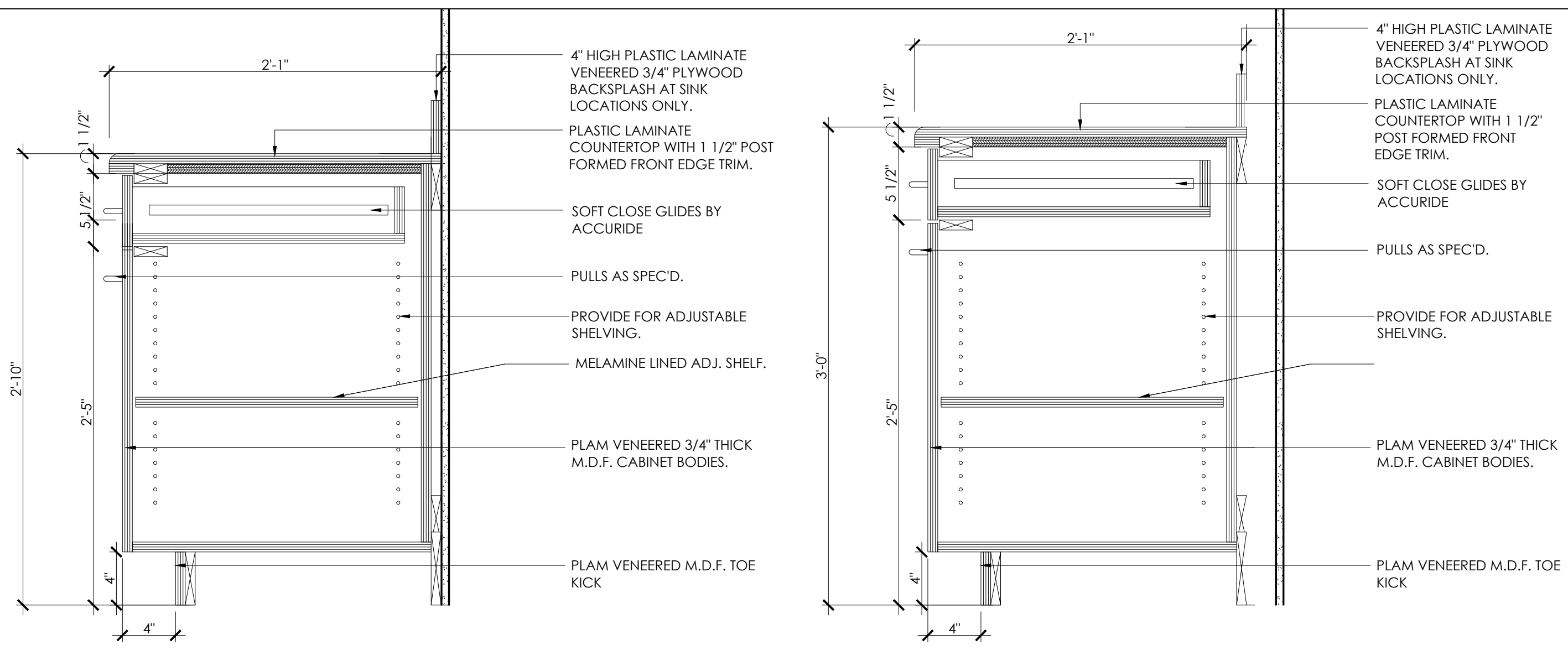
- EXISTING GWB FURR DOWN TO BE REMOVED.
- NEW 2X4 CEILING TILE AND GRID TO CONTINUE FROM EXISTING GRID @ 8'-11" AFF
- EXISTING CEILING TILE AND GRID TO REMAIN, REPAIR OR REPLACE ANY DAMAGED OR STAINED CEILING TILES @ 8'-11"
- EXISTING CEILING TILE AND GRID TO BE REMOVED & RELOCATED GRID FOR REUSE WITH NEW CONSTRUCTION.

