

GENERAL NOTES FOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS
REVISED March 27, 2023

CITY CONTACTS:
ENGINEERING MAIN LINE: 512-528-2721
PLANNING DEPARTMENT 512-528-2750
PUBLIC WORKS MAIN LINE: 512-259-2640
STORMWATER INSPECTIONS: 512-285-0055
UTILITIES MAIN LINE: 512-259-1142
UTILITIES ON-CALL: 512-690-4760

GENERAL:

- CONTRACTORS SHALL HAVE AN APPROVED SET OF PLANS WITH APPROVED REVISIONS ON SITE AT ALL TIMES. FAILURE TO HAVE APPROVED PLANS ON SITE MAY RESULT IN ISSUANCE OF WORK STOPPAGE.
- CONTACT 811 SYSTEM FOR EXISTING WATER AND WASTEWATER LOCATIONS 48 HOURS PRIOR TO CONSTRUCTION.
 - REFRESH ALL LOCATES BEFORE 14 DAYS – LOCATE REFRESH REQUESTS MUST INCLUDE A COPY OF YOUR 811 TICKET. TEXAS PIPELINE DAMAGE PREVENTION LAWS REQUIRE THAT A LOCATE REFRESH REQUEST BE SUBMITTED BEFORE 14 DAYS, OR IF LOCATION MARKERS ARE NO LONGER VISIBLE.
 - REPORT PIPELINE DAMAGE IMMEDIATELY – IF YOU WITNESS OR EXPERIENCE PIPELINE EXCAVATION DAMAGE, PLEASE CONTACT THE CITY OF LEANDER BY PHONE AT 512-259-2640.
- THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR 48 HOURS BEFORE:
 - BEGINNING EACH PHASE OF CONSTRUCTION. CONTACT ASSIGNED CITY INSPECTOR.
 - ANY TESTING. CONTRACTOR SHALL PROVIDE QUALITY TESTING FOR ALL INFRASTRUCTURES TO BE ACCEPTED AND MAINTAINED BY THE CITY OF LEANDER AFTER COMPLETION.
 - PROOF FILLING SUB-GRADE AND EVERY LIFT OF ROADWAY EMBANKMENT, IN-PLACE DENSITY TESTING OF EVERY BASE COURSE, AND ASPHALT CORES. ALL OF THIS TESTING MUST BE WITNESSED BY A CITY OF LEANDER REPRESENTATIVE.
 - CONNECTING TO THE EXISTING WATER LINES.
 - THE INSTALLATION OF ANY DRAINAGE FACILITY WITHIN A DRAINAGE EASEMENT OR STREET ROW. THE METHOD OF PLACEMENT AND COMPACTION OF BACKFILL IN THE CITY'S ROW MUST BE APPROVED PRIOR TO THE START OF BACKFILL OPERATIONS.
- ALL RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS REMAINS WITH THE ENGINEER OF RECORD WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER OF RECORD.
- EXCESS SOIL SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE. NOTIFY THE CITY OF LEANDER IF THE DISPOSAL SITE IS INSIDE THE CITY'S JURISDICTIONAL BOUNDARIES.
- BURNING IS PROHIBITED.
- NO WORK IS TO BE PERFORMED BETWEEN THE HOURS OF 9:00 P.M. AND 7:00 A.M. OR WEEKENDS. THE CITY INSPECTOR RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO UNCOVER ALL WORK PERFORMED WITHOUT INSPECTION.
- NO BLASTING IS ALLOWED.
- ANY CHANGES OR REVISIONS TO THESE PLANS MUST FIRST BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER FOR REVIEW AND WRITTEN APPROVAL PRIOR TO CONSTRUCTION OF THE REVISION. ALL CHANGES AND REVISIONS SHALL USE REVISION CLOUDS TO HIGHLIGHT ALL REVISIONS AND CHANGES WITH EACH SUBMITTAL. REVISION TRIANGLE MARKERS AND NUMBERS SHALL BE USED TO MARK REVISIONS. ALL CLOUDS AND TRIANGLE MARKERS FROM PREVIOUS REVISIONS MUST BE REMOVED. REVISION INFORMATION SHALL BE UPDATED ON COVER SHEET AND AFFECTED PLAN SHEET TITLE BLOCK.
- THE CONTRACTOR AND ENGINEER SHALL KEEP ACCURATE RECORDS OF ALL CONSTRUCTION THAT DEVIATES FROM THE PLANS. THE ENGINEER SHALL FURNISH THE CITY OF LEANDER ACCURATE "RECORD DRAWINGS" FOLLOWING THE COMPLETION OF ALL CONSTRUCTION. THESE "RECORD DRAWINGS" SHALL MEET THE SATISFACTION OF THE ENGINEERING DEPARTMENTS PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR WILL REIMBURSE THE CITY FOR ALL REPAIR AND/OR COST INCURRED AS A RESULT OF ANY DAMAGE TO ANY PUBLIC INFRASTRUCTURE WITHIN CITY EASEMENT OR PUBLIC RIGHT-OF-WAY, REGARDLESS OF THESE PLANS.
- WHEN CONSTRUCTION IS BEING CARRIED OUT WITHIN EASEMENTS, THE CONTRACTOR SHALL CONFINED HIS WORK TO WITHIN THE PERMANENT AND TEMPORARY EASEMENTS. PRIOR TO ACCEPTANCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TRASH AND DEBRIS WITHIN THE PERMANENT EASEMENTS. CLEANUP SHALL BE TO THE SATISFACTION OF THE ENGINEER OF RECORD AND CITY.
- CONTRACTOR TO LOCATE, PROTECT, AND MAINTAIN BENCHMARKS, MONUMENTS, CONTROL POINTS AND PROJECT ENGINEERING REFERENCE POINTS. RE-ESTABLISH DISTURBED OR DESTROYED ITEMS BY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, AT NO ADDITIONAL COST TO THE PROPERTY OWNER.
- ALL CONSTRUCTION OPERATIONS SHALL BE ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). OSHA STANDARDS MAY BE PURCHASED FROM THE GOVERNMENT PRINTING OFFICE; INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, 1033 LA POSADA DR. SUITE 375, AUSTIN, TEXAS 78752-3832.
- ALL MANHOLE FRAMES/COVERS AND WATER VALVE/METER BOXES MUST BE ADJUSTED TO FINISHED GRADE AT THE OWNER'S EXPENSE. BY THE CONTRACTOR FOR THE CITY CONSTRUCTION INSPECTOR INSPECTION. ALL UTILITY ADJUSTMENTS SHALL BE COMPLETED PRIOR TO FINAL PAVING. CONTRACTOR SHALL BACKFILL AROUND MANHOLES AND VALVE BOXES WITH CLASS A CONCRETE.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL CITY OF LEANDER DETAILS AND CITY OF AUSTIN STANDARD SPECIFICATIONS.
- PROJECT SPECIFICATIONS TAKE PRECEDENCE OVER PLANS AND SPECIAL CONDITIONS GOVERN OVER TECHNICAL SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR MUST OBTAIN A CONSTRUCTION WATER METER FOR ALL WATER USED DURING CONSTRUCTION. A COPY OF THIS PERMIT MUST BE CARRIED AT ALL TIMES BY ALL WHO USE WATER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADS AND DRIVES ADJACENT TO AND NEAR THE SITE FREE FROM SOIL, SEDIMENT AND DEBRIS. CONTRACTOR WILL NOT REMOVE SOIL, SEDIMENT OR DEBRIS FROM ANY AREA OR VEHICLE BY MEANS OF WATER. ONLY SHOVELING AND SWEEPING WILL BE ALLOWED. THE CONTRACTOR WILL BE RESPONSIBLE FOR DUST CONTROL FROM THE SITE. THE CONTRACTOR SHALL KEEP THE SITE AREA CLEAN AND MAINTAINED AT ALL TIMES, TO THE SATISFACTION OF THE CITY. THE SUBDIVISION (OR SITE) WILL NOT BE ACCEPTED (OR CERTIFICATE OF OCCUPANCY ISSUED) UNTIL THE SITE HAS BEEN CLEANED TO THE SATISFACTION OF THE CITY.
- TREES IN EXISTING ROW SHOULD BE PROTECTED OR NOTED IN THE PLANS TO BE REMOVED.

CONSTRUCTION SEQUENCE NOTES

NOTE: BELOW IS GENERAL SEQUENCE OF CONSTRUCTION. THE ENGINEER OF RECORD SHALL UPDATE BELOW WITH NOTES SPECIFIC TO THE PROJECT.

- REACH OUT TO THE CITY FOR PRE-CONSTRUCTION MEETING AND CONSTRUCTION PERMIT.
- SET-UP E/S CONTROLS AND TREE PROTECTION AND REACH OUT TO CITY FOR INSPECTION.
- SET UP TEMPORARY TRAFFIC CONTROLS.
- CONSTRUCT THE DRAINAGE PONDS AND STORM WATER FEATURES.
- START UTILITY, ROAD, GRADING, FRANCHISE UTILITY AND ALL NECESSARY INFRASTRUCTURE CONSTRUCTION. [NOTE: PLEASE UPDATE AS PER THE PROJECT]
- REQUEST FINAL WALKTHROUGH AND CONDUCT WALKTHROUGH WITH ENGINEER OF RECORD AND CITY DEPARTMENT.
- ENGINEER OF RECORD IS RESPONSIBLE TO PREPARE AND SUBMIT CLOSEOUT DOCUMENTS FOR PROJECT CLOSEOUT.

EROSION CONTROL NOTES

- THE CONTRACTOR IS REQUIRED TO INSPECT THE CONTROLS AND FENCES AT WEEKLY INTERVALS AND AFTER SIGNIFICANT RAINFALL EVENTS TO ENSURE THAT THEY ARE FUNCTIONING PROPERLY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF CONTROLS AND FENCES AND SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHES SIX (6) INCHES.
- THE TEMPORARY SPOILS DISPOSAL SITE IS TO BE SHOWN IN THE EROSION CONTROL MAP.
- ANY ON-SITE SPOILS DISPOSAL SHALL BE REMOVED PRIOR TO ACCEPTANCE UNLESS SPECIFICALLY SHOWN ON THE PLANS. THE DEPTH OF SPOIL SHALL NOT EXCEED 10 FEET IN ANY AREA.
- ALL AREAS DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL BE RESTORED WITH A MINIMUM OF 6 INCHES OF TOPSOIL AND COMPOST BLEND. TOPSOIL ON SINGLE FAMILY LOTS MAY BE INSTALLED WITH HOME CONSTRUCTION. THE TOPSOIL AND COMPOST BLEND SHALL CONSIST OF 75% TOPSOIL AND 25% COMPOST.
- SEEDING FOR REESTABLISHING VEGETATION SHALL COMPLY WITH THE AUSTIN GROW GREEN GUIDE OR WILLAMSON COUNTY'S PROTOCOL. FOR SUSTAINABLE ROADSIDES (SPEC 164-WC001 SEEDING FOR EROSION CONTROL). RESEEDING VARIETIES OF BERMUDA SHALL NOT BE USED.
- STABILIZED CONSTRUCTION ENTRANCE IS REQUIRED AT ALL POINTS WHERE CONSTRUCTION TRAFFIC IS EXITING THE PROJECT ONTO EXISTING PAVEMENT. LINEAR CONSTRUCTION PROJECTS MAY REQUIRE SPECIAL CONSIDERATION. ROADWAYS SHALL REMAIN CLEAR OF SILT AND MUD.
- TEMPORARY STOP SIGNS SHOULD BE INSTALLED AT ALL CONSTRUCTION ENTRANCES WHERE A STOP CONDITION DOES NOT ALREADY EXIST.
- IN THE EVENT OF INCLEMENT WEATHER THAT MAY RESULT IN A FLOODING SITUATION, THE CONTRACTOR SHALL REMOVE INLET PROTECTION MEASURES UNTIL SUCH TIME AS THE WEATHER EVENT HAS PASSED.

WATER AND WASTEWATER NOTES

WATER AND WASTEWATER GENERAL NOTES

- ALL NEWLY INSTALLED PIPES AND RELATED PRODUCTS MUST CONFORM TO AMERICAN NATIONAL STANDARDS INSTITUTE/NATIONAL SANITATION FOUNDATION (ANSI/NSF) STANDARD 61 AND MUST BE CERTIFIED BY AND ORGANIZATION ACCREDITED BY ANSI.
- ALL WATER SERVICE, WASTEWATER SERVICE AND VALVE LOCATIONS SHALL BE APPROPRIATELY STAMPED AS FOLLOWS:

WATER SERVICE	"W" ON TOP OF CURB
WASTEWATER SERVICE	"S" ON TOP OF CURB
VALVE	"V" ON TOP OF CURB
- OPEN UTILITIES SHALL NOT BE PERMITTED ACROSS THE EXISTING PAVED SURFACES. WATER AND WASTEWATER LINES ACROSS THE EXISTING PAVED SURFACES SHALL BE BORED AND INSTALLED IN STEEL ENCASEMENT PIPES. BELL RESTRAINTS SHALL BE PROVIDED AT JOINTS.
- INTERIOR SURFACES OF ALL DUCTILE IRON POTABLE OR RECLAIMED WATER PIPE SHALL BE CEMENT-MORTAR LINED AND SEAL COATED AS REQUIRED BY AWWA C104.
- SAND, AS DESCRIBED IN AUSTIN SPECIFICATION ITEM S10 PIPE, SHALL NOT BE USED AS BEDDING FOR WATER AND WASTEWATER LINES. ACCEPTABLE BEDDING MATERIALS ARE PIPE BEDDING STONE, PEA GRAVEL AND IN LIEU OF SAND, A NATURALLY OCCURRING OR MANUFACTURED STONE MATERIAL CONFORMING TO ASTM C33 FOR STONE QUALITY AND MEETING THE FOLLOWING GRADATION SPECIFICATION:

SIZE	PERCENT RETAINED BY WEIGHT
1/2"	0
3/8"	0-2
#4	40-85
#10	95-100
- DENSITY TESTING FOR TRENCH BACKFILL SHALL BE DONE IN MAXIMUM 12' LIFTS.

WATER

- SAMPLING TAPS SHALL BE BROUGHT UP TO 3 FEET ABOVE GRADE AND SHALL BE EASILY ACCESSIBLE FOR CITY PERSONNEL AT THE CONTRACTORS' REQUEST, AND IN HIS PRESENCE. SAMPLES FOR BACTERIOLOGICAL TESTING WILL BE COLLECTED BY THE CITY OF LEANDER NOT LESS THAN 24 HOURS AFTER THE TREATED LINE HAS BEEN FLUSHED OF THE CONCENTRATED CHLORINE SOLUTION AND CHARGED WITH WATER APPROVED BY THE CITY.
- CITY PERSONNEL WILL OPERATE OR AUTHORIZE THE CONTRACTOR TO OPERATE ALL WATER VALVES THAT WILL PASS THROUGH THE CITY'S POTABLE WATER. THE CONTRACTOR MAY BE FINED \$500 OR MORE, INCLUDING ADDITIONAL THEFT OF WATER FINES, IF A WATER VALVE IS OPERATED IN AN UNAUTHORIZED MANNER, REGARDLESS OF WHO OPERATED THE VALVE.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT CONNECTING TO, SHUTTING DOWN, OR TERMINATING EXISTING UTILITY LINES MAY HAVE TO OCCUR AT OFF-PEAK HOURS, SUCH HOURS ARE USUALLY OUTSIDE NORMAL WORKING HOURS AND POSSIBLY BETWEEN 12 AM AND 6 AM AFTER COORDINATING WITH CITY CONSTRUCTION INSPECTORS AND INFORMING AFFECTED PROPERTIES.
- PRESSURE TAPS OR HOT TAPS SHALL BE IN ACCORDANCE WITH CITY OF LEANDER STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION AND SHALL FURNISH, INSTALL AND AIR TEST THE SLEEVE AND VALVE. A CITY OF LEANDER INSPECTOR MUST BE PRESENT WHEN THE CONTRACTOR MAKES A TAP, AND/OR ASSOCIATED TESTS. A MINIMUM OF TWO (2) WORKING DAYS NOTICE IS REQUIRED. "SIZE ON SIZE" TAPS SHALL NOT BE PERMITTED UNLESS MADE BY THE USE OF AN APPROVED FULL-CIRCLE GASKETED TAPPING SLEEVE. CONCRETE THRUST BLOCKS SHALL BE PLACED BEHIND AND UNDER ALL TAP SLEEVES A MINIMUM OF 24 HOURS PRIOR TO THE BRANCH BEING PLACED INTO SERVICE. THRUST BLOCKS SHALL BE INSPECTED PRIOR TO BACKFILL.
- FIRE HYDRANTS ON MAINS UNDER CONSTRUCTION SHALL BE SECURELY WRAPPED WITH A BLACK POLY WRAP BAG AND TAPED INTO PLACE. THE POLY WRAP SHALL BE REMOVED WHEN THE MAINS ARE ACCEPTED AND PLACED INTO SERVICE.
- THRUST BLOCKS OR RESTRAINTS SHALL BE IN ACCORDANCE WITH THE CITY OF LEANDER STANDARD SPECIFICATIONS AND REQUIRED AT ALL FITTINGS PER DETAIL OR MANUFACTURER'S RECOMMENDATION. ALL FITTINGS SHALL HAVE BOTH THRUST BLOCKS AND RESTRAINTS.
- ALL DEAD END WATER MAINS SHALL HAVE "FIRE HYDRANT ASSEMBLY" OR "BLOW-OFF VALVE AND THRUST BLOCK" OR "BLOW-OFF VALVE AND THRUST RESTRAINTS". THRUST RESTRAINTS SHALL BE INSTALLED ON THE MINIMUM LAST THREE PIPE LENGTHS (STANDARD 20' LAYING LENGTH). ADDITIONAL THRUST RESTRAINTS MAY BE REQUIRED BASED UPON THE MANUFACTURERS RECOMMENDATION AND/OR ENGINEER'S DESIGN.
- PIPE MATERIAL FOR PUBLIC WATER MAINS SHALL BE PVC (AWWA C900-DR14 MIN. 305 PSI PRESSURE RATING), WATER SERVICES (2" OR LESS) SHALL BE POLYETHYLENE TUBING (BLACK, 200PSI, AND SDR-91). COPPER PIPES AND FITTINGS ARE NOT ALLOWED IN THE PUBLIC RIGHT OF WAY. ALL PLASTIC PIPES FOR USE IN PUBLIC WATER SYSTEMS MUST BEAR THE NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL (NSF-PW).
- ALL FIRE HYDRANT LEADS SHALL BE DUCTILE IRON PIPE (AWWA C115/C151 PRESSURE CLASS 350).
- ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED WITH MINIMUM 6-MIL POLYETHYLENE.
- LINE FLUSHING OR ANY ACTIVITY USING A LARGE QUANTITY OF WATER MUST BE COORDINATED WITH THE PUBLIC WORKS DEPARTMENT.
- ALL WATER METER BOXES SHALL BE:
 - SINGLE, 1' METER AND BELOW DFW37F-12-1CA, OR EQUAL
 - DUAL, 1' METERS AND BELOW DFW36F-12-1CA, OR EQUAL
 - 1.5" SINGLE METER DFW65C-14-1CA, OR EQUAL
 - 2" SINGLE METER DFW170F-12-1CA, OR EQUALALL WATER VALVE COVERS ARE TO BE PAINTED BLUE.

WASTEWATER

- CURVILINEAR WASTEWATER DESIGN LAYOUT IS NOT PERMITTED.

- MANDREL TESTING SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
- MANHOLES SHALL BE COATED PER CITY OF AUSTIN SPL WW-511 (RAVEN 405 OR SPRAYWALL). PENETRATIONS TO EXISTING WASTEWATER MANHOLES REQUIRE THE CONTRACTOR TO RECOAT THE ENTIRE MANHOLE IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATIONS SECTION NO. 506.5.
- RECLAIMED AND RECYCLED WATER LINE SHALL BE COLORED "PURPLE PIPE". ALL RECLAIMED AND RECYCLED WATER VALVE COVERS SHALL BE SQUARE AND PAINTED PURPLE.
- FORCE MAIN PIPES NEED TO HAVE SWEEPING WYES FOR JOINTS.

