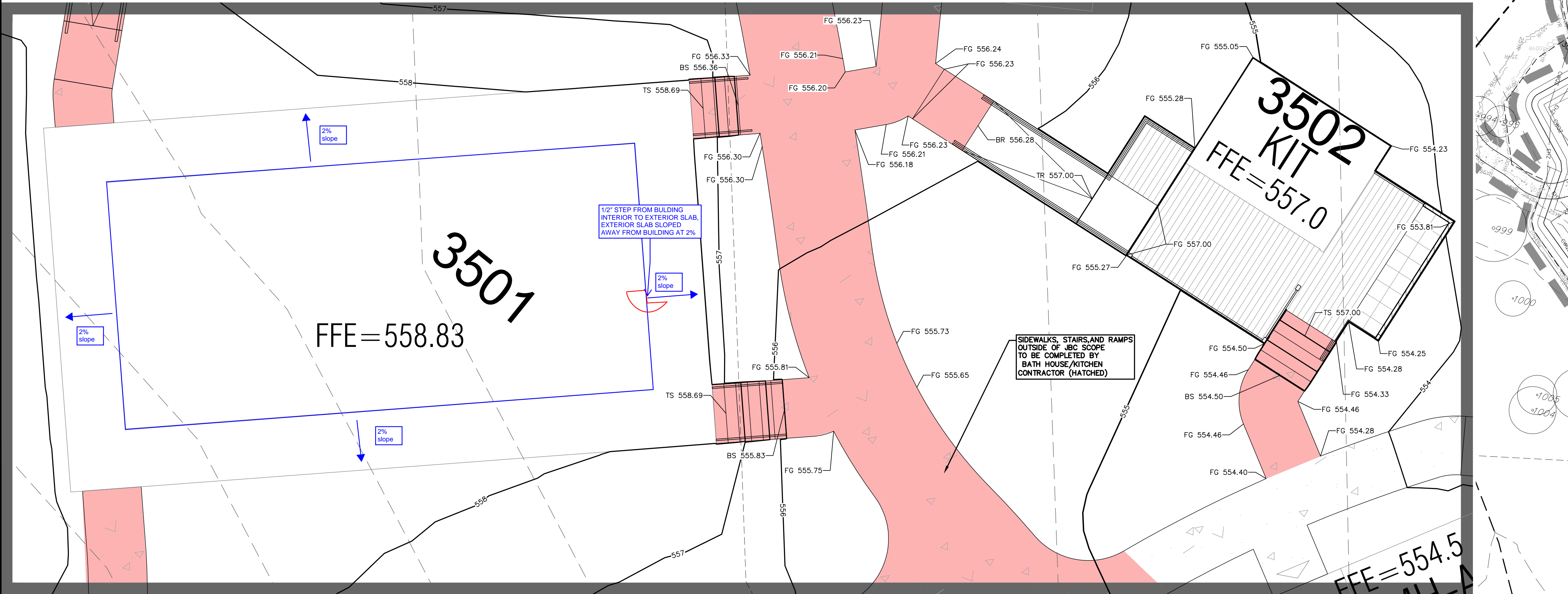


EXISTING	PROPOSED	DESCRIPTION
(XXX)		PROPERTY LINE / R.O.W. LINE
		RECORD INFORMATION
		LIGHT POLE
		GROUND LIGHT
		POWER POLE
		DOWN GUY
		WATER MANHOLE
		WATER LINE MARKER
		UNDERGROUND CABLE MARKER
		UNDERGROUND GAS LINE MARKER
		UNDERGROUND TELEPHONE MARKER
		GAS RISER
		TELEPHONE RISER
		SPRINKLER CONTROL BOX
		SWITCH GEAR & PAD
		TRANSFORMER (SIZE VARIES)
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		WATER METER VAULT (SIZE VARIES)
		CABLE TV RISER
		ELECTRIC BOX
		ELECTRIC METER
		GAS METER
		GAS VALVE
		TRAFFIC CONTROL BOX
		TRAFFIC SIGNAL POST
		GRATE INLET
		CURB INLET (SIZE VARIES)
		GREASE TRAP (SIZE VARIES)
		ELECTRIC MANHOLE (SIZE VARIES)
		WASTEWATER MANHOLE (SIZE VARIES)
		STORMSEWER MANHOLE (SIZE VARIES)
		TELEPHONE MANHOLE (SIZE VARIES)
		WASTEWATER CLEANOUT
		WIRE FENCE
		WOOD FENCE
		CHAIN LINK FENCE
		DUMPSTER
		CURB & GUTTER
		EDGE OF PAVEMENT
		FIRE LANE DESIGNATION
		HANDICAP ACCESS ROUTE
		CONCRETE SIDEWALKS
		WALL
		SOON
		WHEELSTOP
		BOLLARD
		FINISH FLOOR ELEVATION
		PARKING COUNT (REGULAR SPACES)
		PARKING COUNT (ACCESSIBLE SPACES)
		PARKING COUNT (PARALLEL SPACES)
		ACCESSIBLE PARKING SPACE
		BIKE PARKING
		BARRIAGE
		LIMITS OF CONSTRUCTION
		BUFFER AVGD CWOZ
		CEP BUFFER