RCP LEGEND

- NEW 2X4 CEILING TILES AND GRID AS SPECIFIED.
- EXISTING 2X4 CEILING TILES AND GRID AS SPECIFIED.
- EXISTING G.W.B. CEILING TO BE PAINTED PT-x.
- EXISTING G.W.B. CEILING TO BE REMOVED.
- EXISTING 2X4 CEILING TILE/GRID TO BE REMOVED & RELOCATED
- EXISTING 2X4 LIGHT FIXTURE TO REMAIN. CLEAN & SERVICE FOR 'LIKE-NEW' APPEARANCE. REPLACE ANY BURNED OUT BULBS.
- EXISTING 2X2 LIGHT FIXTURE TO REMAIN. CLEAN & SERVICE FOR 'LIKE-NEW' APPEARANCE. REPLACE ANY BURNED OUT BULBS.
- EXISTING 6" RECESSED DOWNLIGHT TO BE REMOVED OR RELOCATED.
- EXISTING 2X4 LIGHT FIXTURE TO BE REMOVED/RELOCATED.
- EXISTING 2X2 LIGHT FIXTURE TO BE REMOVED/RELOCATED.
- RELOCATED 2X4 LED LIGHT FIXTURE.
- NEW LED 6" RECESSED DOWNLIGHT.
- EXISTING DUAL WALL SWITCHES TO REMAIN. CLEAN & SERVICE FOR 'LIKE-NEW' APPEARANCE.
- WALL SWITCHES TO BE REMOVED. PATCH & REPAIR WALL AT POINT OF REMOVAL. TAPE, FLOAT, TEXTURE, & PAINT AS SPECIFIED.

[PRICING _____]
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[PROJECT INFORMATION _____]
DRAWN BY: KM
REVIEW: 10/18/2024
PRICING:
CONSTRUCTION:
DRAWING TITLE: POWER PLAN RCP



ELEVATION KEYED NOTES

- ① 4" HIGH PLASTIC LAMINATE VENEERED BACK SPLASH.
- ② BASE AS SCHEDULED.
- ③ PLASTIC LAMINATE VENEERED BASE CABINETS, 24" DEEP (U.N.O). PROVIDE FULL FLUSH OVERLAY CONSTRUCTION, CONCEALED HINGES MELAMINE LINER INTERIORS, ADJUSTABLE SHELVES AS INDICATED, AND 3 1/2" WIRE PULLS TO BE SELECTED.
- ④ PLASTIC LAMINATE VENEERED DRAWERS, FULL FLUSH OVERLAY CONSTRUCTION, MELAMINE LINERS, ACUGUIDES AND 3.5" BRUSHED CHROME WIRE PULLS.
- ⑤ PLASTIC LAMINATE VENEERED APRON, FLUSH WITH DRAWER FRONTS.
- ⑥ PLASTIC LAMINATE VENEERED ANGLED ADA PANEL, RE: DETAILS X/AX.
- ⑦ PLASTIC LAMINATE VENEERED WALL CABINETS, 13" DEEP. PROVIDE FULL FLUSH OVERLAY CONSTRUCTION, CONCEALED HINGES, MELAMINE LINER INTERIORS, ADJUSTABLE SHELVES AS INDICATED, AND 3 1/2" BRUSHED CHROME WIRE PULLS MOUNTED VERTICALLY.
- ⑧ REFRIGERATOR PROVIDED BY TENANT, INSTALLED BY G.C. COORD. WITH TENANT. PROVIDE 1/4" FLEXIBLE COPPER WATER LINE WITH SHUT-OFF VALVE.
- ⑨ PLASTIC LAMINATE VENEERED COUNTERTOP WITH 1-1/2" EASED FRONT EDGE TRIM.
- ⑩ 1-1/2" THICK PLASTIC LAMINATE VENEERED END/SUPPORT PANEL.

PLUMBING FIXTURE SCHEDULE

- P1 BREAKROOM: ADA COMPLIANT SINGLE BOWL DROP-IN, 21" X 25" X 6", STAINLESS STEEL, WITH GOOSENECK FAUCET WITH WRIST BLADE HANDLES. RE MEP PLANS FOR SPECIFICATION.
- P2 LAB: REUSE EXISTING SINK, CLEAN AND SERVICE FOR LIKE NEW APPEARANCE. VERIFY IN GOOD WORKING CONDITION.



20079 STONE OAK PKWY #1200
SAN ANTONIO, TEXAS 78258

APPROVAL _____

SIGNATURE _____

DATE _____

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GAME DAY MEN'S HEALTH
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DRAWN BY: KM
REVIEW: 10/18/2024
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CONSTRUCTION:
DRAWING TITLE: SECTIONS & ELEVATIONS

SHEET NO.
A3
SHEET 6 OF 6