STREET AND DRAINAGE NOTES

- THE CITY OF LEANDER HAS NOT REVIEWED THESE PLANS FOR COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA). IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE COMPLIANCE WITH ALL LEGISLATION RELATED TO ACCESSIBILITY WITHIN THE LIMITS OF CONSTRUCTION SHOWN IN THESE PLANS. ALL SIDEWALKS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND TEXAS ACCESSIBILITY STANDARDS (TAS).
- BACKFILL BEHIND THE CURB SHALL BE COMPACTED TO OBTAIN A MINIMUM OF 95% MAXIMUM DENSITY TO WITHIN 6" OF TOP OF CURB. MATERIAL USED SHALL BE PRIMARILY GRANULAR WITH NO ROCKS LARGER THAN 6" IN THE GREATEST DIMENSION. THE REMAINING 6" SHALL BE CLEAN TOPSOIL FREE FROM ALL CLODS AND SUITABLE FOR SUSTAINING PLANT LIFE.
- A MINIMUM OF 6" OF TOPSOIL SHALL BE PLACED BETWEEN THE CURB AND RIGHT-OF-WAY AND IN ALL DRAINAGE CHANNELS EXCEPT CHANNELS CUT IN STABLE ROCK.
- DEPTH OF COVER FOR ALL CROSSINGS UNDER PAVEMENT, INCLUDING GAS, ELECTRIC TELEPHONE, CABLE TV, ETC., SHALL BE A MINIMUM OF 36" BELOW SUBGRADE.
- STREET RIGHT-OF-WAY SHALL BE GRADED AT A SLOPE OF 1/4" PER FOOT TOWARD THE CURB UNLESS OTHERWISE INDICATED.
- ALL DRAINAGE PIPE IN PUBLIC RIGHT OF WAY OR EASEMENTS SHALL BE REINFORCED CONCRETE PIPE MINIMUM CLASS III OF TONGUE AND GROOVE OR O-RING JOINT DESIGN. CORRUGATED METAL PIPE IS NOT ALLOWED IN PUBLIC RIGHT OR WAY OR EASEMENTS.
- THE CONTRACTOR MUST PROVIDE A PNEUMATIC TRUCK PER TxDOT SPEC FOR PROOF ROLLING.
- ALL STRIPING, WITH THE EXCEPTION OF STOP BARS, CROSS WALKS, WORDS AND ARROWS, IS TO BE TYPE II (WATER BASED). STOP BARS, CROSS WALKS, WORDS AND ARROWS REQUIRE TYPE I THERMOPLASTIC.
- MANHOLE FRAMES, COVERS, VALVES, CLEAN-OUTS, ETC. SHALL BE RAISED TO GRADE PRIOR TO FINAL PAVEMENT CONSTRUCTION.
- A STOP BAR SHALL BE PLACED AT ALL STOP SIGN LOCATIONS.
- THE GEOTECHNICAL ENGINEER SHALL INSPECT THE SUBGRADE FOR COMPLIANCE WITH THE DESIGN ASSUMPTIONS MADE DURING PREPARATION OF THE SOILS REPORT. ANY ADJUSTMENTS THAT ARE REQUIRED SHALL BE MADE THROUGH REVISIONS OF THE APPROVED CONSTRUCTION PLANS.
- GEOTECHNICAL INVESTIGATION INFORMATION AND PAVEMENT RECOMMENDATIONS WERE PROVIDED BY _____ PAVEMENT RECOMMENDATIONS ARE AS FOLLOWS:
 - PROVIDE RECOMMENDATIONS.
- A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CITY OF AUSTIN TRANSPORTATION CRITERIA MANUAL, CITY OF LEANDER STANDARD DETAILS AND TEXAS DEPARTMENT OF TRANSPORTATION TRAFFIC, SHALL BE SUBMITTED TO THE CITY OF LEANDER FOR REVIEW AND APPROVAL PRIOR TO ANY PARTIAL OR COMPLETE ROADWAY CLOSURE. TRAFFIC CONTROL PLANS MUST BE SITE SPECIFIC AND SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
- ALL LANE CLOSURES SHALL OCCUR ONLY BETWEEN THE HOURS OF 9 AM AND 4 PM UNLESS OTHERWISE NOTED ON THE PLANS. ANY NIGHT TIME LANE CLOSURES REQUIRE APPROVAL OF THE CITY ENGINEER AND SHALL OCCUR BETWEEN THE HOURS OF 8 PM AND 6 AM. LANE CLOSURES OBSERVED BY THE CITY DURING PEAK HOURS OF 6 AM TO 9 AM OR 4 PM TO 8 PM WILL BE SUBJECT TO A FINE AND/OR SUBSEQUENT ISSUANCE OF WORK STOPPAGE.
- TEMPORARY ROCK CRUSHING IS NOT ALLOWED. ALL SOURCES OF FLEXIBLE BASE MATERIAL ARE REQUIRED TO BE APPROVED BY THE CITY. PRIOR TO BASE PLACEMENT ALL CURRENT TRIAXIAL TEST REPORTS FOR PROPOSED STOCK PILES ARE TO BE SUBMITTED TO THE CITY CONSTRUCTION INSPECTOR FOR REVIEW AND APPROVAL.
- AT ROAD INTERSECTIONS THAT HAVE A VALLEY CUTTER, THE CROWN TO THE INTERSECTING ROAD WILL BE CULMINATED AT A DISTANCE OF 40 FEET FROM THE INTERSECTING CURB LINE UNLESS OTHERWISE NOTED.
- NO PONDING OF WATER SHALL BE ALLOWED TO COLLECT ON OR NEAR THE INTERSECTION OF PRIVATE DRIVEWAYS AND PUBLIC STREETS. RECONSTRUCTION OF THE DRIVEWAY APPROACH SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ALL DRIVEWAY APPROACHES SHALL HAVE A UNIFORM TWO PERCENT SLOPE WITHIN THE PUBLIC RIGHT OF WAY UNLESS APPROVED IN WRITING BY THE ENGINEERING DEPARTMENT.
- IMPROVEMENTS THAT INCLUDE RECONSTRUCTION OF AN EXISTING TYPE II DRIVEWAY SHALL BE DONE IN A MANNER WHICH RETAINS OPERATIONS OF NOT LESS THAN HALF OF THE DRIVEWAY TO REMAIN OPEN AT ALL TIMES. FULL CLOSURE OF SUCH DRIVEWAY CAN BE CONSIDERED WITH WRITTEN AUTHORIZATION OBTAINED BY THE CONTRACTOR FROM ALL PROPERTY OWNERS AND ACCESS EASEMENT RIGHT HOLDERS ALLOWING THE FULL CLOSURE OF THE DRIVEWAY.
- CONTRACTOR MUST CLEAR FIVE (5) FEET BEYOND ALL PUBLIC RIGHT OF WAY TO PREVENT FUTURE VEGETATIVE GROWTH INTO THE SIDEWALK AREAS.
- SLOPE OF NATURAL GROUND ADJACENT TO THE PUBLIC RIGHT OF WAY SHALL NOT EXCEED 3:1 SLOPE. IF A 3:1 SLOPE IS NOT POSSIBLE, SLOPE PROTECTION OR RETAINING WALL MUST BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO FINAL ACCEPTANCE.
- THERE SHALL BE NO DITCHES, WASTEWATER OR DRAINAGE APPURTENANCES, INCLUDING BUT NOT LIMITED TO VALVES, FITTINGS, METERS, CLEAN-OUTS, MANHOLES, OR VAULTS IN PUBLIC SIDEWALKS. SIDEWALK, TRAFFIC OR PEDESTRIAN AREA.
- PUBLIC SIDEWALKS SHALL NOT USE CURB INLETS AS PARTIAL WALKING SURFACE. SIDEWALKS SHALL NOT USE TRAFFIC CONTROL BOXES, METERS, CHECK VALVE VAULTS, COMMUNICATION VAULTS, OR OTHER BURIED OR PARTIALLY BURIED INFRASTRUCTURE AS A VEHICULAR OR PEDESTRIAN SURFACE.
- ALL VET UTILITIES SHALL BE INSTALLED AND ALL DENSITIES MUST HAVE PASSED INSPECTION(S) PRIOR TO THE INSTALLATION OF DRY UTILITIES.
- DRY UTILITIES SHALL BE INSTALLED AFTER SUBGRADE IS CUT AND BEFORE THE FIRST COURSE OF BASE. NO TRENCHING COMPACTED BASE. IF NECESSARY DRY UTILITIES INSTALLED AFTER FIRST COURSE BASE SHALL BE BORED ACROSS THE FULL WIDTH OF THE PUBLIC RIGHT-OF-WAY.
- A MINIMUM OF SEVEN (7) DAYS OF CURE TIME IS REQUIRED FOR HMAc PRIOR TO THE INTRODUCTION OF VEHICULAR TRAFFIC TO ALL STREETS.

TRENCH SAFETY NOTES

- TRENCH SAFETY SYSTEMS TO BE UTILIZED FOR THIS PROJECT ARE DESCRIBED IN ITEM 5095 "TRENCH SAFETY SYSTEMS" OF THE CITY OF AUSTIN STANDARD SPECIFICATIONS AND SHALL BE IN ACCORDANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE U.S. OCCUPATION SAFETY AND HEALTH ADMINISTRATION REGULATIONS.

GRADING NOTES

- POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER TO OCCUR ON THE SITE. THE CONTRACTOR SHALL KEEP THE SITE AREA CLEAN AND MAINTAINED AT ALL TIMES, TO THE SATISFACTION OF THE CITY.
- THE CONTRACTOR SHALL CONSTRUCT EARTHEN EMBANKMENTS WITH SLOPES NO STEEPER THAN 3:1 AND COMPACT SOIL TO 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH THE CITY OF AUSTIN STANDARD SPECIFICATIONS.
- AREAS OF SOIL DISTURBANCE ARE LIMITED TO GRADING AND IMPROVEMENTS SHOWN. ALL OTHER AREAS WILL NOT BE DISTURBED.

BENCHMARK NOTES

TBM #1- MAG NAIL WITH "WARD" WASHER SET IN CONCRETE SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, +64' SOUTHEAST OF A TRAFFIC SIGN LABELED "30 MPH" FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE, AND +335' SOUTHEAST OF A WASTEWATER MANHOLE FOUND WITHIN VISTA RIDGE DRIVE. ELEVATION = 1,043.17'

TBM #2- MAG NAIL WITH "WARD" WASHER SET IN SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, +224' SOUTHWEST OF A STORM SEWER MANHOLE WITHIN VISTA RIDGE DRIVE, AND +238' SOUTHWEST OF A FIRE HYDRANT FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE. ELEVATION = 1,047.32'

COMPONENT	MATERIAL THICKNESS	
	LIGHT DUTY	HEAVY DUTY
ASPHALTIC CONCRETE	X"	X"
CRUSHED LIMESTONE BASE	X"	X"
COMPACTED SUBGRADE	X"	X"

SITE NOTES:

- ALL EASEMENTS OF RECORD AS INDICATED ON THE MOST RECENT TITLE RUN (DATED: 10-17-2023, AND 1-09-2024, CONDUCTED BY SCI REAL ESTATE DEPT.) FOR THIS PROPERTY ARE SHOWN ON THIS SITE PLAN.
- ALL SITE UTILITY LINES ARE PROPOSED TO BE LOCATED UNDERGROUND.
- EXTERIOR LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE IS NOT DIRECTLY VISIBLE FROM THE PUBLIC ROW OR ADJACENT RESIDENTIAL DISTRICTS OR USES AT THE PROPERTY LINE. UNSHIELDED "WALL PACK" LIGHTING IS NOT PROPOSED.
- AT CLAWSON DISPOSAL, INC. SHALL BE THE SOLE PROVIDER OF WASTE-HAULING FOR THIS SITE BOTH DURING AND AFTER CONSTRUCTION.
- AIR CONDITIONING UNITS ARE NOT PROPOSED FORWARD THE FRONT WALL OF THE BUILDING.
- GARBAGE DUMPSTERS ARE LOCATED NO CLOSER TO A ROADWAY THAN THE FRONT WALL OF THE PRINCIPAL STRUCTURE LOCATED CLOSEST TO THE ROADWAY. GARBAGE DUMPSTERS ARE SCREENED BY A WALL (COMPRISED OF MASONRY COMPATIBLE WITH THE STRUCTURE OR WOODCORE) AT LEAST AS HIGH AS THE CONTAINER. THE OPEN SIDE TO THE DUMPSTER OR OTHER TRASH RECEPTACLE IS A GATE CONSTRUCTED OF SOLID WOOD OR METAL. THE DUMPSTER IS ORIENTED FOR PICKUP BY A FRONT LOAD GARBAGE TRUCK.
- FOR 90 GALLON ROLL OUT CONTAINER STORED OUTSIDE, IT IS REQUIRED TO BE ENCLOSED BY PRIVACY FENCE.
- FIRE LANE STRIPING: FIRE APPARATUS ACCESS ROADS SHALL BE CONTINUOUSLY MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX INCHES (6") IN WIDTH TO SHOW THE BOUNDARIES OF THE LANE. THE WORDS "FIRE LANE TOW AWAY ZONE" OR "FIRE ZONE TOW AWAY ZONE" SHALL APPEAR IN FOUR INCH (4") WHITE LETTERS AT 25 FEET INTERVALS OR LESS. ON THE RED BORDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANES, WHERE A CURB IS AVAILABLE, THE STRIPING SHALL BE ON THE VERTICAL FACE OF THE CURB.
- FIRE LANE SIGNS: SIGNS SHALL READ "FIRE LANE TOW AWAY ZONE" OR "FIRE ZONE TOW AWAY ZONE" AND SHALL BE 12" WIDE AND 18" HIGH. SIGNS SHALL BE PAINTED ON A WHITE BACKGROUND WITH LETTERS AND BORDERS IN RED, USING NOT LESS THAN 2" LETTERING. SIGNS SHALL BE PERMANENTLY AFFIXED TO A STATIONARY POST AND THE BOTTOM OF THE SIGN SHALL BE SIX FEET, SIX INCHES (6'6") ABOVE FINISHED GRADE. SIGNS SHALL BE SPACED NOT MORE THAN THIRTY-FIVE FEET (35') APART. SIGNS MAY BE INSTALLED ON PERMANENT BUILDINGS OR WALLS OR AS APPROVED BY THE FIRE CODE OFFICIAL.
- ALL DIMENSIONS ARE SHOWN ON DIMENSION CONTROL PLAN AND ARE FACE OF CURB TO FACE OF CURB EXCEPT WHERE NOTED OTHERWISE.
- REFERENCE PHOTO METRIC PLAN FOR SITE LIGHTING & ELECTRICAL PLAN.
- REFERENCE DETAIL SHEET FOR DUMPSTER ENCLOSURE DETAIL.
- REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING APPURTENANCES, BUILDING DIMENSIONS, DOOR LOCATIONS, AND EXITS.
- IRRIGATION SLEEVES SHALL BE SET 14" BELOW GRADE AT PAVED DRIVEWAYS OR SIDEWALK AREAS.
- THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGES TO EXISTING UTILITIES.
- ALL EASEMENTS ARE SHOWN ON THIS PLAN, AS DISCOVERED DURING TITLE SURVEY RESEARCH.
- ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF TYPE FIXTURES.
- LIGHT SOURCES SHALL BE COMPLETELY CONCEALED WITHIN OPAQUE HOUSINGS AND SHALL NOT BE VISIBLE FROM ADJACENT STREETS OR PROPERTIES.
- CONTRACTOR SHALL COORDINATE WITH TxDOT PRIOR TO COMMENCEMENT OF ANY WORK IN THE RIGHT-OF-WAY.
- ACCESSIBLE ROUTE SHALL COMPLY WITH ALL CITY, STATE & FEDERAL REGULATIONS. ACCESSIBLE ROUTE SHALL IN NO CASE EXCEED A RUNNING SLOPE OF 5%, NOR SHALL THE CROSS SLOPE EXCEED 2%.
- A PRE-CONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.
- ALL HANDICAP RAMPS AND PARKING SPACES SHALL MEET STATE AND ADA STANDARDS. EACH HANDICAP PARKING SPACE SHALL HAVE REQUIRED IDENTIFYING SIGNAGE AND MARKINGS.
- ALL DRIVE AISLES SHALL BE HEAVY DUTY ASPHALT. AS AN OPTION, CONTRACTOR MAY INSTALL LIGHT DUTY ASPHALT IN ALL PARKING AREAS.
- WHEN CONNECTING PROPOSED PAVEMENT TO EXISTING PAVEMENT, SAW CUT AND REMOVE MINIMUM 1' OF EXISTING PAVEMENT OR MINIMUM OF 1' PAST EDGE OF UNSATISFACTORY PAVEMENT, WHICHEVER IS GREATER.
- HOURS OF OPERATION TO THE GENERAL PUBLIC IS LIMITED TO BETWEEN 5:00 A.M. AND 10:00 P.M. SUNDAY THROUGH THURSDAY, AND 5:00 A.M. TO 11:00 P.M. FRIDAY AND SATURDAY.

DRY UTILITY NOTES - 2023

PROJECT NOTES:

- CONTRACTOR SHALL MAINTAIN MINIMUM 24" CLEARANCE FROM ALL EXISTING UTILITIES.
- FOR PUBLIC WATER & WASTEWATER LINE EMERGENCIES, CONTACT THE CITY OF LEANDER PUBLIC WORKS EMERGENCY 24-HOUR ON-CALL LINE AT 512-690-4760.
- THE CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM AT 1-800-344-8377 FOR EXISTING UTILITY LOCATIONS 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES THAT ARE TO BE EXTENDED, TIED TO, CROSSED, OR ALTERED, OR SUBJECT TO DAMAGE/INCONVENIENCE BY THE CONSTRUCTION OPERATIONS.
- CONTACT THE CITY OF LEANDER PUBLIC WORKS DEPARTMENT FOR EXISTING WATER, WASTEWATER, STREET LIGHT ELECTRICAL, WIRING, AND TRAFFIC SIGNAL WIRING LOCATIONS A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
 - LOCATE REQUESTS MUST INCLUDE A COPY OF YOUR 811 TICKET.
 - REFRESH ALL LOCATES BEFORE 14 DAYS – LOCATE REFRESH REQUESTS MUST INCLUDE A COPY OF YOUR 811 TICKET. TEXAS PIPELINE DAMAGE PREVENTION LAWS REQUIRE THAT A LOCATE REFRESH REQUEST BE SUBMITTED BEFORE 14 DAYS, OR IF LOCATION MARKERS ARE NO LONGER VISIBLE.
 - REPORT ALL DAMAGE TO CITY INFRASTRUCTURE IMMEDIATELY – IF YOU WITNESS OR EXPERIENCE EXCAVATION DAMAGE, PLEASE CONTACT THE CITY OF LEANDER PUBLIC WORKS DEPARTMENT BY PHONE. IF DAMAGE IS WITNESSED OR EXPERIENCED AFTER HOURS, CALL THE CITY OF LEANDER UTILITIES ON-CALL LINE AT THE NUMBER LISTED ABOVE.
- A PRECONSTRUCTION CONFERENCE SHALL BE HELD WITH THE CONTRACTOR, DESIGN ENGINEER/PERMIT APPLICANT & CITY OF LEANDER REPRESENTATIVES PRIOR TO INSTALLATION OF EROSION/SEDIMENTATION CONTROLS & TREE PROTECTION MEASURES AS WELL AS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CITY OF LEANDER PLANNING DEPARTMENT AT 512-528-2750 AT LEAST THREE (3) DAYS PRIOR TO MEETING DATE.
- CITY OF LEANDER NOISE ORDINANCE PROHIBITS CONSTRUCTION ACTIVITY BETWEEN THE HOURS OF 9 PM AND 7 AM. REQUESTS FOR EXCEPTIONS TO THE ORDINANCE MUST BE MADE TO LEANDER CITY COUNCIL.
- CONTRACTOR SHALL BORE UNDER ALL DRIVEWAYS, STREET CROSSINGS AND OTHER PAVED AREAS. OPEN CUT CROSSING SHALL NOT BE ALLOWED.
- CONTRACTOR SHALL REPLACE ALL DAMAGED PAVEMENT, CURB & GUTTER, SIDEWALK, CURB INLETS AND ALL OTHER INFRASTRUCTURE DAMAGED BY CONSTRUCTION PER CITY OF LEANDER STANDARDS & SPECIFICATIONS.
- AL CLAWSON DISPOSAL, INC. SHALL BE THE SOLE PROVIDER OF WASTE HAULING FOR THIS SITE BOTH DURING AND AFTER CONSTRUCTION.
- ALL UNDERGROUND UTILITY LINES SHALL CROSS UNDERNEATH WATERLINES.
- THE MINIMUM DEPTH OF COVER FOR UTILITY LINES INSTALLED UNDER CITY OF LEANDER ROADWAYS SHALL BE 36" BENEATH FINISHED GRADE.

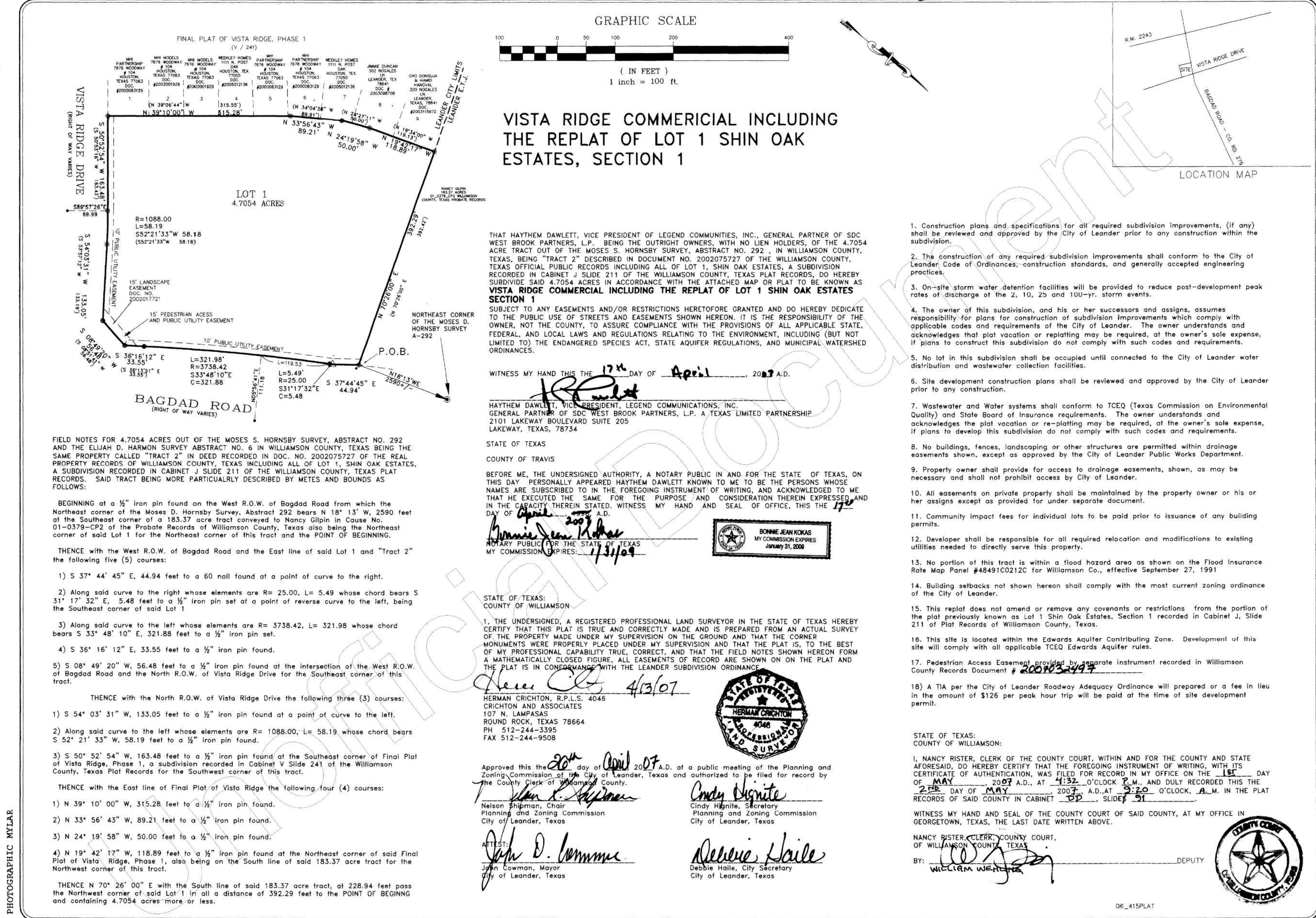
EROSION CONTROL & RESTORATION:

- THE CITY OF LEANDER ENVIRONMENT INSPECTOR HAS THE AUTHORITY TO ADD OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- ALL AREAS DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL BE RESTORED WITH A MINIMUM OF 6" TOPSOIL. THE 6" MINIMUM SOIL DEPTH SHALL CONSISTS OF 75% SOIL BLENDED WITH 25% COMPOST.
- ALL DISTURBED AREAS SHALL BE RE-VEGETATED USING ONLY APPROVED GRASSES FROM THE GROW GREEN GUIDE.

CABINET DD

SLIDE 91

DOC.# 2007036063

CIVIL & STRUCTURAL
ENGINEERING
AUSTIN / HOUSTONTDI Engineering, LLC
5905 Old Fredericksburg Road, Suite 300
Austin, TX 78749
512-301-3389 | www.tdi-llc.net

*THINK DESIGN innovate, integrate, implement...