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 Austin, Texas 78725
 Tel: (512) 298-3284 Fax: (512) 298-2592
 TBPE # F-14629
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STATE OF TEXAS
 ANNA MERRYMAN
 138766
 1/19/25

**SITE & GRADING PLAN -
 NEIGHBORHOOD 8**



- KEY NOTES:**
1. RIBBON CURB
 2. 6" CURB & GUTTER
 3. ACCESSIBLE SIGNAGE
 4. CURB STOP
 5. TRANSFORMER PAD
 6. SWITCHGEAR PAD
 7. DUMPSTER
 8. 4' CONCRETE SIDEWALK
 9. 5' CONCRETE SIDEWALK
 10. 8' CONCRETE GOLF CART PATH
 11. TYPE II DRIVEWAY PER COA DTL 4335-2
 12. SITE WALL, REF. STRUCTURAL
 13. MOTORIZED VEHICULAR SECURITY GATE, REF. ARCHITECTURAL
 14. 10' CONCRETE GOLF CART PATH
 15. SIDEWALK RAMP
 16. STAIRS, REF. STRUCTURAL
 17. 12' LIGHT POLE

- NOTES:**
1. FLOOR OR GROUND SURFACES ALONG ACCESSIBLE ROUTES MUST BE STABLE, FIRM AND SLIP RESISTANT (TAS 302.1).
 2. THE RUNNING SLOPE ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP (TAS 403.3).
 3. THE MAXIMUM RUNNING SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12 (TAS 405.2). THE MAXIMUM RISE FOR ANY RAMP IS 30" (TAS 405.6).
 4. ACCESSIBLE ROUTES AND RAMPS MUST HAVE A CROSS SLOPE NO GREATER THAN 1:48 (TAS 403.3, 405.3).
 5. SLOPES ON ACCESSIBLE PARKING SPACES AND ASSOCIATED ACCESS AISLES MAY NOT EXCEED 1:48 (TAS 502.4).
 6. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE MEASURED TO CURB OF CURB.
 7. ALL PARKING CURB RADII ARE 3' AS MEASURED TO BACK OF CURB EXCEPT WHERE NOTED OTHERWISE.
 8. THERE SHALL BE A 3' CLEAR AND UNOBSTRUCTED SPACE AROUND ALL FIRE HYDRANTS AND BUILDING FIRE DEPARTMENT CONNECTIONS.
 9. ALL FIRE LANES SHALL BE ABLE TO SUPPORT A 75,000 LB FIRE APPARATUS.
 10. ALL BUILDINGS SHALL HAVE IDENTIFICATION ON EACH SIDE THAT FACES A FIRE ACCESS ROAD OF A SIZE LARGE ENOUGH TO BE SEEN FROM THE ACCESS ROAD AND OF A COLOR THAT CONTRASTS FROM THE BACKGROUND.

LEGEND

PROPOSED	DESCRIPTION
[Pattern]	FLEXIBLE PAVEMENT (DI-1)
[Pattern]	FLEXIBLE PAVEMENT (DI-2)
[Pattern]	RIGID PAVEMENT (DI-2)
[Pattern]	RIGID PAVEMENT (DI-3)