*
TDI
ENGINEERING

04/01/2025

FIRM REG. # F-8601

BAGDAD FUNERAL HOME
SITE DEVELOPMENTS
SCI SHARED RESOURCES, LLC

PLAT

PROJECT #
1038-109ISSUE DATE
04/07/25PROJECT MGR: L.CHALLIS
DESIGNER: J.S./A.J.
DRAWN BY: A.JONESSHEET
3
3 OF 25THIS DOCUMENT IS FOR REFERENCE
ONLY AND IS NOT TO SCALE.

SD-24-0194

Drawing: \\W0219\dwg\Projects\1038 - NV\1038-109 - WCF Darter of Bagdad\Civil\Drawings\1038-109 WCF Bagdad_SDP.dwg
User: LUCCHALLIS
Last Modified: Apr 01, 2025 - 16:54
Plot Date/Time: Apr 01, 2025 - 16:58:38

LEGAL DESCRIPTION:

BEING ALL OF LOT 1, VISTA RIDGE COMMERCIAL, INCLUDING THE REPLAT OF LOT 1 SHIN OAK ESTATES, SECTION 1, A SUBDIVISION IN WILLIAMSON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET DD, SLIDE 91, OF THE MAP AND PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS.

BEARING BASIS:

ALL BEARINGS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, GRID NORTH, CENTRAL ZONE, (4203), NAD83. ALL DISTANCES WERE ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.000139817260.

SURVEY CONTROL:

CONTROL FOR THIS SURVEY IS BASED ON A 1/2" IRON ROD WITH "4WARD CONTROL" CAP SET, GRID COORDINATES (STATE PLANE TEXAS CENTRAL - 4203) AND ELEVATIONS (NAV88) SHOWN HEREON WERE COMPUTED FROM NGS O.P.U.S. SOLUTION REPORT DERIVED FROM 4WARD STATIC DATA COLLECTED AUGUST 08, 2023.

UTILITY NOTE:

THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED (UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR GRAPHIC REPRESENTATION ONLY) ALTHOUGH THE DOBBS ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES ONLY THE VISIBLE ABOVE GROUND UTILITY STRUCTURES.

FLOODPLAIN NOTE:

THIS PROPERTY IS LOCATED WITHIN ZONE "X" (UNSHADED), AREAS OF MINIMAL FLOOD HAZARD, AS SHOWN ON F.I.R.M. MAP NO. 48491C04055, WILLIAMSON COUNTY, TEXAS AND INCORPORATED AREAS, MAP REVISED DECEMBER 20, 2019.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

BENCHMARK NOTE:

TBM #1 - MAG NAIL WITH "4WARD" WASHER SET IN CONCRETE SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±64' SOUTHEAST OF A TRAFFIC SIGN LABELED "30 MPH" FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE, AND ±335' SOUTHWEST OF A WASTEWATER MANHOLE FOUND WITHIN VISTA RIDGE DRIVE. ELEVATION = 1,043.17.

TBM #2 - MAG NAIL WITH "4WARD" WASHER SET IN SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±222' SOUTHWEST OF A STORM SEWER MANHOLE WITHIN VISTA RIDGE DRIVE, AND ±238' SOUTHWEST OF A FIRE HYDRANT FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE. ELEVATION = 1,047.32.

GENERAL NOTES:

1. PROPERTY ADDRESS: 301 S BAGDAD RD, LEANDER, TX 78641
2. THE LOCATION OF FENCES AND THE SIZE AND LOCATION OF UTILITY STRUCTURES, (IF SHOWN), MAY BE EXAGGERATED FOR GRAPHICAL CLARITY.
3. ADDITIONAL NUMBERS (IF SHOWN) IN THE TREE LIST AT THE END OF THE TREE DESCRIPTION, REPRESENT THE SIZES AND NUMBER OF MULTI-TRUNK TREES.
4. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON UTILITY MAPS PROVIDED BY THE VARIOUS UTILITY COMPANIES.
5. THERE WERE NO BUILDINGS ON THIS TRACT AT THE TIME OF THE ON-THE-GROUND FIELD SURVEY.
6. THERE WERE NO STRIPED PARKING SPACES ON THIS SITE AT THE TIME OF SURVEY.

TITLE COMMITMENT NOTES:

COMMITMENT FOR TITLE INSURANCE PREPARED BY: FIRST AMERICAN TITLE GUARANTY COMPANY
G.F. NO: 1-220339
EFFECTIVE DATE: JUNE 22, 2023
ISSUED: JULY 6, 2023

THE SURVEYOR HAS RELIED UPON THE REFERENCED COMMITMENT FOR TITLE REGARDING EASEMENTS, RESTRICTIONS, AND OTHER MATTERS AFFECTING THIS PROPERTY. NO ADDITIONAL RESEARCH WAS DONE FOR THE PURPOSE OF THIS SURVEY. ITEMS LISTED ARE WORDED ACCORDING TO THE COMMITMENT, FOLLOWED BY SURVEYOR'S NOTES AND/OR OBSERVATIONS SHOWN IN BRACKETS. []

- 1) THE FOLLOWING RESTRICTIVE COVENANTS OF RECORD ITEMIZED BELOW:
CABINET J, SLIDE 211, PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS, CABINET DD, SLIDE 91, PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS. [SUBJECT TO]

- 10) THE FOLLOWING MATTERS AND ALL TERMS OF THE DOCUMENTS CREATING OR OFFERING EVIDENCE OF THE MATTERS:
F. ALL TERMS, PROVISIONS, COVENANTS, AGREEMENTS, RIGHTS, DEDICATIONS, EASEMENTS, BUILDING SETBACK LINES, RESTRICTIONS AND CONDITIONS, AS SET OUT IN THE FOLLOWING DEED AND PLAT RECORDS: CABINET A, SLIDE 211 AND CABINET DD, SLIDE 91, MAP AND PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS. [SUBJECT TO]

- G. DRAINAGE EASEMENT TO CITY OF LEANDER, TEXAS, RECORDED IN DOCUMENT NO. 2001075133, OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS. [DOES NOT AFFECT]

- H. LANDSCAPE EASEMENT TO LEANDER VISTA RIDGE HOMEOWNERS ASSOCIATION, INC., RECORDED IN DOCUMENT NO. 200207723, OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS. [SUBJECT TO - SHOWN ON SURVEY]

- I. ELECTRIC UTILITY EASEMENT TO PEDERNALES ELECTRIC COOPERATIVE, INC., RECORDED IN DOCUMENT NO. 2004067877, OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS. [DOES NOT AFFECT]

- J. SIDEWALK EASEMENT TO CITY OF LEANDER, TEXAS, RECORDED IN DOCUMENT NO. 2007032497, OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS. [SUBJECT TO - SHOWN ON SURVEY]

TREE LIST

NUMBER	DESCRIPTION
5000	17" LIVE OAK 12-9
5001	40" LIVE OAK
5002	10" LIVE OAK
5003	8" LIVE OAK
5004	13" LIVE OAK 10-6
5005	11" LIVE OAK
5006	9" LIVE OAK
5007	14" LIVE OAK 10-7
5008	11" LIVE OAK
5009	10" LIVE OAK
5010	20" LIVE OAK 10-9-9
5011	13" LIVE OAK
5012	14" LIVE OAK
5013	9" LIVE OAK
5014	9" LIVE OAK
5015	13" LIVE OAK
5016	12" LIVE OAK
5017	12" LIVE OAK
5018	17" LIVE OAK
5019	12" CEDAR ELM 8-8
5020	9" LIVE OAK
5021	8" LIVE OAK
5022	13" LIVE OAK
5023	12" LIVE OAK 8-8
5024	18" LIVE OAK 10-7-7
5025	11" LIVE OAK
5026	23" LIVE OAK 9-8-8-6-6
5027	13" LIVE OAK 9-7
5028	12" LIVE OAK
5029	11" LIVE OAK
5030	11" LIVE OAK
5031	11" LIVE OAK
5032	8" LIVE OAK
5033	15" LIVE OAK 9-6-6
5034	15" LIVE OAK 10-9
5035	9" LIVE OAK
5036	9" LIVE OAK
5037	23" LIVE OAK 9-9-9-8
5038	8" LIVE OAK
5039	17" LIVE OAK
5040	8" CEDAR
5041	8" LIVE OAK
5042	12" LIVE OAK 8-7
5043	13" LIVE OAK
5044	14" LIVE OAK 9-6-4
5045	25" LIVE OAK 18-14
5046	14" LIVE OAK 10-7
5047	16" LIVE OAK 9-7-6
5048	11" LIVE OAK 8-6
5049	8" HACKBERRY
5050	16" CHINA BERRY 8-8-7
5051	19" LIVE OAK
5052	11" LIVE OAK
5053	17" LIVE OAK

ALTA/NSPS CERTIFICATION:
TO SCI TEXAS FUNDRAISING SERVICES, LLC, LEANDER ASSOCIATES, LTD.,
FIRST AMERICAN TITLE GUARANTY COMPANY:

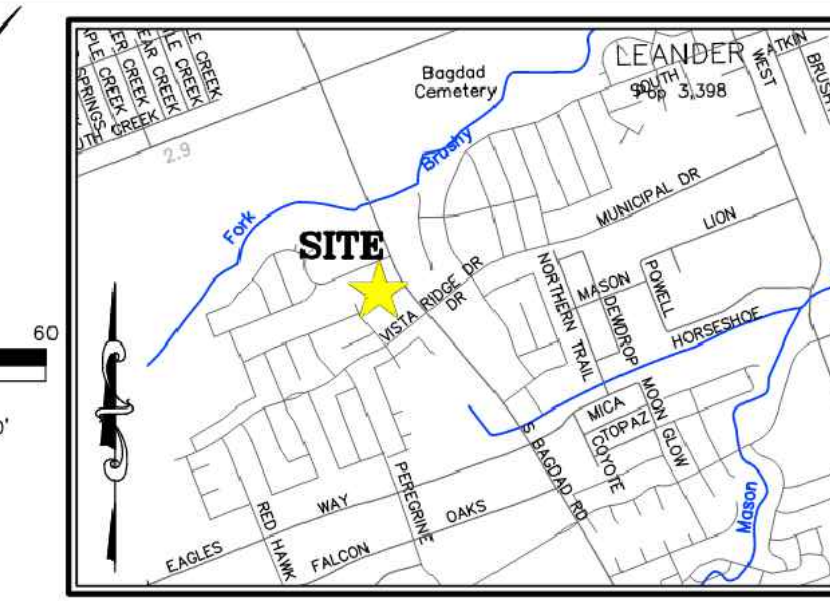
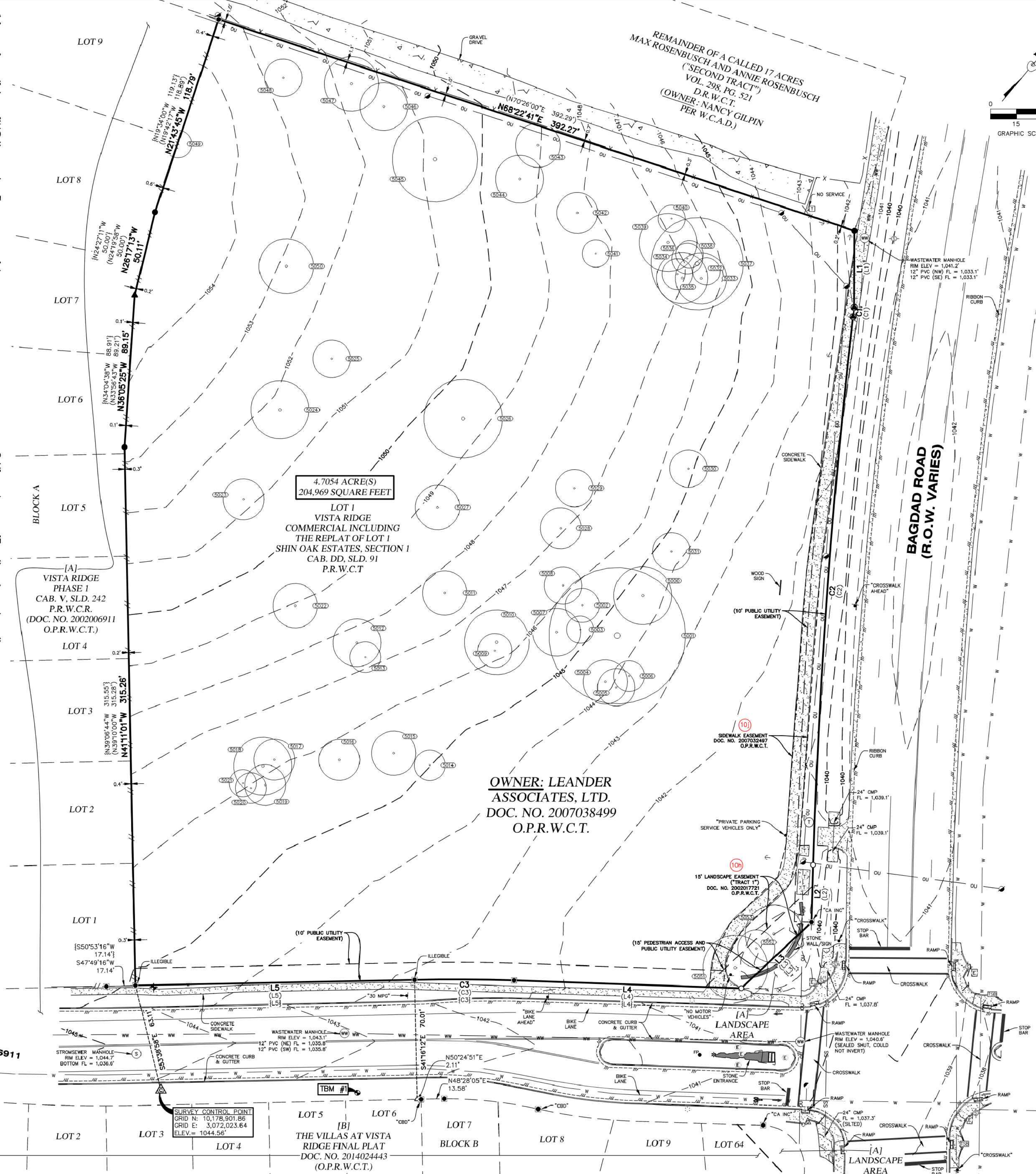
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 6(a), 6(b), 7(c), 8-9, 11(a), 13, AND 16-19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 16, 2023.

JASON WARD, RPLS
TEXAS REGISTRATION NO. 5811



VISTA RIDGE DRIVE
(R.O.W. VARIES)
(AS PLATTED IN DOC. NO. 2002006911
O.P.R.W.C.T.)

NOGALES
LANE
(50' R.O.W.)



LEGEND	
PROPERTY LINE	EXISTING PROPERTY LINES
EXISTING EASEMENTS	CONTOUR LINE
1/2" IRON ROD WITH "4WARD BOUNDARY" CAP SET	MAG WITH "4WARD BOUNDARY" WASHER SET
1/2" IRON ROD FOUND (UNLESS NOTED)	IRON ROD WITH "S & V SURVEYING" CAP FOUND (UNLESS NOTED)
600 NAIL FOUND	CALCULATED POINT
SURVEY CONTROL POINT	BENCHMARK
FLAG POLE	GROUND LIGHT
ELECTRIC JUNCTION BOX	FIRE HYDRANT
TELECOMMUNICATIONS MANHOLE	TELECOMMUNICATIONS BOX
TELECOMMUNICATIONS PEDESTAL	TRAFFIC SIGNAL POLE
TRAFFIC SIGNAL BOX	WATER VALVE
IRRIGATION CONTROL VALVE	WASTEWATER MANHOLE
STORM SEWER MANHOLE	STORM SEWER MANHOLE
POWER/UTILITY POLE	GUY ANCHOR
GAS MARKER POST	LIGHT POLE
WATER METER	BIKE LANE
EDGE OF ASPHALT	WIRE FENCE
WOOD FENCE	OVERHEAD UTILITY
WASTEWATER UTILITY	WATER LINE
STORM SEWER LINE	CONCRETE
PAVERS	CORRUGATED METAL PIPE
POLYVINYL CHLORIDE PIPE	REINFORCED CONCRETE PIPE
FLOW LINE ELEVATION	VOL./PVC
VOLUME, PASE	CAB./S.D.
DOCUMENT NUMBER	R.O.W.
RIGHT-OF-WAY	P.L.T.C.T.
PLAT RECORDS	OFFICIAL PUBLIC RECORDS
WILLIAMSON COUNTY, TEXAS	WILLIAMSON COUNTY, TEXAS
W.C.A.D.	WILLIAMSON COUNTY APPRAISAL DISTRICT
RECORD INFORMATION PER	PLAT CAB. DD, SLD. 91
RECORD INFORMATION PER	PLAT CAB. V, SLD. 241

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S39°47'21"E	44.93'
L2	S38°18'34"E	33.55'
L3	S06°45'57"W	56.49'
L4	S52°00'08"W	133.07'
L5	S48°51'22"W	163.49'

RECORD LINE TABLE		
LINE #	DIRECTION	LENGTH
(L1)	S37°44'45"E	44.84'
(L2)	S36°16'12"E	33.55'
(L3)	S08°49'20"W	56.48'
(L3)	S08°51'41"W	56.48'
(L4)	S54°03'31"W	133.05'
(L4)	S53°57'12"W	133.19'
(L5)	S50°52'54"W	163.48'
(L5)	S50°53'16"W	163.43'

CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	BEARING	DISTANCE
C1	25.00'	5.49'	12°35'03"	S33°19'54"E	5.48'
C2	3,738.42'	321.97'	4°56'04"	S35°50'32"E	321.87'
C3	1,088.00'	58.22'	3°03'58"	S50°17'26"W	58.21'

RECORD CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	BEARING	DISTANCE
(C1)	25.00'	5.49'	12°35'04"	S31°17'32"E	5.48'
(C2)	3,738.42'	321.98'	4°56'05"	S33°48'10"E	321.88'
(C3)	1,088.00'	58.19'	3°03'51"	S52°16'33"W	58.18'
(C3)	1,088.00'	58.22'	3°03'57"	S52°28'14"W	58.21'

ALTA/NSPS LAND TITLE, TOPOGRAPHIC AND TREE SURVEY OF LOT 1, VISTA RIDGE COMMERCIAL, INCLUDING THE REPLAT OF LOT 1, SHIN OAK ESTATES, SECTION 1
City of Leander, Williamson County, Texas

4WARD
Land Surveying
A Limited Liability Company
PO Box 99876, Austin Texas 78709
INFO@4WARDLS.COM (512) 537-2384
TBPELS: FIRM #10174300

Date: 8/17/2023
Project: 01710
Scale: 1" = 30'
Reviewer: J.A.
Technician: J.A.
Field Crew: 05/15
Survey Date: AUG. 2023
Sheet: 1 OF 1
P:\01710\01710.dwg

THIS DOCUMENT IS FOR REFERENCE ONLY AND IS NOT TO SCALE.

CIVIL & STRUCTURAL ENGINEERING
AUSTIN/HOUSTON

TDi ENGINEERING

04/01/2025

FIRM REG. # F-8601

BAGDAD FUNERAL HOME
SITE DEVELOPMENTS

SURVEY

PROJECT #
1038-109

ISSUE DATE
04/07/25

SHEET
4
4 OF 25

*THINK DESIGN innovate, integrate, implement...

TDi ENGINEERING

04/01/2025

FIRM REG. # F-8601

BAGDAD FUNERAL HOME
SITE DEVELOPMENTS

SURVEY

PROJECT #
1038-109

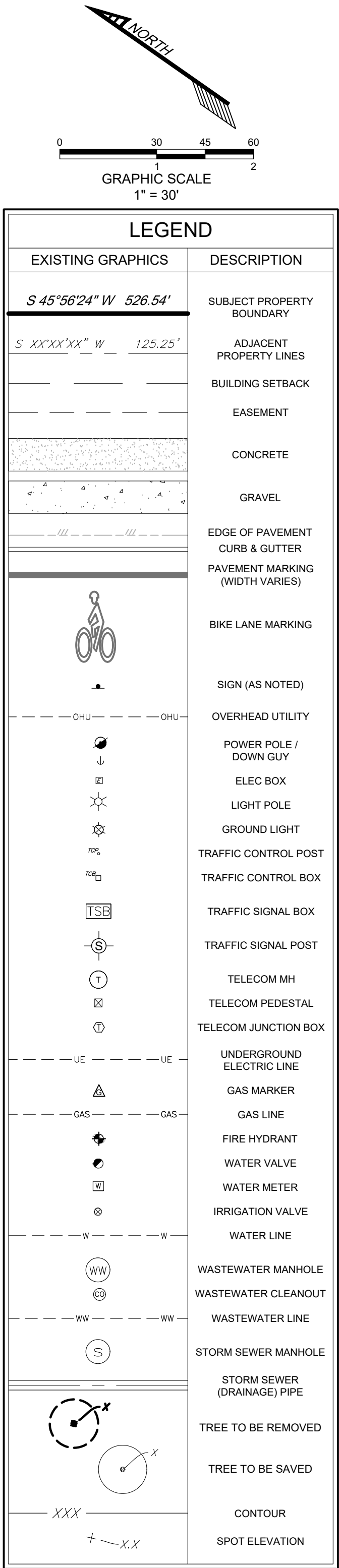
ISSUE DATE
04/07/25

SHEET
4
4 OF 25

PROJECT MGR: L. CHALLIS
DESIGNER: J.S. / A.J.
DRAWN BY: A.JONES

PROJECT: 1038-109
SHEET: 4 OF 25

SD-24-0194



BENCHMARK:

TBM #1- MAG NAIL WITH "4WARD" WASHER SET IN CONCRETE SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±64' SOUTHEAST OF A TRAFFIC SIGNAL LABELED "30 MPH" FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE, AND ±35' SOUTHEAST OF A WASTEWATER MANHOLE FOUND WITHIN VISTA RIDGE DRIVE.
ELEVATION = 1,043.17'.

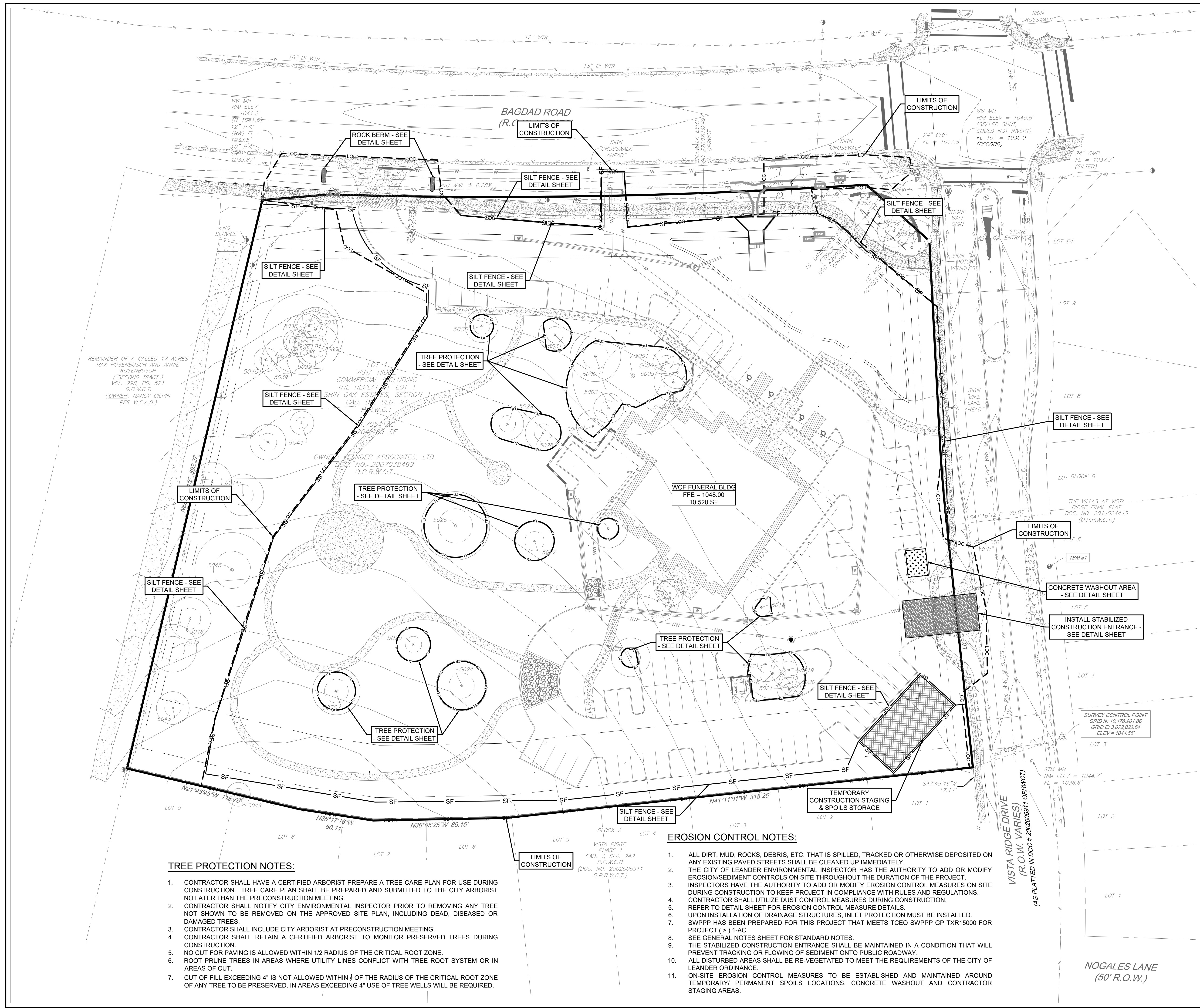
TBM #2- MAG NAIL WITH "4WARD" WASHER SET IN SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±224' SOUTHWEST OF A STORM SEWER MANHOLE WITHIN VISTA RIDGE DRIVE, AND ±238' SOUTHWEST OF A FIRE HYDRANT FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE.
ELEVATION = 1,047.32'.

LEGAL DESCRIPTION:

LOT 1, VISTA RIDGE COMMERCIAL, INCLUDING THE REPLAT OF LOT 1 SHIN OAKS ESTATES, SECTION RECORDED IN CABINET DD, SLIDE 91, Q.P.W.C.T.

SD-24-019

		<p>04/01/2025</p>	
<p>EXISTING CONDITIONS & DEMOLITION PLAN</p>		<p>PROJECT # 1038-109</p>	
<p>ISSUE DATE 04/07/25</p>		<p>PROJECT MGR: L CHALLIS DESIGNER: J.S. / A.J. DRAWN BY: ALJONES</p>	
<p>SHEET 5</p>		<p>5 OF 25</p>	
<p>BAGDAD FUNERAL HOME SITE DEVELOPMENTS</p>		<p>SCI SHARED RESOURCES, LLC</p>	
<p>FIRM REG. # F-8601</p>		<p>04/01/2025</p>	
<p>TDi* ENGINEERING</p>		<p>*THINK DESIGN innovate, implement...</p>	
<p>TDI Engineering, LLC 5905 Old Frederickburg Road, Suite 300 Austin, TX 78749 512-301-3385 www.tdi-llc.net</p>		<p>CIVIL & STRUCTURAL ENGINEERING AUSTIN / HOUSTON</p>	



TREE PROTECTION NOTES:

1. CONTRACTOR SHALL HAVE A CERTIFIED ARBORIST PREPARE A TREE CARE PLAN FOR USE DURING CONSTRUCTION. TREE CARE PLAN SHALL BE PREPARED AND SUBMITTED TO THE CITY ARBORIST NO LATER THAN THE PRECONSTRUCTION MEETING.
2. CONTRACTOR SHALL NOTIFY CITY ENVIRONMENTAL INSPECTOR PRIOR TO REMOVING ANY TREE NOT SHOWN TO BE REMOVED ON THE APPROVED SITE PLAN, INCLUDING DEAD, DISEASED OR DAMAGED TREES.
3. CONTRACTOR SHALL INCLUDE CITY ARBORIST AT PRECONSTRUCTION MEETING.
4. CONTRACTOR SHALL RETAIN A CERTIFIED ARBORIST TO MONITOR PRESERVED TREES DURING CONSTRUCTION.
5. NO CUT FOR PAVING IS ALLOWED WITHIN 1/2 RADIUS OF THE CRITICAL ROOT ZONE.
6. ROOT PRUNE TREES IN AREAS WHERE UTILITY LINES CONFLICT WITH TREE ROOT SYSTEM OR IN AREAS OF CUT.
7. CUT OF FILL EXCEEDING 4" IS NOT ALLOWED WITHIN 1/2 OF THE RADIUS OF THE CRITICAL ROOT ZONE OF ANY TREE TO BE PRESERVED. IN AREAS EXCEEDING 4" USE OF TREE WELLS WILL BE REQUIRED.

EROSION CONTROL NOTES:

1. ALL DIRT, MUD, ROCKS, DEBRIS, ETC. THAT IS SPILLED, TRACKED OR OTHERWISE DEPOSITED ON ANY EXISTING PAVED STREETS SHALL BE CLEANED UP IMMEDIATELY.
2. THE CITY OF LEANDER ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD OR MODIFY EROSION/SEDIMENT CONTROLS ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. INSPECTORS HAVE THE AUTHORITY TO ADD OR MODIFY EROSION CONTROL MEASURES ON SITE DURING CONSTRUCTION TO KEEP PROJECT IN COMPLIANCE WITH RULES AND REGULATIONS.
4. CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING CONSTRUCTION.
5. REFER TO DETAIL SHEET FOR EROSION CONTROL MEASURE DETAILS.
6. UPON INSTALLATION OF DRAINAGE STRUCTURES, INLET PROTECTION MUST BE INSTALLED.
7. SWPPP HAS BEEN PREPARED FOR THIS PROJECT THAT MEETS TCEQ SWPPP GP TXR15000 FOR PROJECT (>) 1-AC.
8. SEE GENERAL NOTES SHEET FOR STANDARD NOTES.
9. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAY.
10. ALL DISTURBED AREAS SHALL BE RE-VEGETATED TO MEET THE REQUIREMENTS OF THE CITY OF LEANDER ORDINANCE.
11. ON-SITE EROSION CONTROL MEASURES TO BE ESTABLISHED AND MAINTAINED AROUND TEMPORARY PERMANENT SPOILS LOCATIONS, CONCRETE WASHOUT AND CONTRACTOR STAGING AREAS.

LEGEND	
GRAPHICS	DESCRIPTION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	STABILIZED CONSTRUCTION ENTRANCE
	CONSTRUCTION STAGING AREA & SPOILS STORAGE
	CONCRETE WASHOUT AREA
	SILT FENCE
	TRIANGULAR FILTER DIKE
	MULCH SOCK
	INLET PROTECTION
	ROCK BERM
	TREE TO BE SAVED
	TREE PROTECTION
	LIMITS OF CONSTRUCTION

BENCHMARK:

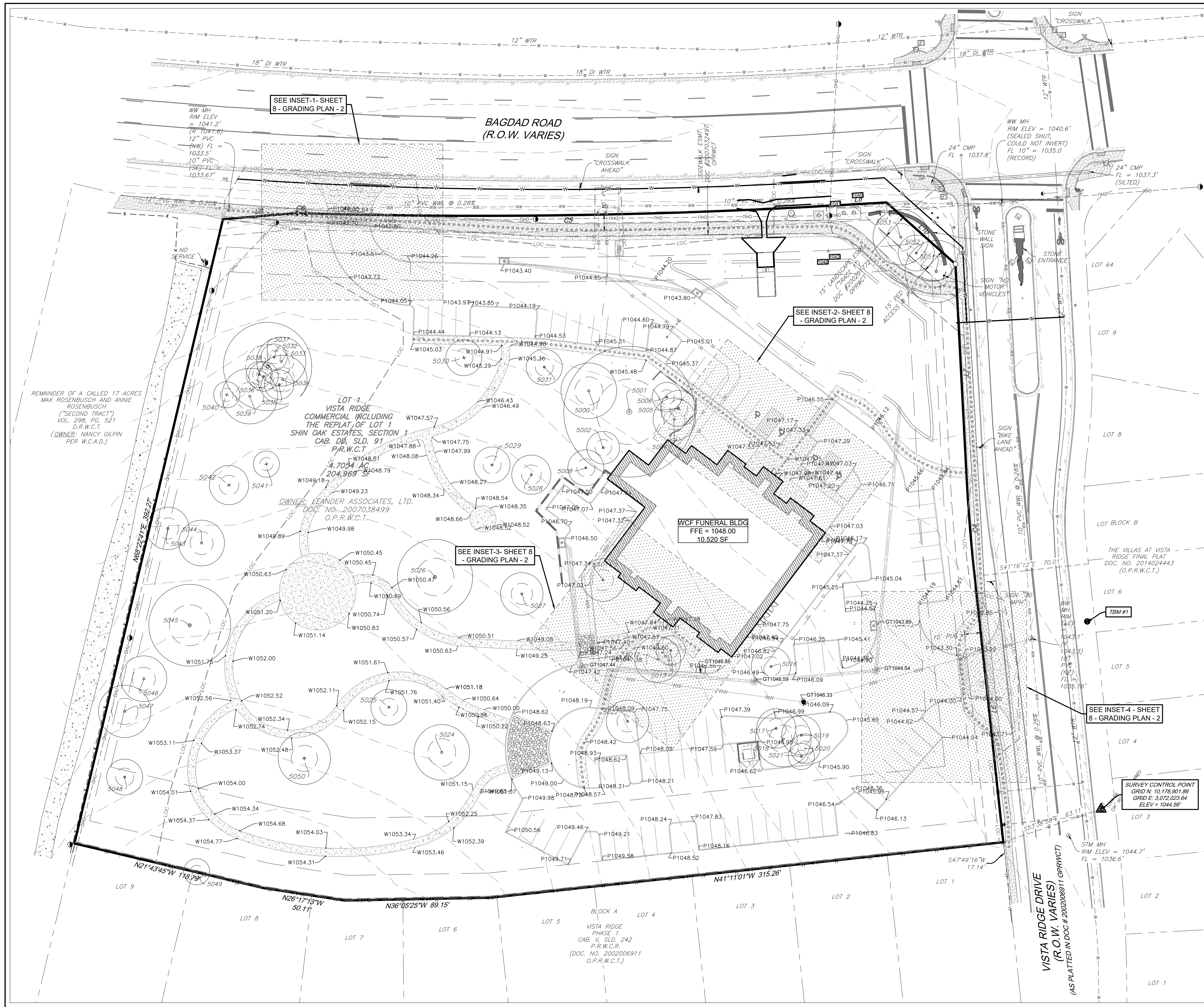
TBM #1- MAG NAIL WITH "4WARD" WASHER SET IN CONCRETE SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±64' SOUTHEAST OF A TRAFFIC SIGN LABELED "30 MPH" FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE, AND ±35' SOUTHWEST OF A WASTEWATER MANHOLE FOUND WITHIN VISTA RIDGE DRIVE. ELEVATION = 1,043.17.

TBM #2- MAG NAIL WITH "4WARD" WASHER SET IN SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±224' SOUTHWEST OF A STORM SEWER MANHOLE WITHIN VISTA RIDGE DRIVE, AND ±238' SOUTHWEST OF A FIRE HYDRANT FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE. ELEVATION = 1,047.32'.

LEGAL DESCRIPTION:

LOT 1, VISTA RIDGE COMMERCIAL, INCLUDING THE REPLAT OF LOT 1 SHIN OAKS ESTATES, SECTION 1, RECORDED IN CABINET DD, SLIDE 91, O.P.R.W.C.T.

Drawing: \\W0219\ad\p\Projects\1038 - NV\1038-109 - WCF\Drawings\Grading\Sheets\1038-109 WCF Bagdad_SDP.dwg
User: LIZECHALLIS
Last Modified: Apr 01, 2025 - 16:54
Plot Date/Time: Apr 01, 2025 - 16:54:38



LEGEND	
GRAPHICS	DESCRIPTION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SPOT ELEVATIONS (EXISTING / PROPOSED)
	STORM SEWER LINE
	STORM SEWER MANHOLE
	GRATE INLET
	CURB INLET
	CURB & GUTTER
	RETAINING WALL
	ADA RAMP
	SWALE CENTERLINE
	TREE TO BE SAVED
	ACCESSIBLE ROUTE
	LIMITS OF CONSTRUCTION

BENCHMARK:

TBM #1- MAG NAIL WITH "4WARD" WASHER SET IN CONCRETE SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±64' SOUTHEAST OF A TRAFFIC SIGN LABELED "30 MPH" FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE, AND ±35' SOUTHEAST OF A WASTEWATER MANHOLE FOUND WITHIN VISTA RIDGE DRIVE. ELEVATION = 1,043.17.

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SD-24-0194

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**BAGDAD FUNERAL HOME
SITE DEVELOPMENTS**

SCI SHARED RESOURCES, LLC

GRADING PLAN - 1

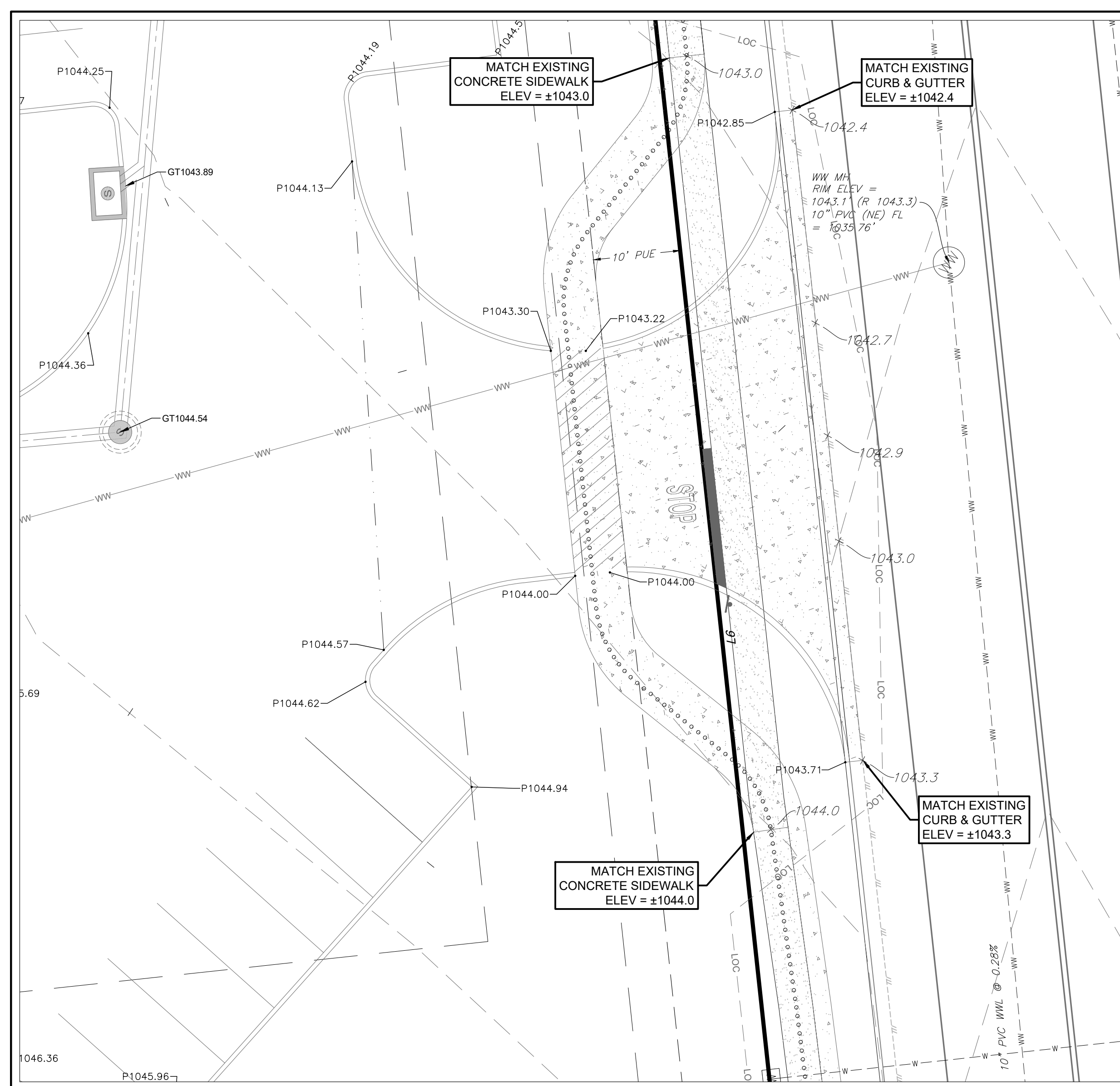
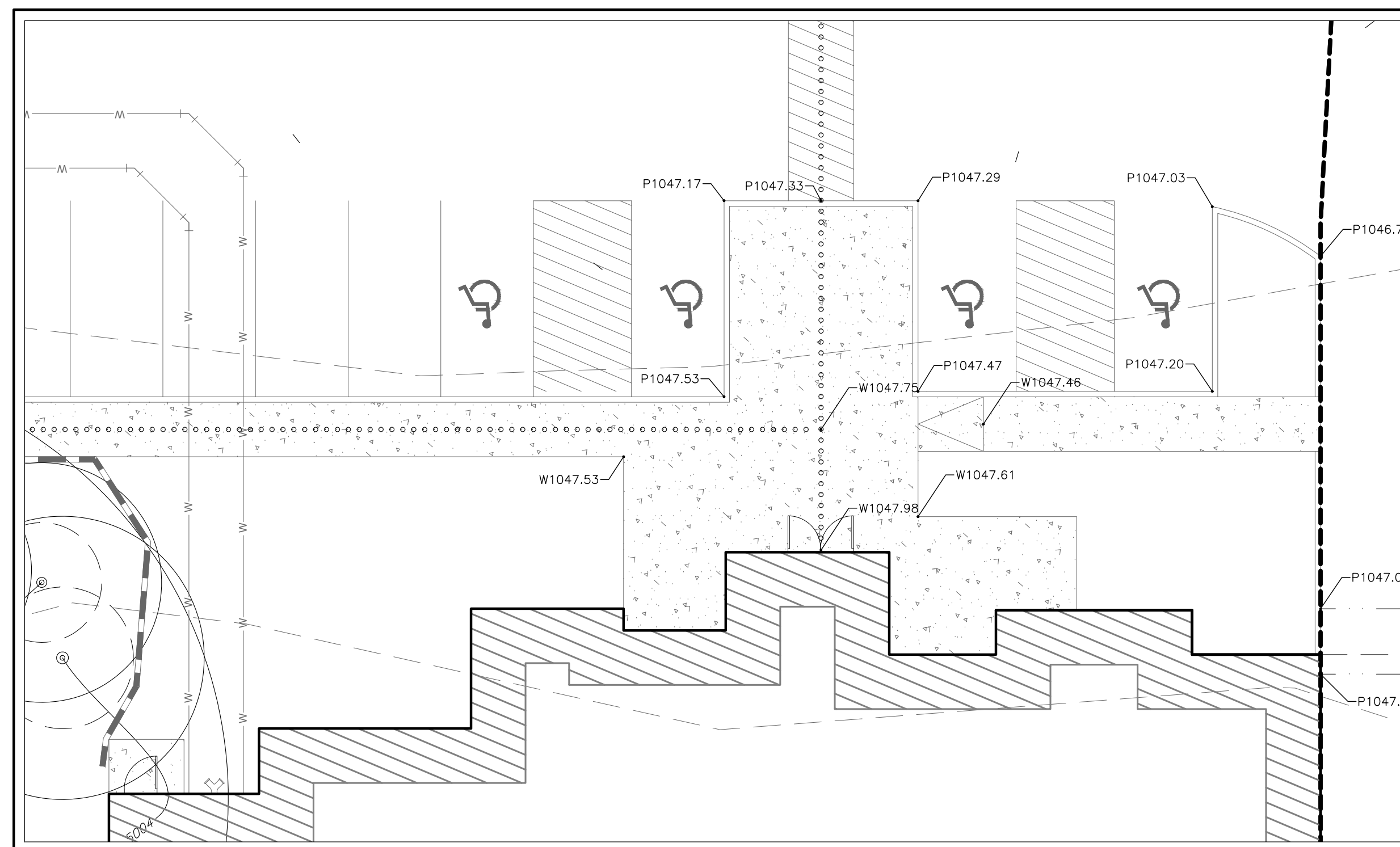
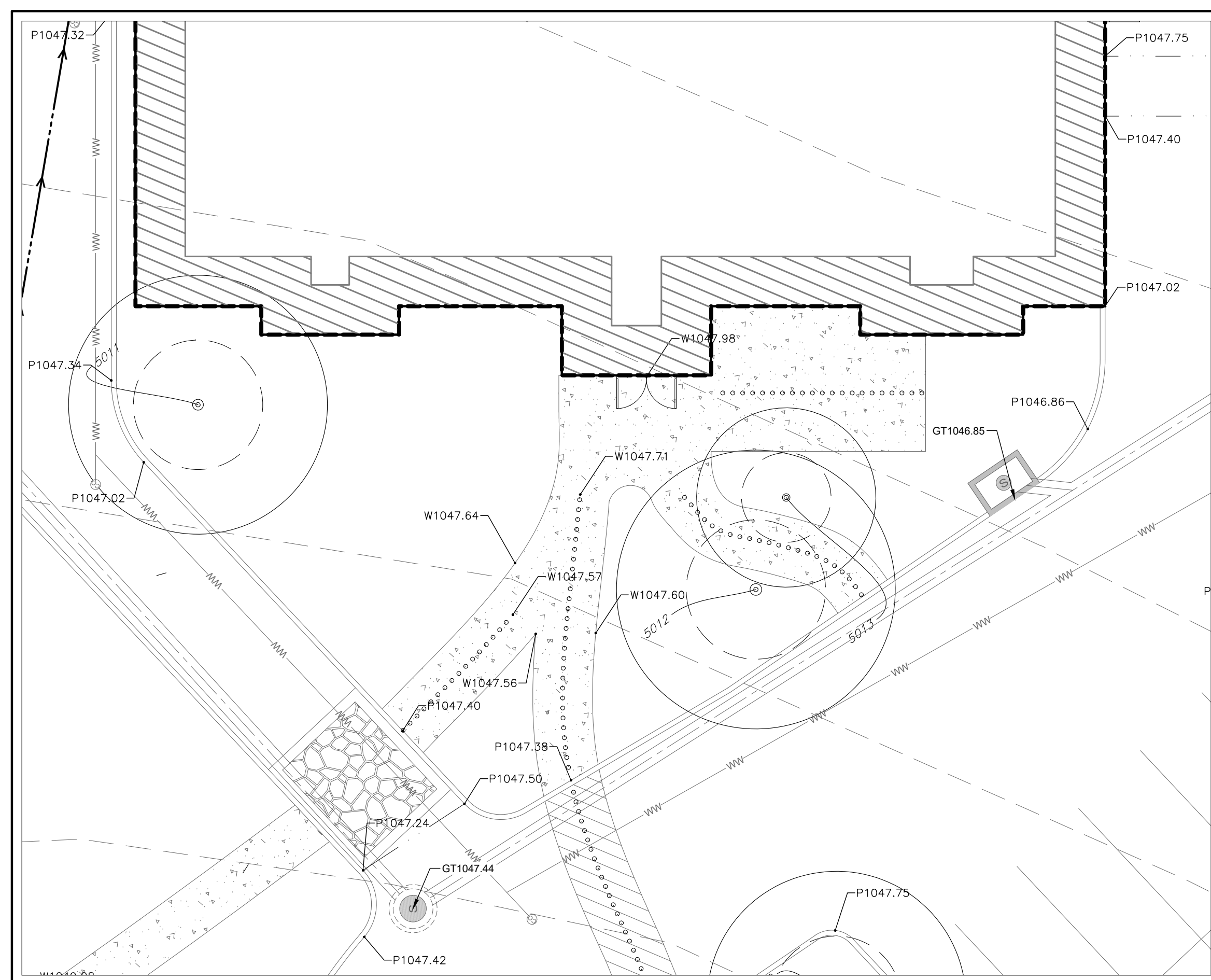
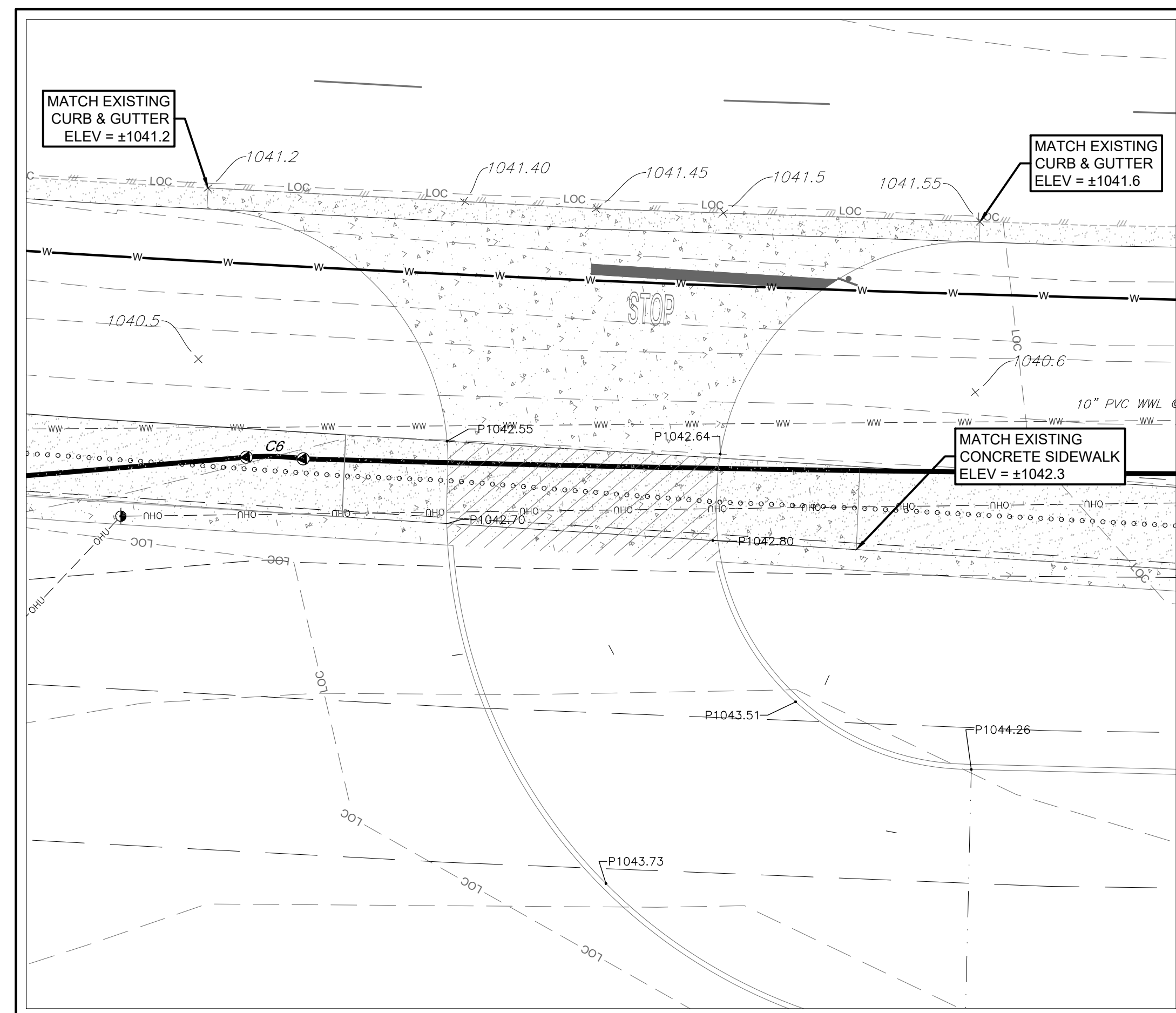
PROJECT #
1038-109