811
 Know what's below.
 Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

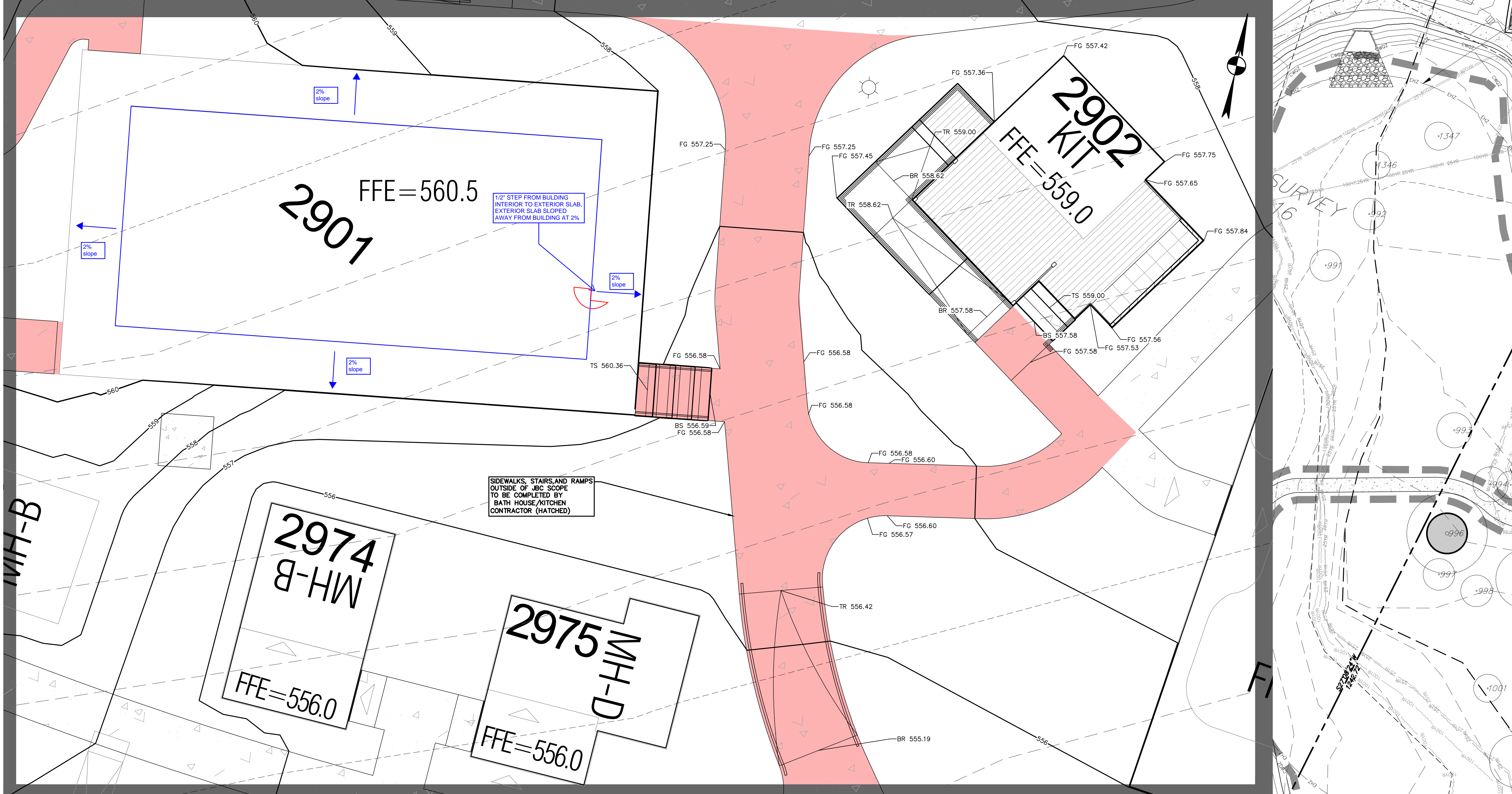
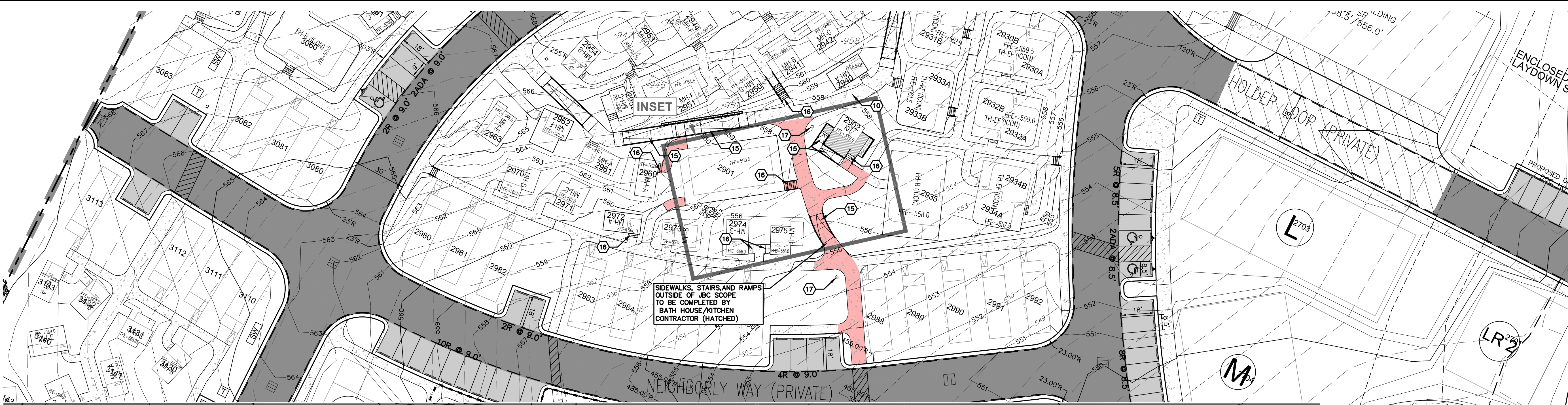
COMMUNITY FIRST - PHASE 3
 9116 HOG EYE ROAD, AUSTIN, TX 78724