ISSUE DATE
04/07/25

SHEET
7
OF 25

PROJECT MGR: L.CHALLIS
DESIGNER: J.S./A.J.
DRAWN BY: A.JONES

SD-24-0194



GRAPHICS	DESCRIPTION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SPOT ELEVATIONS (EXISTING / PROPOSED)
	STORM SEWER LINE
	STORM SEWER MANHOLE
	GRATE INLET
	CURB INLET
	CURB & GUTTER
	RETAINING WALL
	ADA RAMP
	SWALE CENTERLINE
	TREE TO BE SAVED
	ACCESSIBLE ROUTE
	LIMITS OF CONSTRUCTION

BENCHMARK:

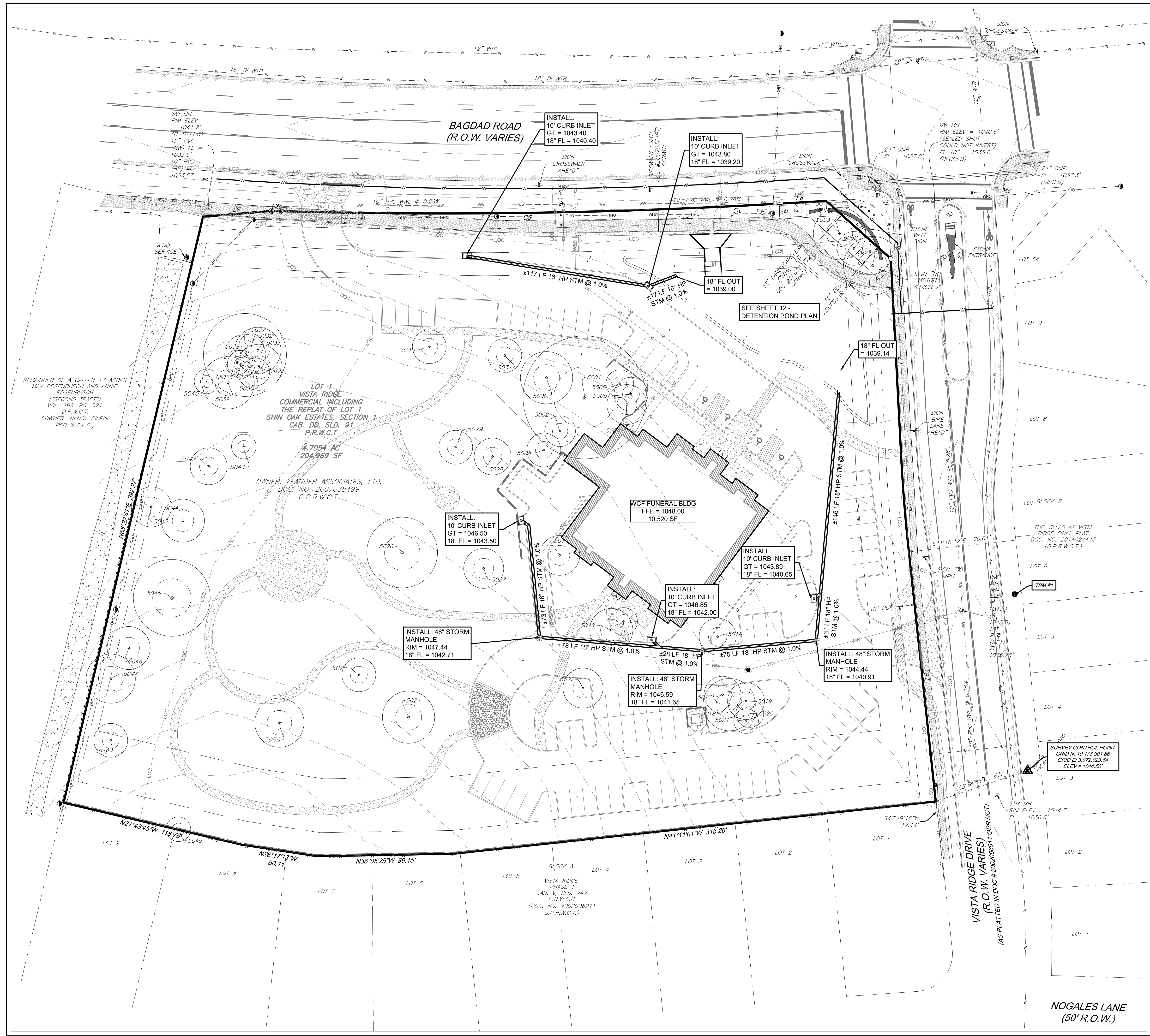
TBM #1- MAG NAIL WITH "4WARD" WASHER SET IN CONCRETE SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±64' SOUTHEAST OF A TRAFFIC SIGN LABELED "30 MPH" FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE, AND ±35' SOUTHEAST OF A WASTEWATER MANHOLE FOUND WITHIN VISTA RIDGE DRIVE.
ELEVATION = 1,043.17'.

TBM #2- MAG NAIL WITH "4WARD" WASHER SET IN
SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE
DRIVE, ±224' SOUTHWEST OF A STORM SEWER
MANHOLE WITHIN VISTA RIDGE DRIVE, AND ±238'
SOUTHWEST OF A FIRE HYDRANT FOUND IN THE
NORTH MARGIN OF VISTA RIDGE DRIVE.
ELEVATION = 1,047.32'

LEGAL DESCRIPTION:

LOT 1, VISTA RIDGE COMMERCIAL, INCLUDING THE
REPLAT OF LOT 1 SHIN OAKS ESTATES, SECTION 1,
RECORDED IN CABINET DD, SLIDE 91, O.P.R.W.C.T.

Drawing: \\W2019\\ad\\proj\\1038 - NV\\1038-109 - WCF\\Drawings\\Civil\\Drawings\\Sheets\\1038-109 WCF Bagdad_SDP.dwg
User: LIZECHALLIS
Last Modified: Apr 01, 2025 - 16:54
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LEGEND	
GRAPHICS	DESCRIPTION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SPOT ELEVATIONS (EXISTING / PROPOSED)
	STORM SEWER LINE
	STORM SEWER MANHOLE
	GRATE INLET
	CURB INLET
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	TREE TO BE SAVED
	ACCESSIBLE ROUTE
	LIMITS OF CONSTRUCTION

BENCHMARK:

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LEGAL DESCRIPTION:

LOT 1, VISTA RIDGE COMMERCIAL, INCLUDING THE REPLAT OF LOT 1 SHIN OAK ESTATES, SECTION 1, RECORDED IN CABINET DD, SLIDE 91, O.P.R.W.C.T.

PROJECT MGR:	LCHALLIS
DESIGNER:	J.S./A.J.
DRAWN BY:	A.JONES

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04/01/2025
LIZE ELIZABETH CHALLIS
148975
PROFESSIONAL ENGINEER
FIRM REG. # F-8601

BAGDAD FUNERAL HOME
SITE DEVELOPMENTS

SCI SHARED RESOURCES, LLC

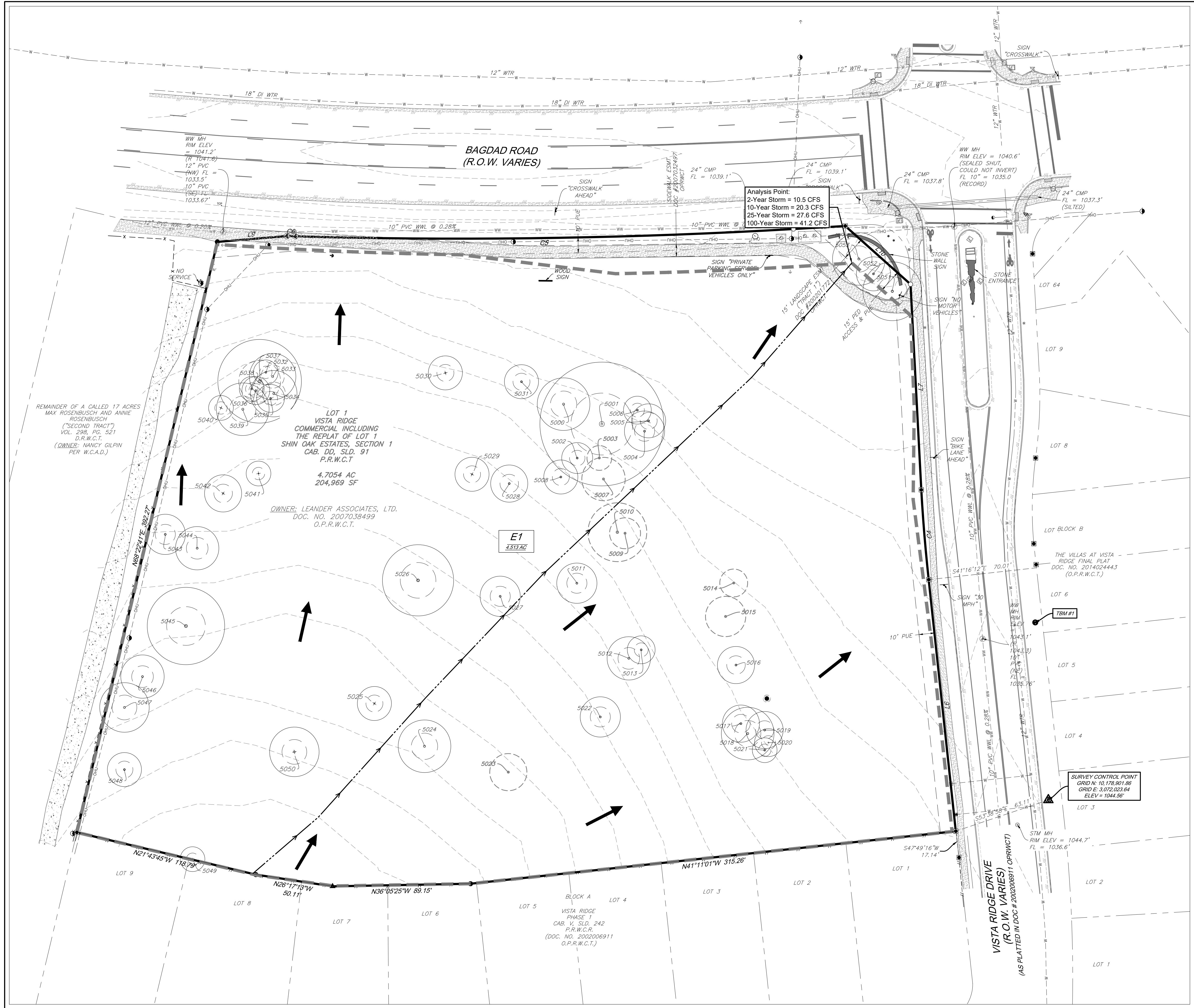
STORM SEWER PLAN

PROJECT #
1038-109

ISSUE DATE
04/07/25

SHEET
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LEGEND	
GRAPHICS	DESCRIPTION
	SUBJECT PROPERTY BOUNDARY
	GRATE INLET
	CURB INLET (SIZE VARIES)
	CONTOUR
	DRAINAGE AREA BOUNDARY
	EXISTING OFFSITE DRAINAGE AREA LABEL
	EXISTING DRAINAGE AREA LABEL
	POINT OF ANALYSIS REF: HEC-HMS MODEL
	FLOW DIRECTION
	EXISTING PATH OF TIME OF CONCENTRATION (ToC)

BENCHMARK:

TBM #1- MAG NAIL WITH "AWARD" WASHER SET IN CONCRETE SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±64' SOUTHEAST OF A TRAFFIC SIGN LABELED "30 MPH" FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE, AND ±35' SOUTHEAST OF A WASTEWATER MANHOLE FOUND WITHIN VISTA RIDGE DRIVE.
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ELEVATION = 1,047.32'

LEGAL DESCRIPTION:

LOT 1, VISTA RIDGE COMMERCIAL, INCLUDING THE REPLAT OF LOT 1 SHIN OAK ESTATES, SECTION 1, RECORDED IN CABINET DD, SLIDE 91, O.P.R.W.C.T.

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BAGDAD FUNERAL HOME
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DRAINAGE AREAS -
EXISTING CONDITIONS

PROJECT #
1038-109

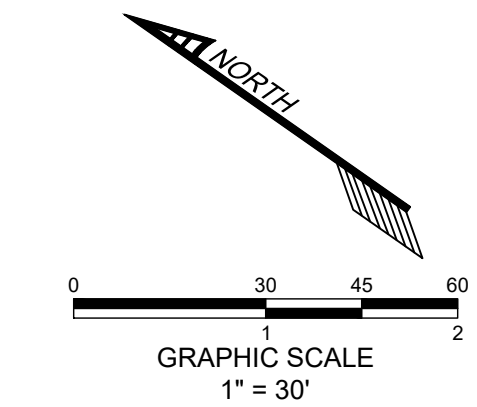
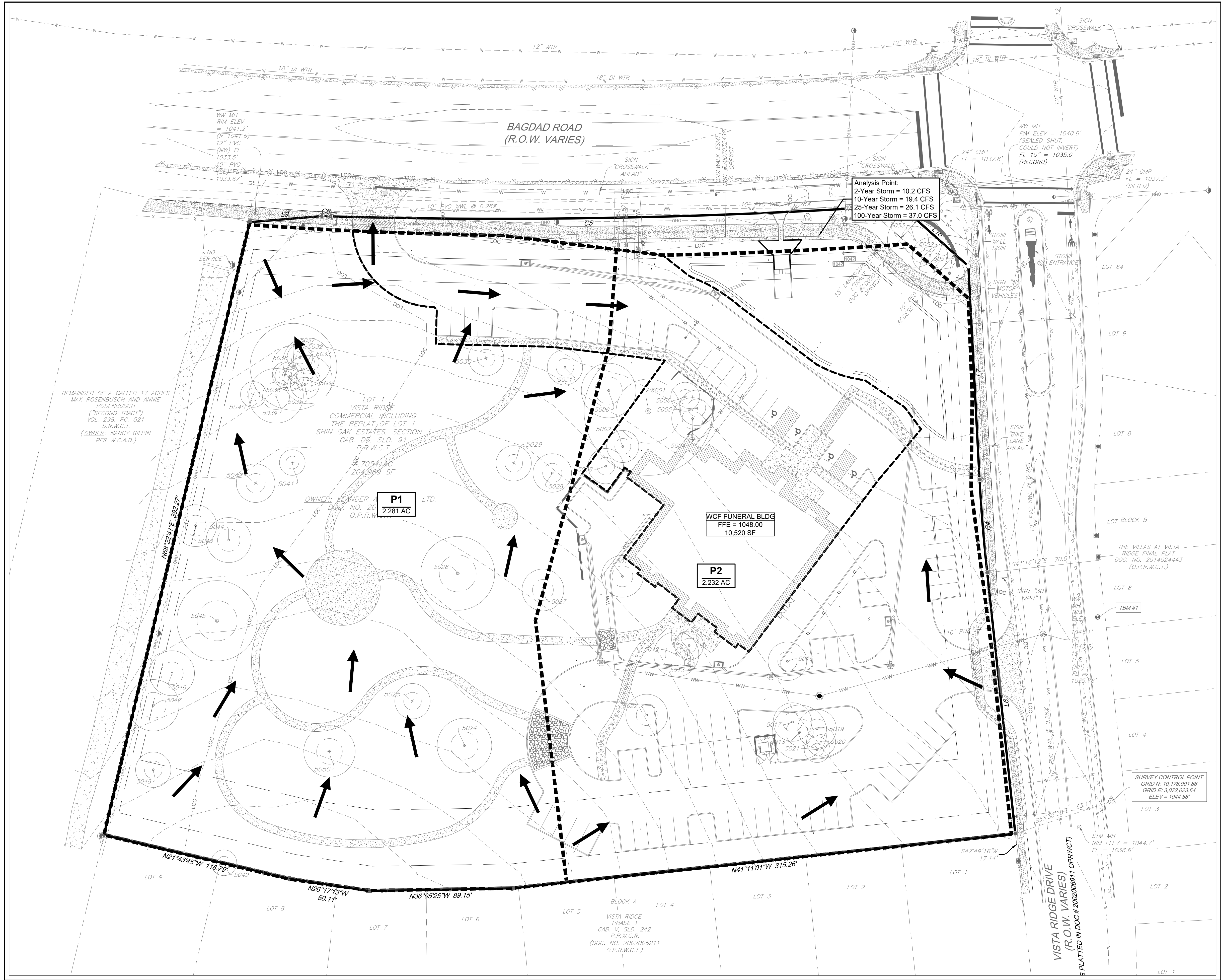
ISSUE DATE
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LEGEND	
GRAPHICS	DESCRIPTION
	SUBJECT PROPERTY BOUNDARY
	GRATE INLET
	CURB INLET (SIZE VARIES)
	CONTOUR
	DRAINAGE AREA BOUNDARY
	BYPASS DRAINAGE AREA LABEL
	DRAINAGE AREA LABEL
	POINT OF ANALYSIS REF: HEC-HMS MODEL
	FLOW DIRECTION
	PROPOSED PATH OF TIME OF CONCENTRATION (TC)

BENCHMARK:

TBM #1- MAG NAIL WITH "4WARD" WASHER SET IN CONCRETE SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±64' SOUTHEAST OF A TRAFFIC SIGN LABELED "30 MPH" FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE, AND ±35' SOUTHWEST OF A WASTEWATER MANHOLE FOUND WITHIN VISTA RIDGE DRIVE. ELEVATION = 1,043.17'

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LOT 1, VISTA RIDGE COMMERCIAL, INCLUDING THE REPLAT OF LOT 1 SHIN OAKS ESTATES, SECTION 1, RECORDED IN CABINET DD, SLIDE 91, O.P.R.W.C.T.

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04/01/2025
STATE OF TEXAS
LIZE ELIZABETH CHALLIS
148975
PROFESSIONAL ENGINEER
FIRM REG. # F-8601

BAGDAD FUNERAL HOME
SITE DEVELOPMENTS
SCI SHARED RESOURCES, LLC

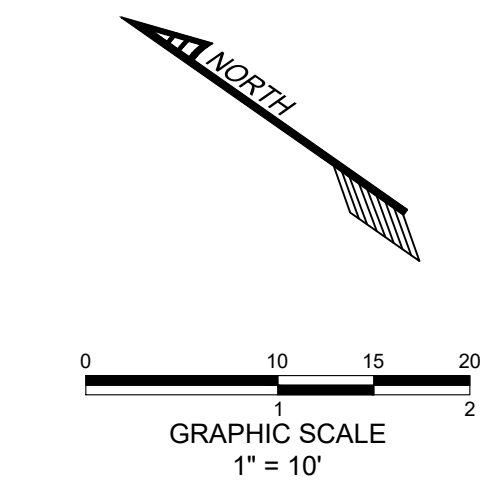
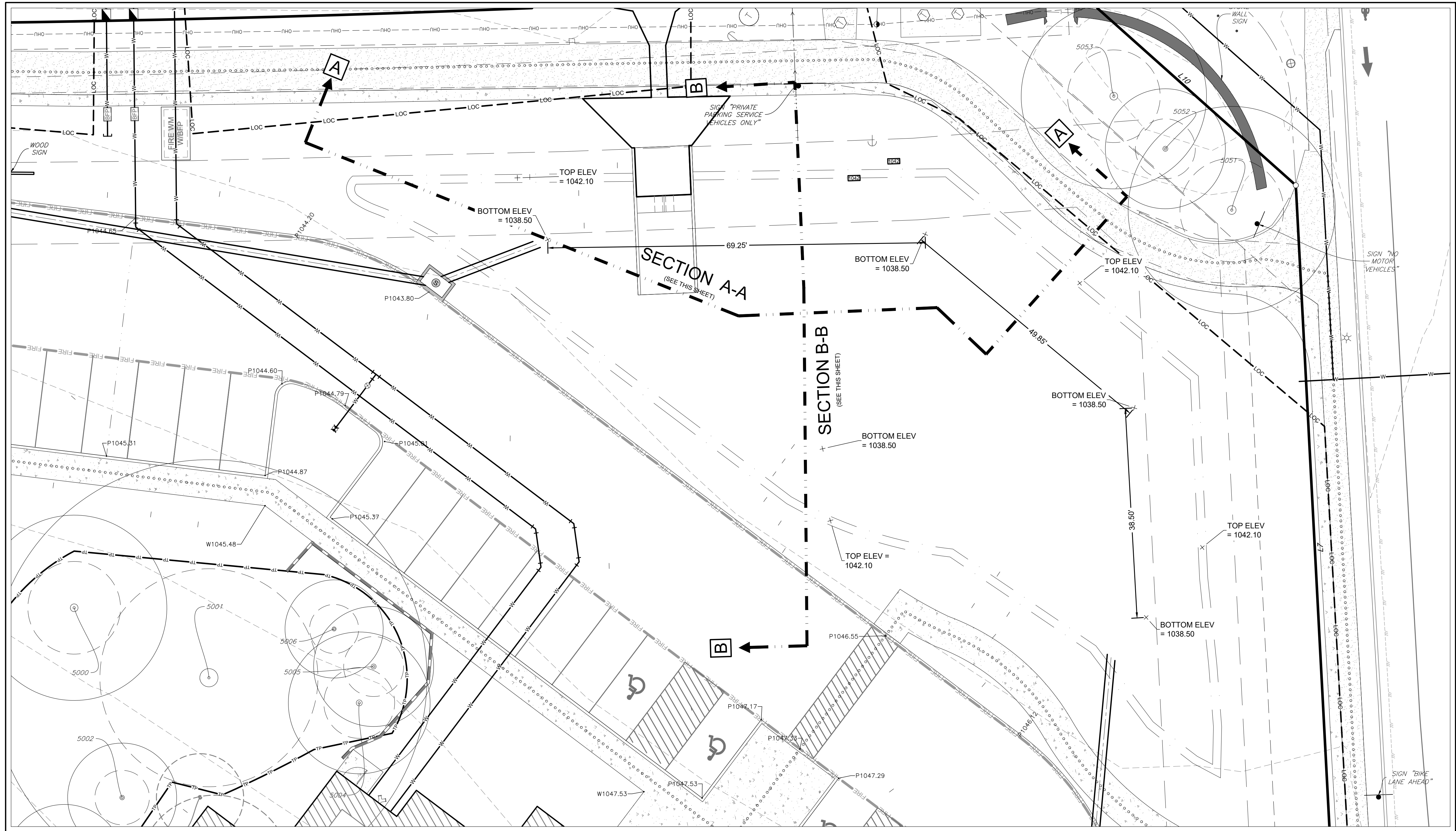
DRAINAGE AREAS
- PROPOSED PLAN
PROJECT #
1038-109
ISSUE DATE
04/07/25

PROJECT MGR: L.CHALLIS
DESIGNER: J.S./A.J.
DRAWN BY: A.JONES

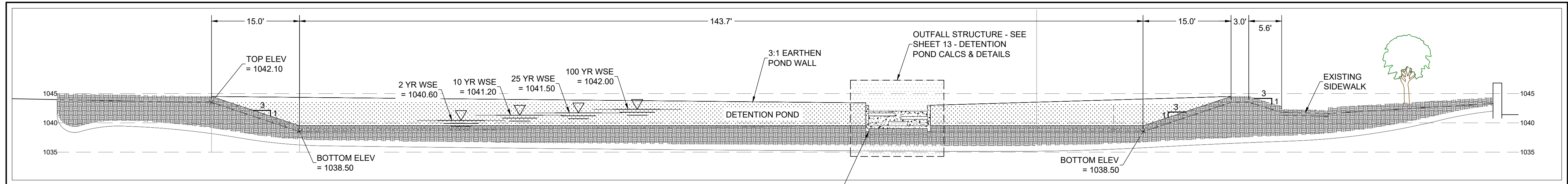
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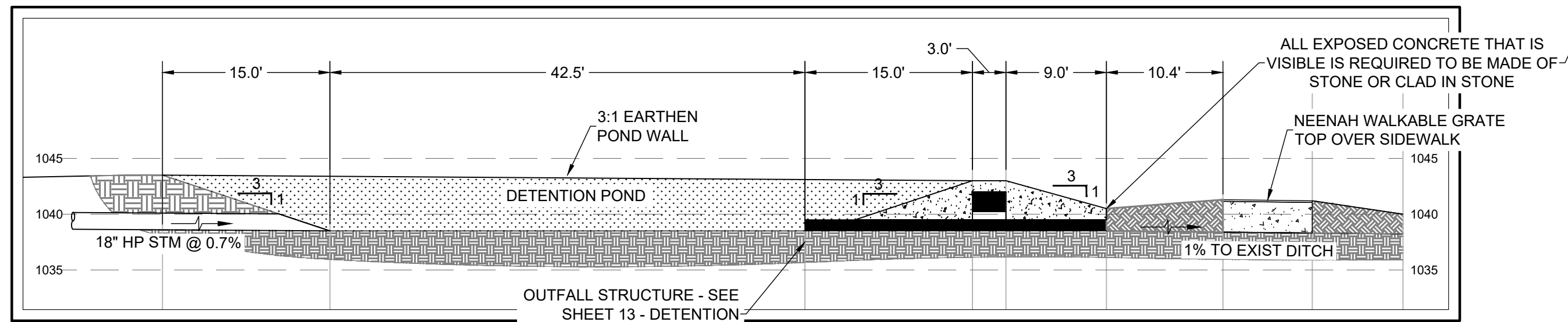
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User: LIZECHALLIS
Last Modified: Apr 01, 2025 - 16:54
Plot Date/Time: Apr 01, 2025 - 16:54:38



LEGEND	
SYMBOL / LABEL	DESCRIPTION
	CONTOUR
	EXISTING CONTOUR
	SPOT ELEVATIONS (EXISTING / PROPOSED)
	POND FENCING & GATE
	DRAIN PIPES & APPURTENANCES
	CONCRETE STORM DRAIN OUTFALL & SLOPE PROTECTION



SECTION A-A
SCALE: 1" = 10'



SECTION B-B
SCALE: 1" = 10'

BENCHMARK:

TBM #1- MAG NAIL WITH "4WARD" WASHER SET IN CONCRETE SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±64' SOUTHEAST OF A TRAFFIC SIGN LABELED "30 MPH" FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE, AND ±35' SOUTHEAST OF A WASTEWATER MANHOLE FOUND WITHIN VISTA RIDGE DRIVE. ELEVATION = 1,043.17'.

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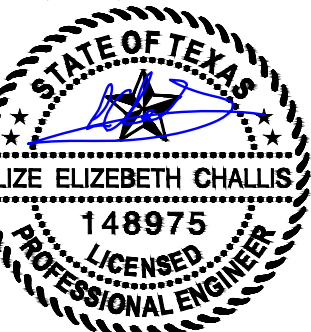
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BAGDAD FUNERAL HOME

SITE DEVELOPMENTS

SCI SHARED RESOURCES, LLC

DETENTION POND PLAN

PROJECT #

1038-109

ISSUE DATE

04/07/25

PROJECT MGR: L.CHALLIS
DESIGNER: U.S./A.J.
DRAWN BY: A.JONES

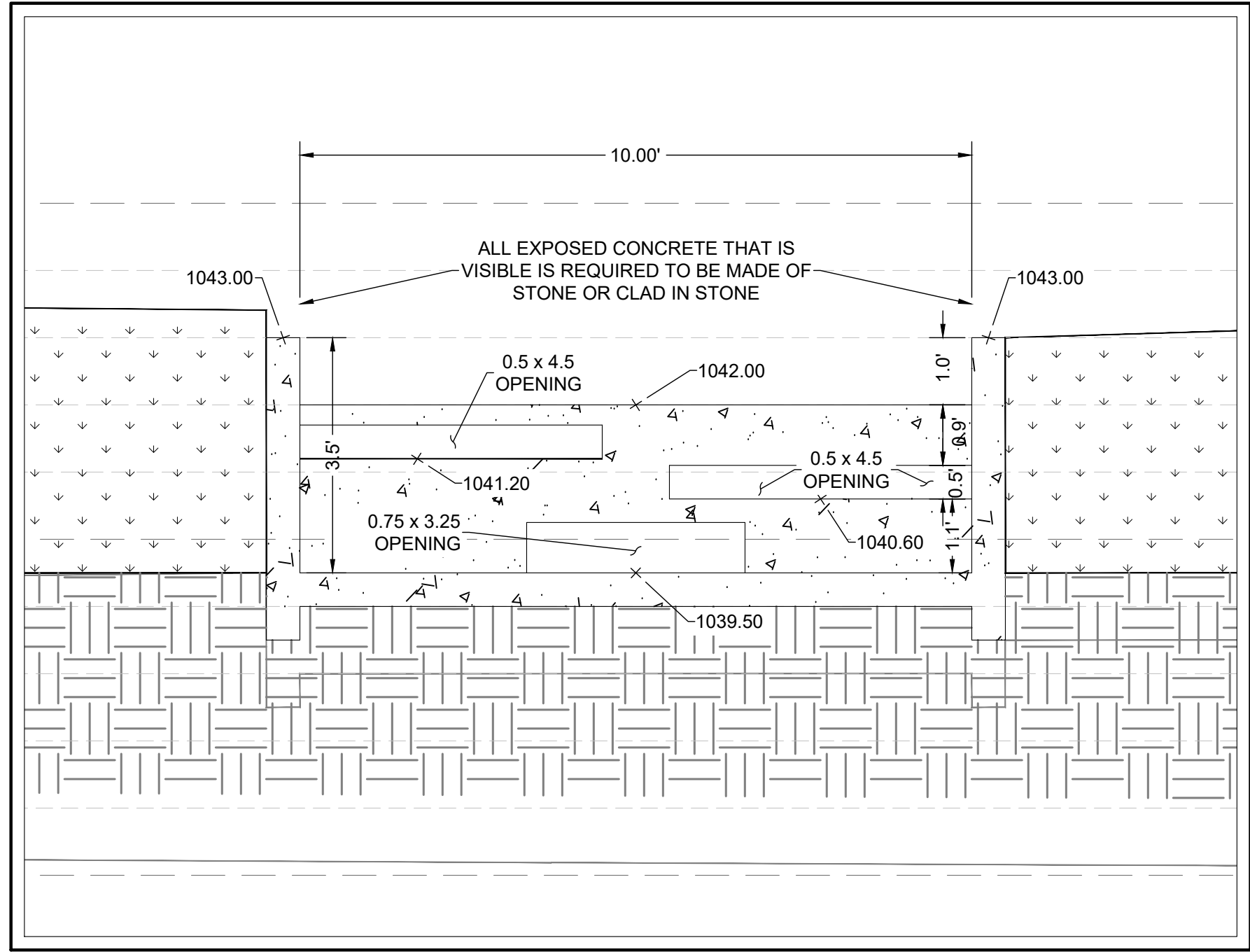
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SECTION C-C
SCALE: 1" = 2'

HEC-HMS Summary of Inputs & Results											
EXISTING											
Drainage Area	Size		Time of Concentration	Lag Time	Impervious Cover**		Composite Run-Off	HEC-HMS Peak Runoff "Q" (cfs)			
	(Ac.)	(mi ²)	(min.)	(min.)	(Ac.)	(%)	CN*	2-Year	10-Year	25-Year	100-Year
	EX-1	4.705	0.007352	11.4	6.8	0.076	1.6%	84	10.5	20.3	27.6
								10.5	20.3	27.6	41.2

*Pervious Cover = Open Space, Fair Condition Grass & Hydrologic Soil Group D (CN = 84)

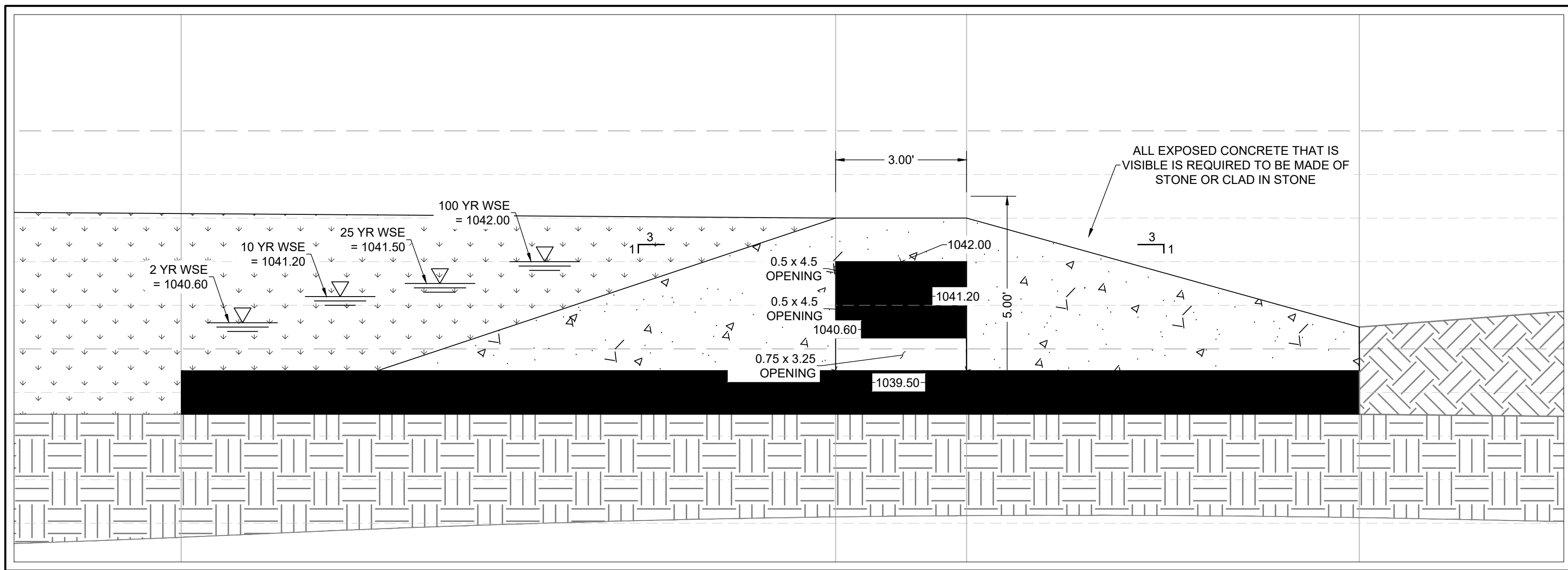
**This development assumes pre-developed condition of 100% vacant land with 1% Impervious Cover

HEC-HMS Summary of Inputs & Results for WCF Funeral Home Bagdad and Vista Ridge											
DEVELOPED											
Drainage Area	Size		Time of Concentration**	Lag Time	Impervious Cover		Composite Run-Off	HEC-HMS Peak Runoff "Q" (cfs)			
	(Ac.)	(mi ²)	(min.)	(min.)	(Ac.)	(%)	CN*	2-Year	10-Year	25-Year	100-Year
PR-1	2.119	0.003310	8.0	4.8	0.579	27.3%	87.8	5.7	10.4	13.9	20.3
PR-2	1.206	0.001884	5.8	3.5	0.748	62.0%	94.6	4.0	6.7	8.7	12.4
PR-3	0.068	0.000106	2.3	1.4	0.060	88.8%	97.0	0.2	0.4	0.5	0.7
PR-4	0.847	0.001324	6.6	4.0	0.627	74.0%	95.7	2.8	4.7	6.0	8.6
DET Discharge								10.2	19.4	26.1	37.0
EX Analysis Point Bagdad (= Q _{allowable})							Q _{allowable} =	10.5	20.3	27.6	41.2
PROP Analysis Point							Q _{discharge} =	10.2	19.4	26.1	37.0

*Pervious Cover = Open Space, Fair Condition Grass & Hydrologic Soil Group D (CN = 84) and for Impervious Cover (CN = 98)

**Based on 6 minute minimum time of concentration through the MEP drainage system and short hydraulic lengths outside of the bldg.

Detention Pond Outlet HEC-HMS Inputs & Results						
Parameters		Units	2-Year	10-Year	25-Year	100-Year
Outlet Inputs	FL Elev.	ft	1040.50	1041.30	1041.80	1042.40
	Center Elev.	ft	1038.81	1041.00	1042.10	1042.80
	Top Elev.	ft	1039.08	1041.50	1042.60	1043.00
	Area	ft ²	0.35	0.70	0.70	2.00
	H x V	ft x ft	0.7	1.0 x 3.5	1.0 x 3.5	10.0 x 0.2
Outlet Type	Orifice	v	v	v	v	v
	Weir	v	v	v	v	v
	Coefficient	[-]	0.6	0.6	0.6	0.6
HEC-HMS Results	WSE	ft	1040.50	1041.30	1041.80	1042.40



SECTION D-D
SCALE: 1" = 2'

BENCHMARK:

TBM #1- MAG NAIL WITH "4WARD" WASHER SET IN CONCRETE SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±64' SOUTHEAST OF A TRAFFIC SIGN LABELED "30 MPH" FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE, AND ±35' SOUTHEAST OF A WASTEWATER MANHOLE FOUND WITHIN VISTA RIDGE DRIVE. ELEVATION = 1,043.17'.

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LEGAL DESCRIPTION:

LOT 1, VISTA RIDGE COMMERCIAL, INCLUDING THE REPLAT OF LOT 1 SHIN OAKS ESTATES, SECTION 1, RECORDED IN CABINET DD, SLIDE 91, O.P.R.W.C.T.