CAPITAL LAND HOLDINGS, LP

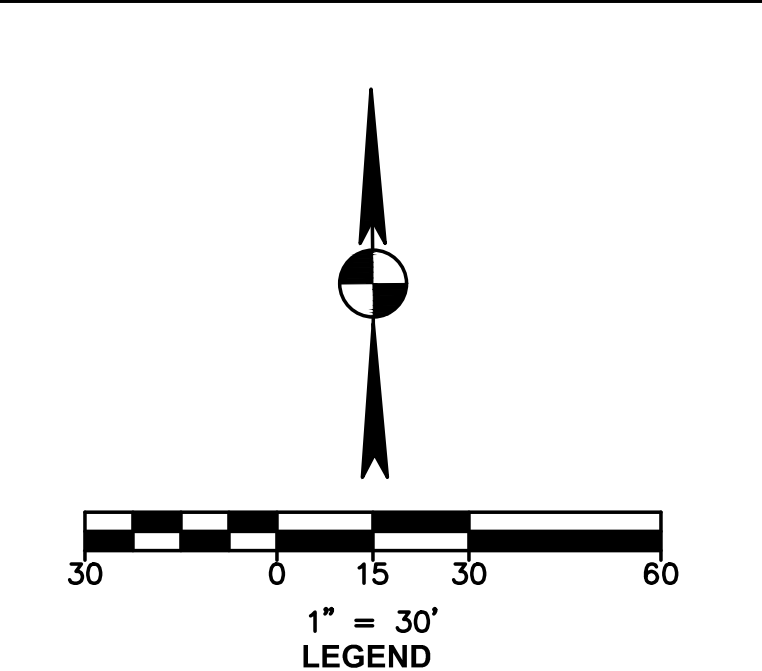
DRAWN BY:
 DESIGNED BY:
 QA / OC:
 PROJECT NO.: 113702-0001