WCF Funeral Home																	
Elevation	Area (sf)	(Acres)	Volume (C.F)	Total Vol. (C.F)	Opening 1 (C=0.6, A=2.44 sf, g=32.2ft/s2) 3.25x75' at 1039.5 (Centre Elevation=1039.88)				Opening 2 (C=0.6, A=2.25 sf, g=32.2ft/s2) 4.5x0.5' at 1040.6 (Centre Elevation=1040.85)				Opening 3 (C=0.6, A=2.25 sf, g=32.2ft/s2) 4.5x0.5' at 1041.2 (Centre Elevation=1041.45)				Total (CFS)
					A (sq.ft)	H (ft)	Q=CA (2gh)1/2	Velocity=Q/A	A (sq.ft)	H (ft)	Q=CA (2gh)1/2	Velocity=Q/A	A (sq.ft)	H (ft)	Q=CA (2gh)1/2	Velocity=Q/A	
1039.5	591	0.0136	0	0	2.44	0	0	0.00	2.25	0	0	0.00	2.25	0	0	0.00	0.00
1040	2781	0.0638	843.1	843	2.44	0.5	8.31	3.40	2.25	0	0.00	0.00	2.25	0	0.00	0.00	8.31
1041	5210	0.1196	3995.3	4838	2.44	1.5	14.39	5.90	2.25	0.4	6.85	3.05	2.25	0	0.00	0.00	21.24
1042	6511	0.1495	5860.6	10699	2.44	2.5	18.58	7.61	2.25	1.4	12.82	5.70	2.25	0.8	9.69	4.31	41.08
1043	7799	0.1790	7155.2	17854	2.44	3.5	21.98	9.01	2.25	2.4	16.78	7.46	2.25	1.8	14.53	6.46	53.30

**BAGDAD FUNERAL HOME
SITE DEVELOPMENTS**

SCI SHARED RESOURCES, LLC

DETENTION POND
CALCS & DETAILS

PROJECT #
1038-109

ISSUE DATE
04/07/25

PROJECT MGR: LCHALLIS
DESIGNER: U.S./A.J.
DRAWN BY: A.JONES

SHEET

13

13 OF 25

SD-24-0194

TDi
ENGINEERING

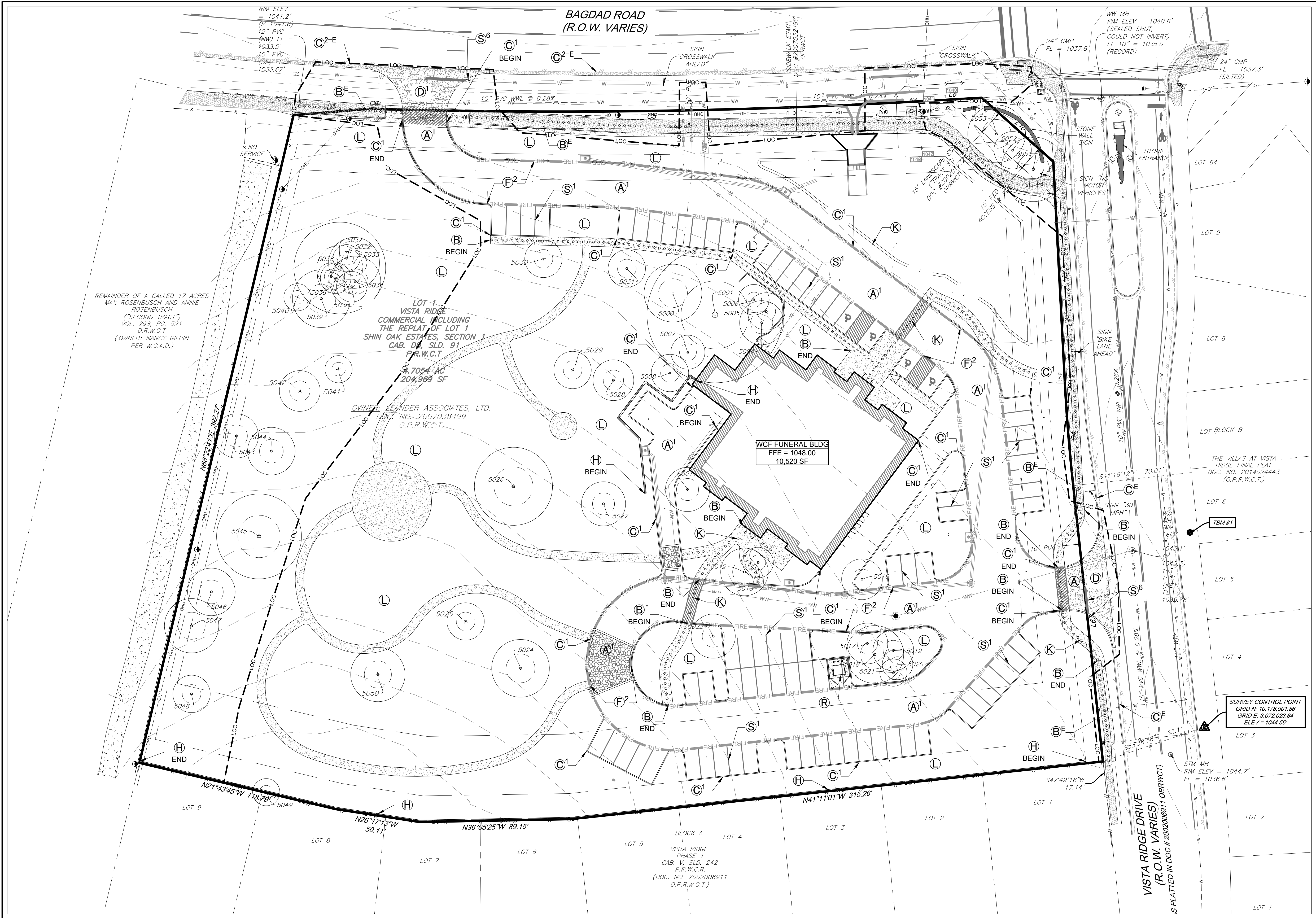
04/01/2025
STATE OF TEXAS
LIZE ELIZABETH CHALLIS
148975
PROFESSIONAL ENGINEER
FIRM REG. # F-8601

CIVIL & STRUCTURAL
ENGINEERING
AUSTIN / HOUSTON

TDi Engineering LLC
5905 Old Fredericksburg Road, Suite 300
Austin, TX 78749
512-301-3389 | www.tdi-llc.net

*THINK DESIGN innovate, integrate, implement...

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User: LUCYCHALLIS
Last Modified: Apr 01, 2025 - 16:54
Plot Date/Time: Apr 01, 2025 - 16:54:38



SITE NOTE LEGEND:

- A¹** STANDARD DUTY CONCRETE PAVEMENT - REF: GEOTECHNICAL REPORT
- A²** HEAVY DUTY CONCRETE PAVEMENT - REF: GEOTECHNICAL REPORT
- B** CONCRETE SIDEWALK - SEE DETAIL SHEET
- C** STANDARD CURB & GUTTER - SEE DETAIL SHEET
- C¹** INTEGRAL CURB & GUTTER - SEE DETAIL SHEET
- C²** RIBBON CURB - SEE DETAIL SHEET
- C³** PARKING LOT BUMPER CURB - SEE DETAIL SHEET

- C⁴** CURB CUT
- C⁵** CASTELLATED CURB - SEE DETAIL SHEET
- D¹** TYPE II COMMERCIAL DRIVEWAY - SEE DETAIL SHEET
- E** PIPE BOLLARD - SEE DETAIL SHEET
- F¹** FDC LOCATION
- F²** FIRE LANE STRIPING - SEE DETAIL SHEET
- G¹** ACCESSIBLE RAMP - SEE DETAIL SHEET
- G²** SITE RAMP WITH HANDRAILS - REF: ARCHITECTURAL PLANS AND DETAILS
- G³** RETAINING WALL - REF: STRUCTURAL PLANS

- H** CONCRETE FENCE PER ORDINANCE
- I¹** 3'x3' GRATE INLET - SEE DETAIL SHEET
- I²** 10' CURB INLET - SEE DETAIL SHEET
- I³** TRENCH DRAIN - SEE DETAIL SHEET
- J¹** CONCRETE HEADWALL - SEE DETAIL SHEET
- J²** STORMDRAIN OUTFALL - SEE DETAIL SHEET
- K** ACCESSIBLE PATH
- L** LANDSCAPE AREA
- M** INSET - SEE SHEET #####
- N** (AVAILABLE)

- O** (AVAILABLE)
- P** DETENTION POND - SEE SHEETS 12 & 13 FOR DETAILS AND SECTIONS
- Q** (AVAILABLE)
- R** DUMPSTER LOCATION (TRASH & RECYCLING) - REF: ARCHITECTURAL PLANS
- S¹** 4" WHITE PAVEMENT STRIPING
- S²** ADA STRIPING - SEE DETAIL SHEET
- S³** DIRECTIONAL PAVEMENT MARKING - SEE DETAIL SHEET
- S⁴** ACCESSIBLE PARKING SIGN - SEE DETAIL SHEET

- S⁵** ACCESSIBLE PARKING SIGN (VAN) - SEE DETAIL SHEET
- S⁶** STOP SIGN / STOP BAR - SEE DETAIL SHEET
- T** TRANSFORMER PAD - REF: MEP
- U¹** MECHANICAL EQUIPMENT - - REF: ARCHITECTURAL PLANS FOR SCREENING
- U²** SITE LIGHTING - REF: DESIGN BY OTHERS
- U³** A/C PAD LOCATION - REF: DESIGN BY OTHERS
- V¹** LOADING SPACE
- V²** BIKE RACK - SEE DETAIL SHEET

- V³** VEHICLE TURNING INFORMATION
- W** (AVAILABLE)
- X** (AVAILABLE)
- Y** (AVAILABLE)
- Z¹** BUILDING OVERHANG - REF: ARCHITECTURAL PLANS
- Z²** EXTERIOR WALLS - REF: ARCHITECTURAL PLANS

SITE NOTES ON SHEET 2 - GENERAL NOTES

BENCHMARK:

TBM #1- MAG NAIL WITH "4WARD" WASHER SET IN CONCRETE SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±64' SOUTHEAST OF A TRAFFIC SIGN LABELED "30 MPH" FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE, AND ±35' SOUTHEAST OF A WASTEWATER MANHOLE FOUND WITHIN VISTA RIDGE DRIVE. ELEVATION = 1,043.32'.

TBM #2- MAG NAIL WITH "4WARD" WASHER SET IN SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±224' SOUTHWEST OF A STORM SEWER MANHOLE WITHIN VISTA RIDGE DRIVE, AND ±238' SOUTHWEST OF A FIRE HYDRANT FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE. ELEVATION = 1,047.32'.

LEGAL DESCRIPTION:

LOT 1, VISTA RIDGE COMMERCIAL, INCLUDING THE REPLAT OF LOT 1 SHIN OAKS ESTATES, SECTION 1, RECORDED IN CABINET DD, SLIDE 91, O.P.R.W.C.T.

LEGEND

GRAPHICS	DESCRIPTION
	SUBJECT PROPERTY BOUNDARY
	ADJACENT PROPERTY LINES
	BUILDING SETBACK
	EASEMENT
	CONCRETE PAVEMENT / SIDEWALK
	EDGE OF PAVEMENT CURB & GUTTER
	WHEEL STOP (PKG LOT BUMPER CURB)
	FIRE DEPARTMENT CONNECTION (FDC)
	FIRE LANE MARKING
	ACCESSIBLE RAMP
	RETAINING WALL
	GRATE INLET
	ACCESSIBLE ROUTE
	ADA PARKING STRIPING
	SIGN (AS NOTED)
	TRANSFORMER PAD
	SITE LIGHTING
	BICYCLE RACK
	TREE TO BE SAVED
	LIMITS OF CONSTRUCTION

WCF Funeral Home				
Existing Site Data Table				
Item	SF	AC		%
Total Site	204,950	4.705		100.00
Building Area	0	0.000		0.00
Pavement	0	0.000		0.00
Sidewalk Area	3,301	0.076		1.61
Total IC	3,301	0.076		1.61
Landscape	201,649	4.629		98.39
Proposed Site Data Table				
Item	SF	AC		%
Total Site	204,950	4.705		100.00
Building Area	12,024	0.276		5.87
Pmnt/Drives	67,278	1.544		32.83
Sidewalk Area	8,456	0.194		4.13
Total Impervious Cover	87,758	2.015		42.82
Allowable Imperv Cover	N/A	N/A		N/A
Landscape Area	117,192	2.690		57.18

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5905 Old Frankensburg Road, Suite 300
Austin, TX 78749
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***TDi* ENGINEERING**

04/01/2025
LUCY CHALLIS
148975
FIRM REG. # F-8601

BAGDAD FUNERAL HOME
SITE DEVELOPMENTS

SCI SHARED RESOURCES, LLC

SITE PLAN

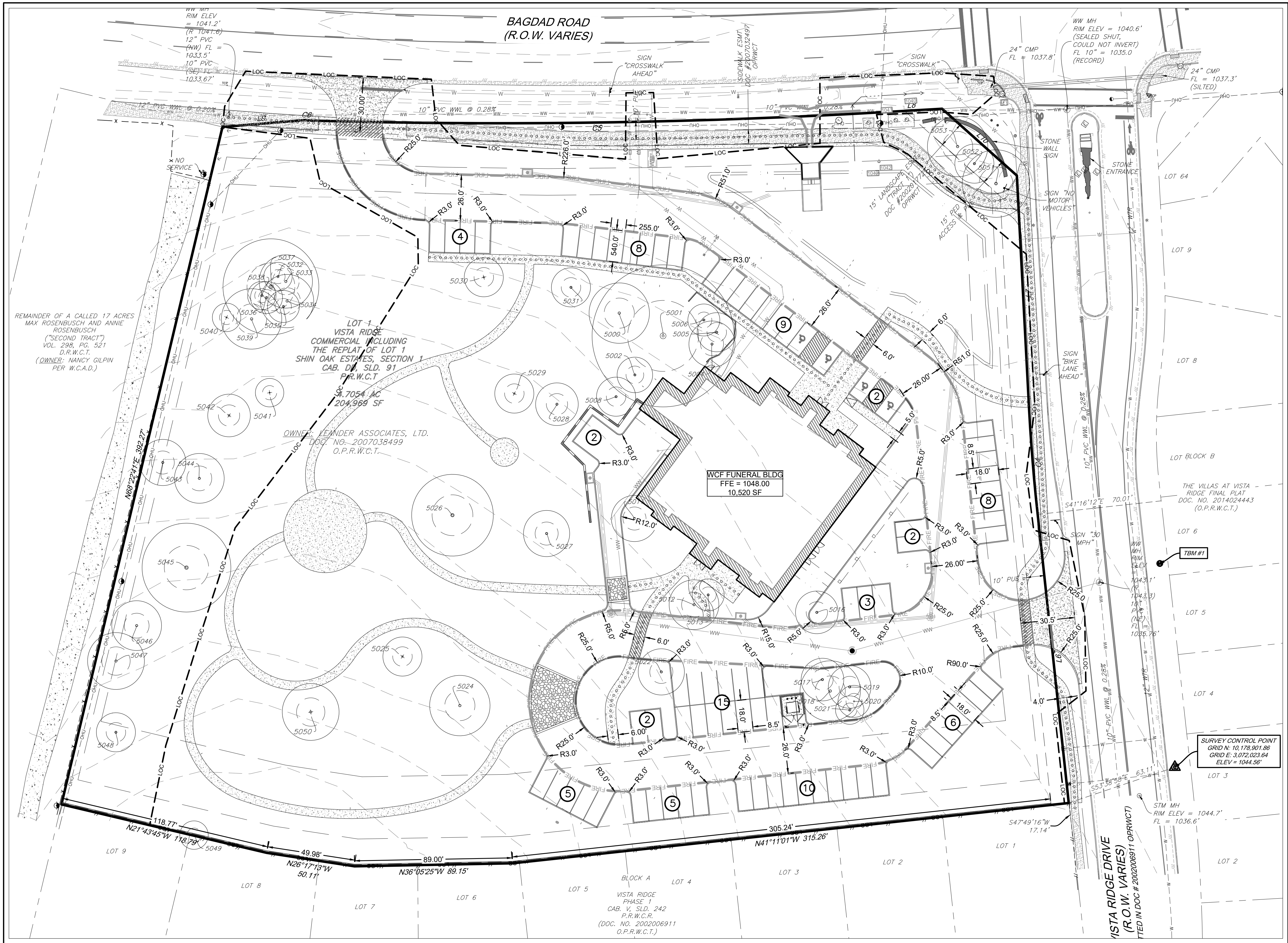
PROJECT #
1038-109

ISSUE DATE
04/07/25

SHEET
14
14 OF 25

SD-24-0194

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User: LIZCHALLIS
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Plot Date/Time: Apr 01, 2025 - 16:54:38



LEGEND	
GRAPHICS	DESCRIPTION
	SUBJECT PROPERTY BOUNDARY
	ADJACENT PROPERTY LINES
	BUILDING SETBACK
	EASEMENT
	CONCRETE PAVEMENT
	SIDEWALK
	EDGE OF PAVEMENT CURB & GUTTER
	WHEEL STOP (PKG LOT BUMPER CURB)
	FIRE DEPARTMENT CONNECTION (FDC)
	FIRE LANE MARKING
	ACCESSIBLE RAMP
	RETAINING WALL
	GRATE INLET
	ACCESSIBLE ROUTE
	ADA PARKING STRIPING
	SIGN (AS NOTED)
	TRANSFORMER PAD
	SITE LIGHTING
	BICYCLE RACK
	TREE TO BE SAVED
	LIMITS OF CONSTRUCTION
	PARKING COUNT

BENCHMARK:

TBM #1- MAG NAIL WITH "4WARD" WASHER SET IN CONCRETE SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE, ±64' SOUTHEAST OF A TRAFFIC SIGN LABELED "30 MPH" FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE, AND ±35' SOUTHWEST OF A WASTEWATER MANHOLE FOUND WITHIN VISTA RIDGE DRIVE. ELEVATION = 1,043.17.

TBM #2- MAG NAIL WITH "4WARD" WASHER SET IN SIDEWALK IN THE SOUTH MARGIN OF VISTA RIDGE DRIVE. ±224' SOUTHWEST OF A STORM SEWER MANHOLE WITHIN VISTA RIDGE DRIVE, AND ±238' SOUTHWEST OF A FIRE HYDRANT FOUND IN THE NORTH MARGIN OF VISTA RIDGE DRIVE. ELEVATION = 1,047.32.

LEGAL DESCRIPTION:

LOT 1, VISTA RIDGE COMMERCIAL, INCLUDING THE REPLAT OF LOT 1 SHIN OAKS ESTATES, SECTION 1, RECORDED IN CABINET DD, SLIDE 91, O.P.R.W.C.T.

PARKING TABLE							
LOT	USE	RATIO	SEATS PROVIDED	TTL PKNG REQ'D	STD PKNG PROVIDED	ADA PKNG PROVIDED	TTL PKNG PROVIDED
1	FUNERAL HOME	1:4 SEATS	323	81	80	2	82