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 OF

INSET
 SCALE = 1:5



INSET
SCALE = 1:5



EXISTING	PROPOSED	DESCRIPTION
(---)		PROPERTY LINE / R.O.W. LINE
(---)		RECORD INFORMATION
(---)		LIGHT POLE
(---)		GROUND LIGHT
(---)		POWER POLE
(---)		DOWN GUY
(---)		WATER MANHOLE
(---)		WATER LINE MARKER
(---)		UNDERGROUND CABLE MARKER
(---)		UNDERGROUND GAS LINE MARKER
(---)		UNDERGROUND TELEPHONE MARKER
(---)		GAS RISER
(---)		TELEPHONE RISER
(---)		SPRINKLER CONTROL BOX
(---)		TRANSFORMER (SIZE VARIES)
(---)		FIRE HYDRANT
(---)		WATER VALVE
(---)		WATER METER
(---)		WATER METER VAULT (SIZE VARIES)
(---)		CABLE TV RISER
(---)		ELECTRIC BOX
(---)		ELECTRIC METER
(---)		GAS METER
(---)		GAS VALVE
(---)		TRAFFIC CONTROL BOX
(---)		TRAFFIC SIGNAL POST
(---)		GRATE INLET
(---)		CURB INLET (SIZE VARIES)
(---)		GREASE TRAP (SIZE VARIES)
(---)		ELECTRIC MANHOLE (SIZE VARIES)
(---)		WASTEWATER MANHOLE (SIZE VARIES)
(---)		STORMSEWER MANHOLE (SIZE VARIES)
(---)		TELEPHONE MANHOLE (SIZE VARIES)
(---)		WASTEWATER CLEANOUT
(---)		WIRE FENCE
(---)		WOOD FENCE
(---)		CHAIN LINK FENCE
(---)		DUMPSTER
(---)		CURB & GUTTER
(---)		EDGE OF PAVEMENT
(---)		FIRE LANE DESIGNATION
(---)		HANDICAP ACCESS ROUTE
(---)		CONCRETE SIDEWALKS
(---)		WALL
(---)		WHEELSTOP
(---)		BOLLARD
(---)		FINISH FLOOR ELEVATION
(---)		PARKING COUNT (REGULAR SPACES)
(---)		PARKING COUNT (ACCESSIBLE SPACES)
(---)		PARKING COUNT (PARALLEL SPACES)
(---)		ACCESSIBLE PARKING SPACE
(---)		BIKE PARKING
(---)		BARRICADE
(---)		LIMITS OF CONSTRUCTION
(---)		CEP BUFFER

- KEY NOTES:**
- 1) RIBBON CURB
 - 2) 6" CURB & GUTTER
 - 3) ACCESSIBLE SIGNAGE
 - 4) CURB STOP
 - 5) TRANSFORMER PAD
 - 6) SWITCHGEAR PAD
 - 7) DUMPSTER
 - 8) 4' CONCRETE SIDEWALK
 - 9) 3' CONCRETE SIDEWALK
 - 10) 8' CONCRETE GOLF CART PATH
 - 11) TYPE II DRIVEWAY PER COA DTL 433S-2
 - 12) SITE WALL, REF. STRUCTURAL
 - 13) MOTORIZED VEHICULAR SECURITY GATE, REF. ARCHITECTURAL
 - 14) 10' CONCRETE GOLF CART PATH
 - 15) SIDEWALK RAMP
 - 16) CONCRETE STAIRS, REF. STRUCTURAL
 - 17) 12' LIGHT POLE
 - 18) HOSE BIBB LOCATION
 - 19) WOOD RAMP BY OTHERS
 - 20) WOOD STAIRS BY OTHERS

- NOTES:**
1. FLOOR OR GROUND SURFACES ALONG ACCESSIBLE ROUTES MUST BE STABLE, FIRM AND SLIP RESISTANT (TAS 302.1).
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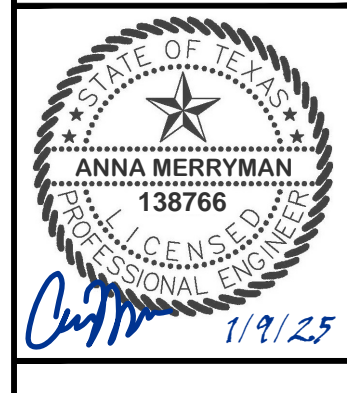
- PAVEMENT DESIGN:**
1. REFER TO TERRACON GEOTECHNICAL REPORT DATED MAY 10, 2021 FOR FLEXIBLE AND RIGID PAVEMENT SPECIFICATIONS.
 2. THE CONTRACTOR MUST VERIFY THE DETAILS WITH THE MOST CURRENT GEOTECHNICAL RECOMMENDATIONS PRIOR TO CONSTRUCTION.

PROPOSED	DESCRIPTION
(---)	FLEXIBLE PAVEMENT (DI-1)
(---)	FLEXIBLE PAVEMENT (DI-2)
(---)	RIGID PAVEMENT (DI-2)
(---)	RIGID PAVEMENT (DI-3)

811
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TBPE # F-14629
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**SITE & GRADING PLAN -
NEIGHBORHOOD 9**

**COMMUNITY FIRST - PHASE 3
9116 HOG EYE ROAD, AUSTIN, TX 78724**

CAPITAL LAND HOLDINGS, LP

DRAWN BY:
DESIGNED BY:
QA / QC:
PROJECT NO.: 113702-00001

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OF**