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ENGINEERING

04/01/2025

FIRM REG. # F-8601

BAGDAD FUNERAL HOME
SITE DEVELOPMENTS

SCI SHARED RESOURCES, LLC

DIMENSION
CONTROL PLAN

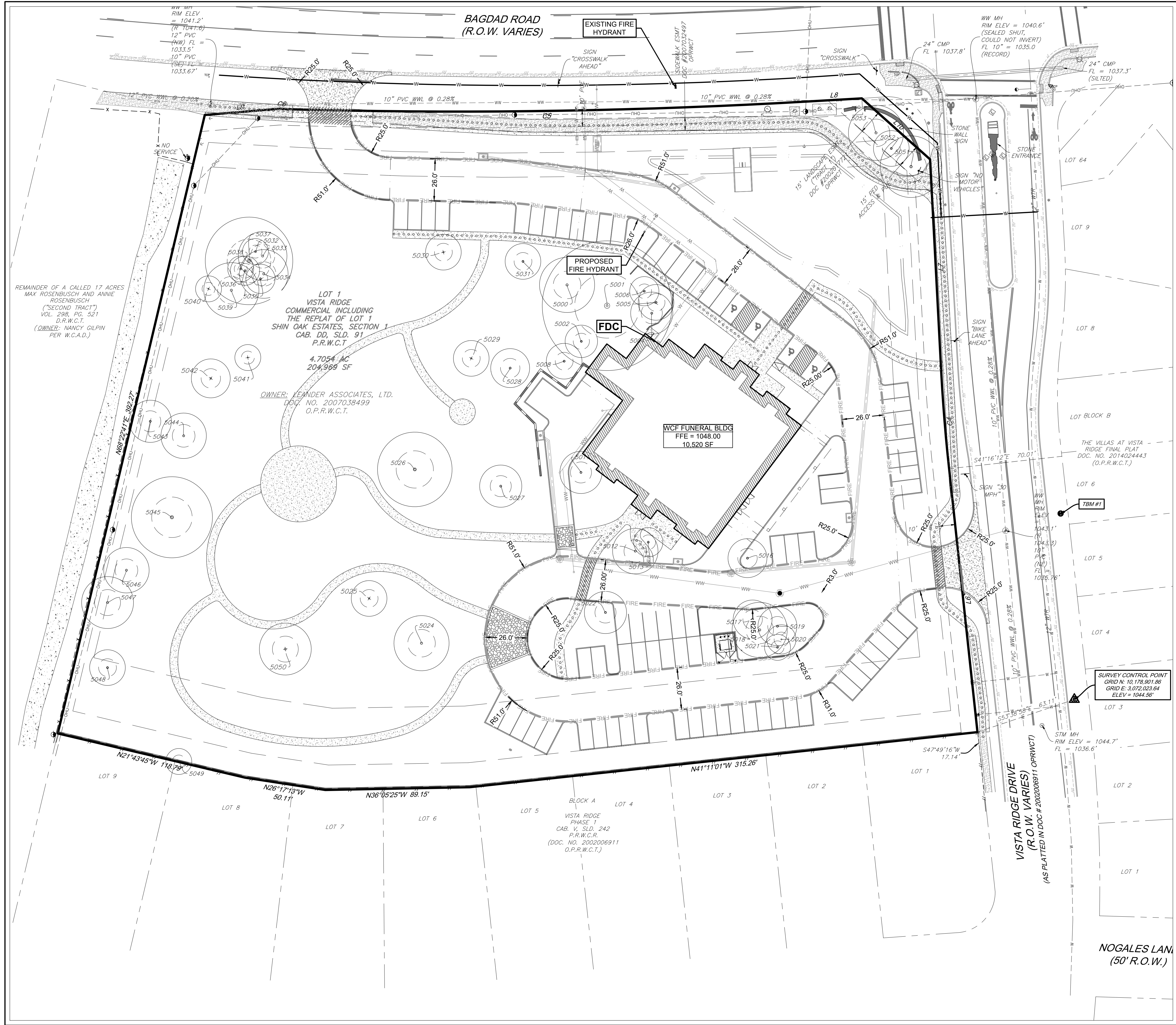
PROJECT #
1038-109

ISSUE DATE
04/07/25

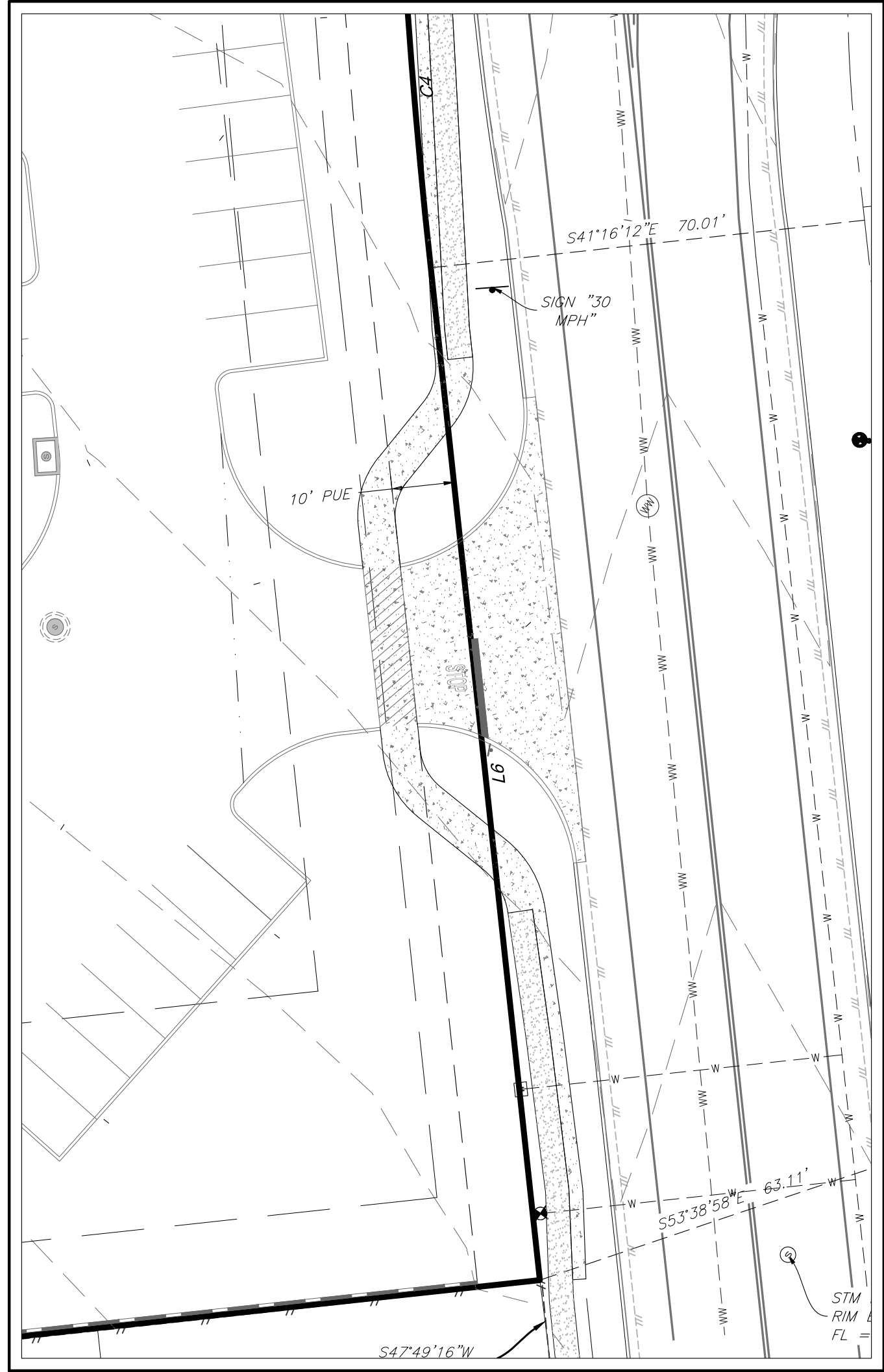
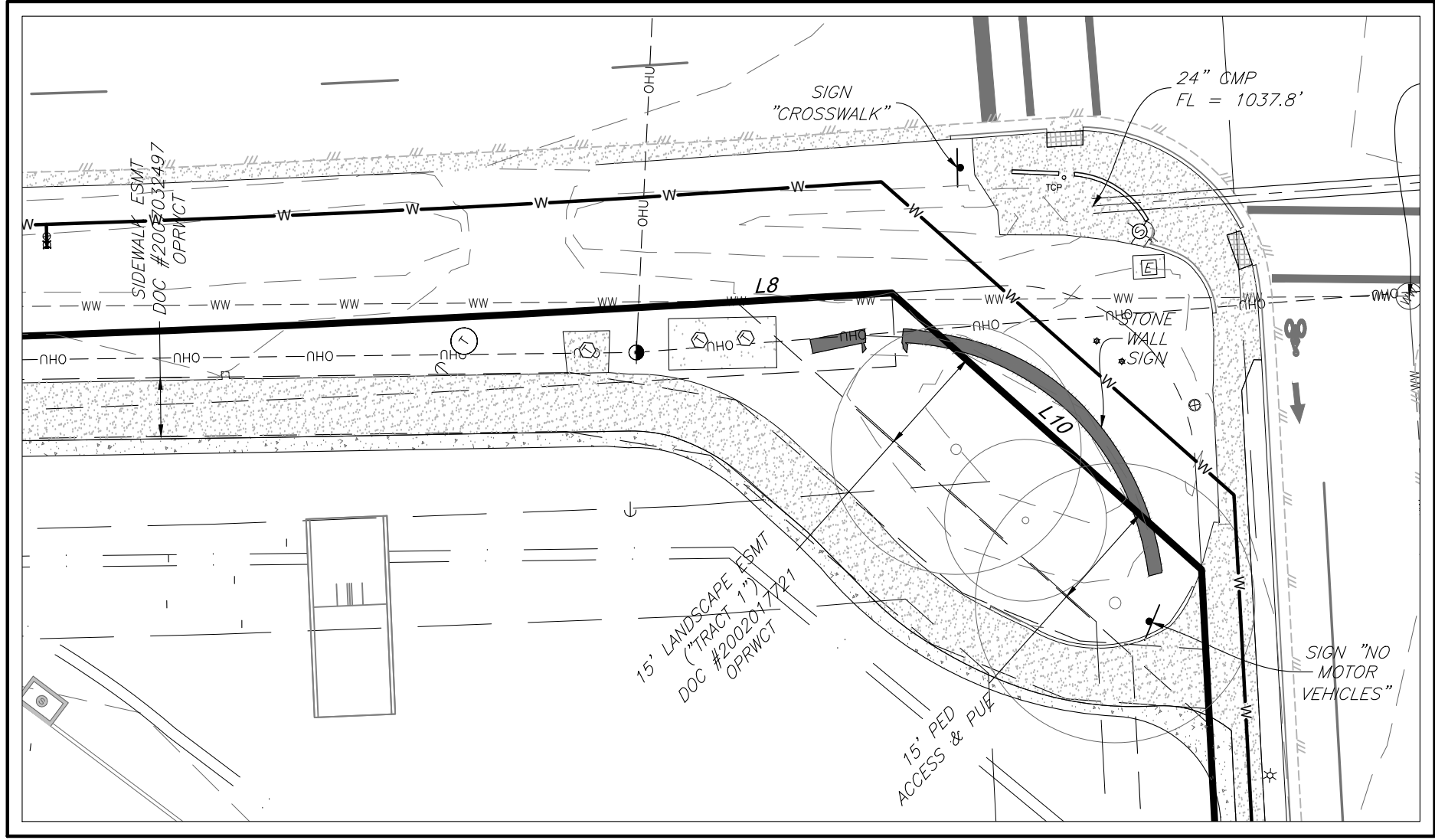
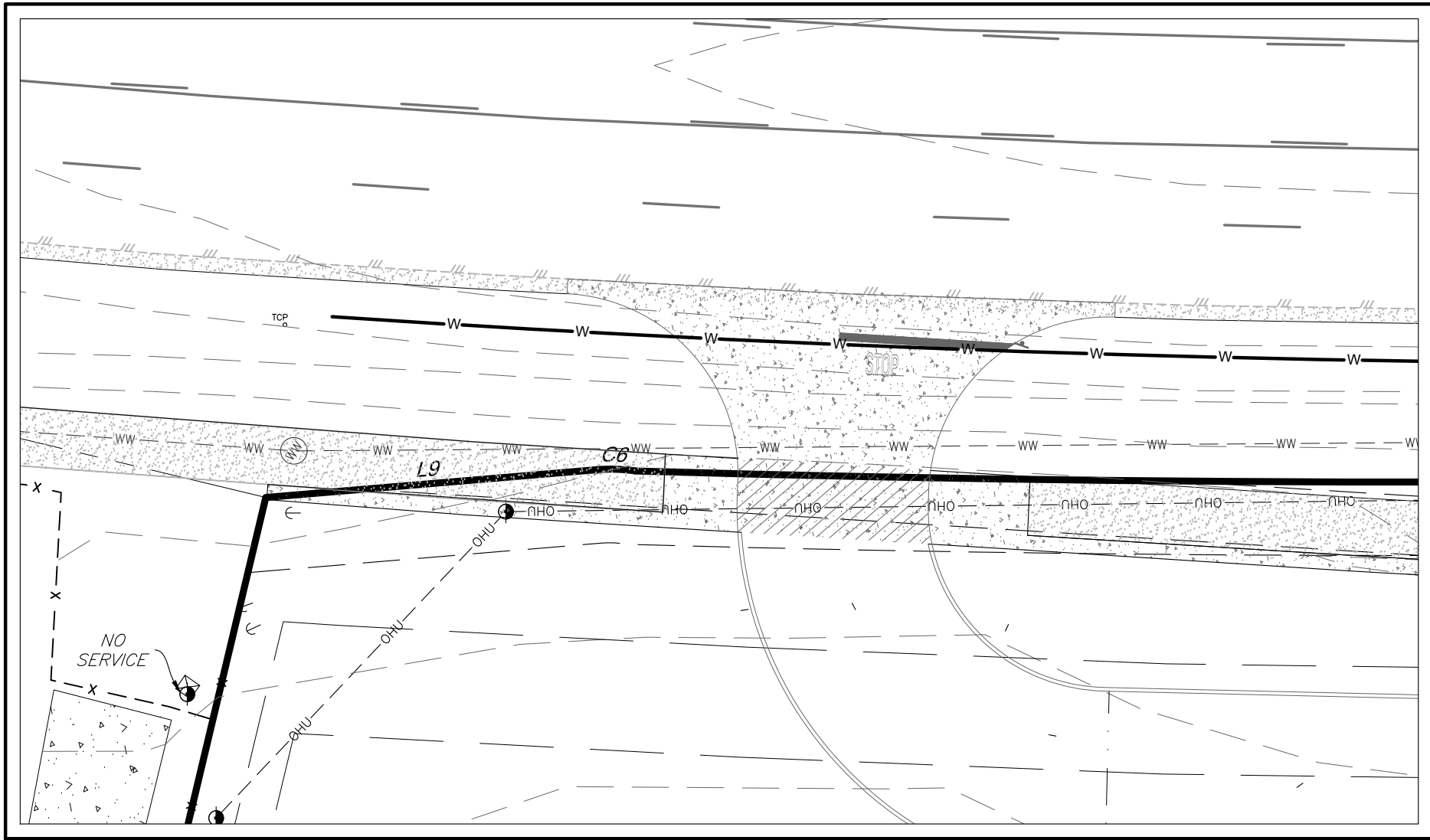
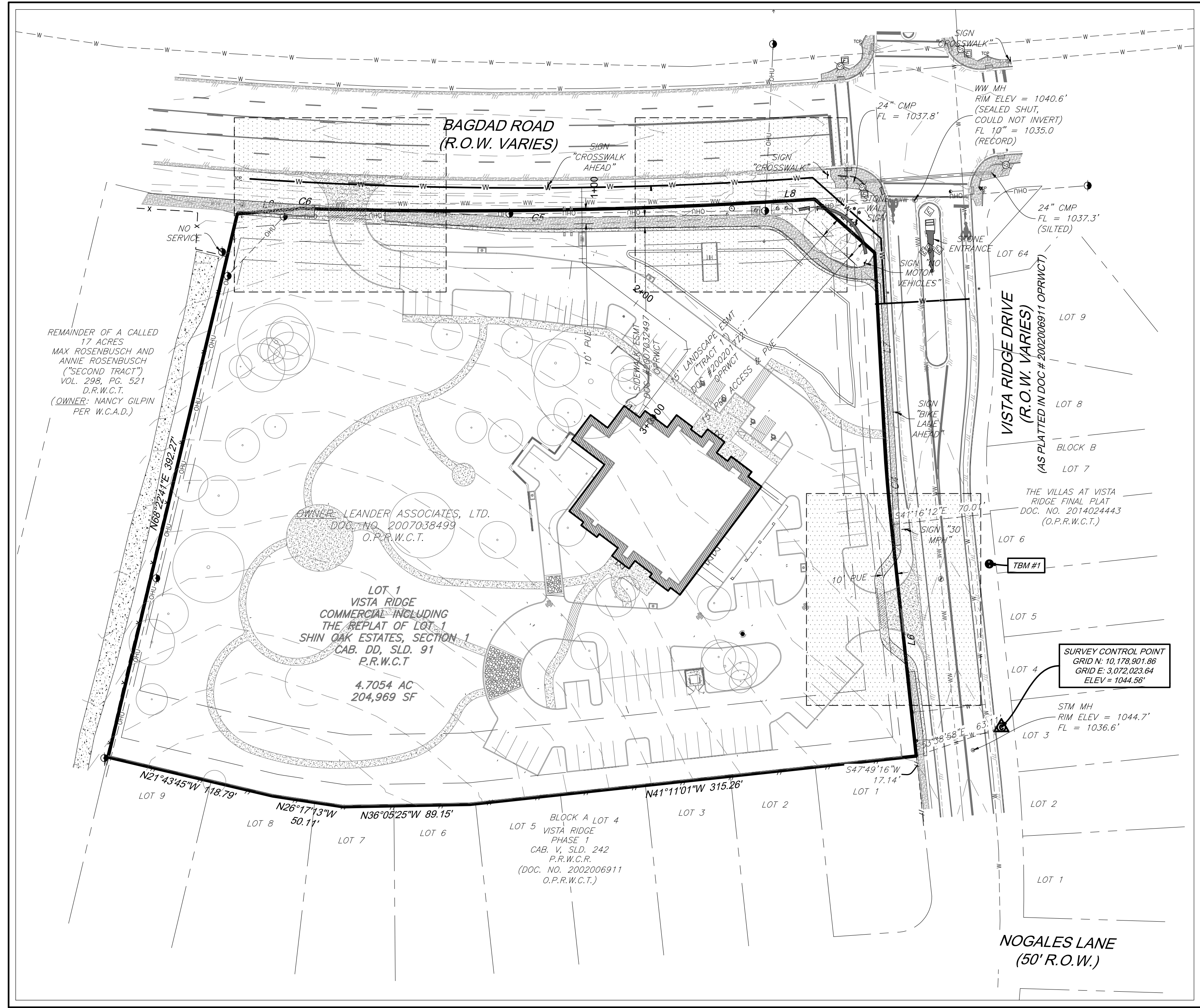
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15
15 OF 25

PROJECT MGR: L.CHALLIS
DESIGNER: J.S./A.J.
DRAWN BY: A.JONES

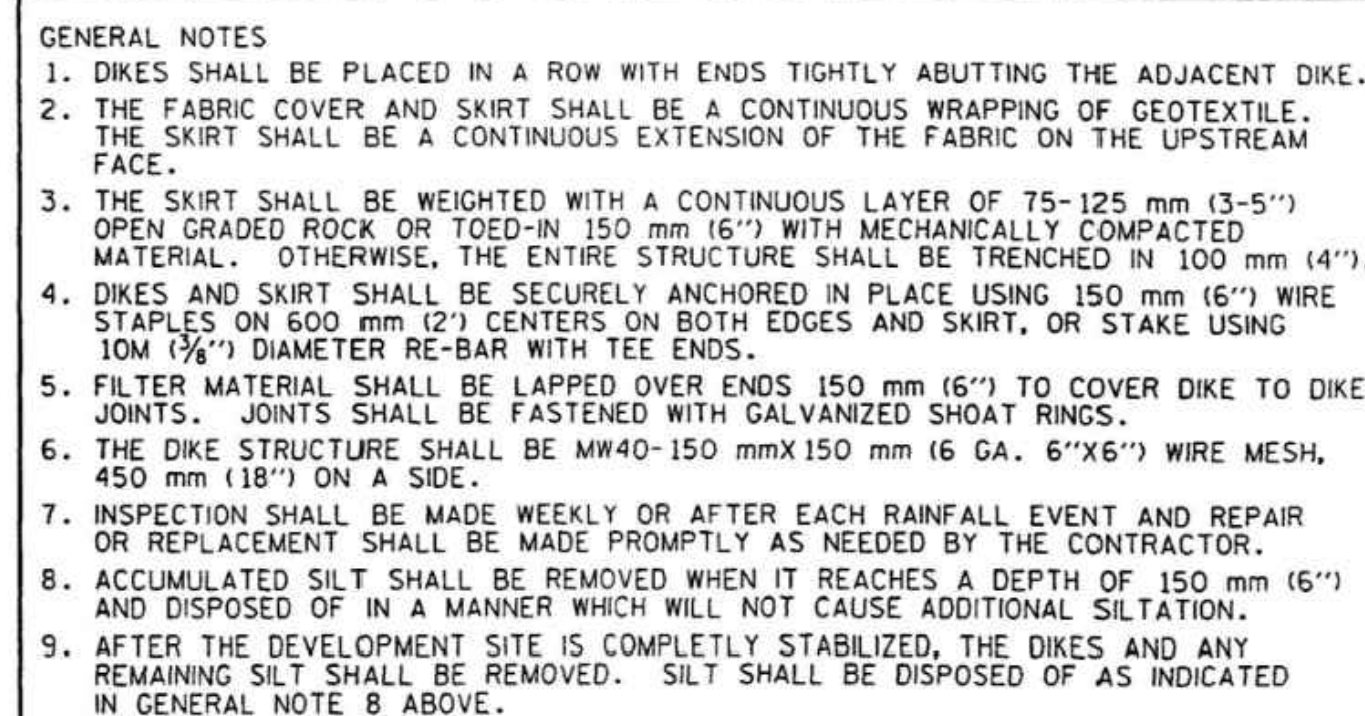
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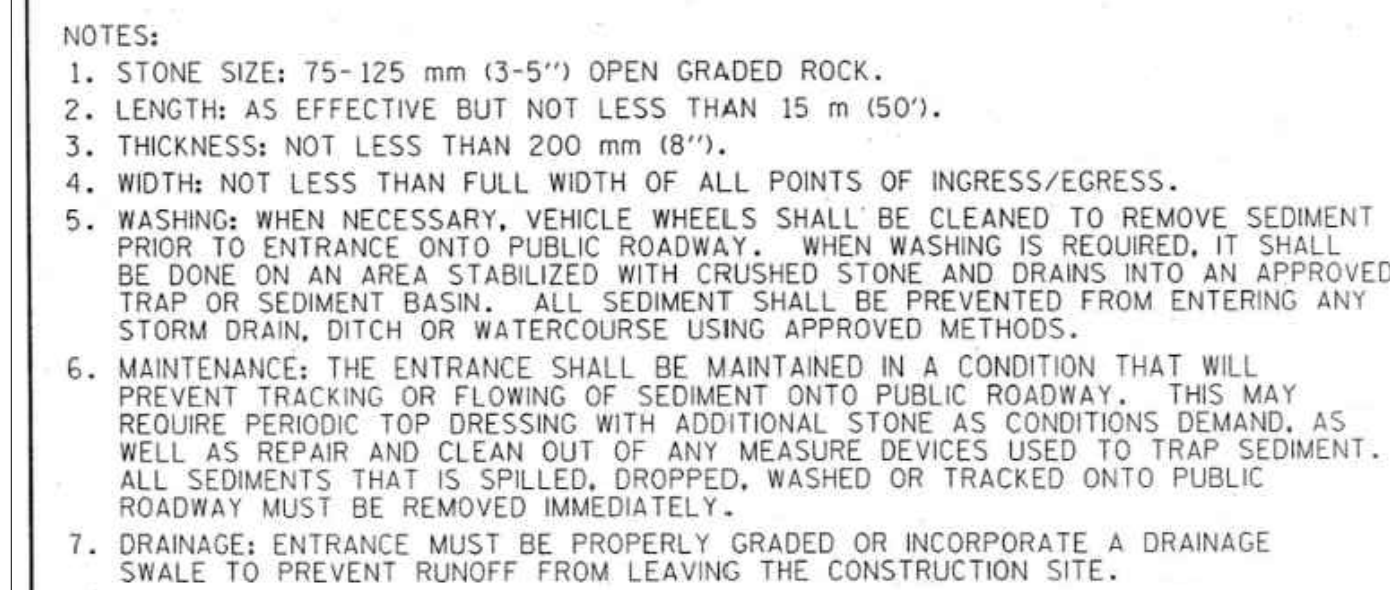
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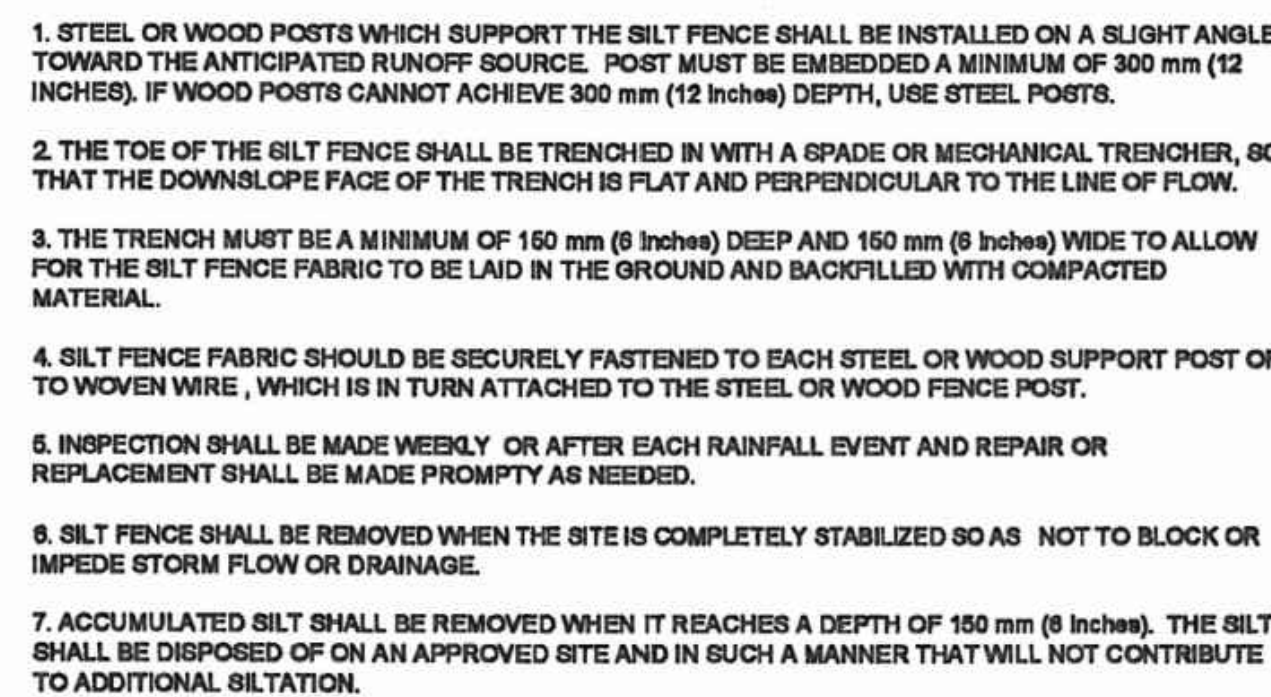
CIVIL & STRUCTURAL ENGINEERING AUSTIN / HOUSTON		TDi* ENGINEERING		04/01/2025 STATE OF TEXAS LIZE ELIZABETH CHALLIS 148975 PROFESSIONAL ENGINEER FIRM REG. # F-8601	
BAGDAD FUNERAL HOME SITE DEVELOPMENTS				SCI SHARED RESOURCES, LLC	
SIDEWALK CLOSURE PLAN		PROJECT # 1038-109		ISSUE DATE 04/07/25	
PROJECT MGR: DESIGNER: DRAWN BY:		L. CHALLIS J.S. / A.J. A. JONES		SHEET 18 18 OF 25	




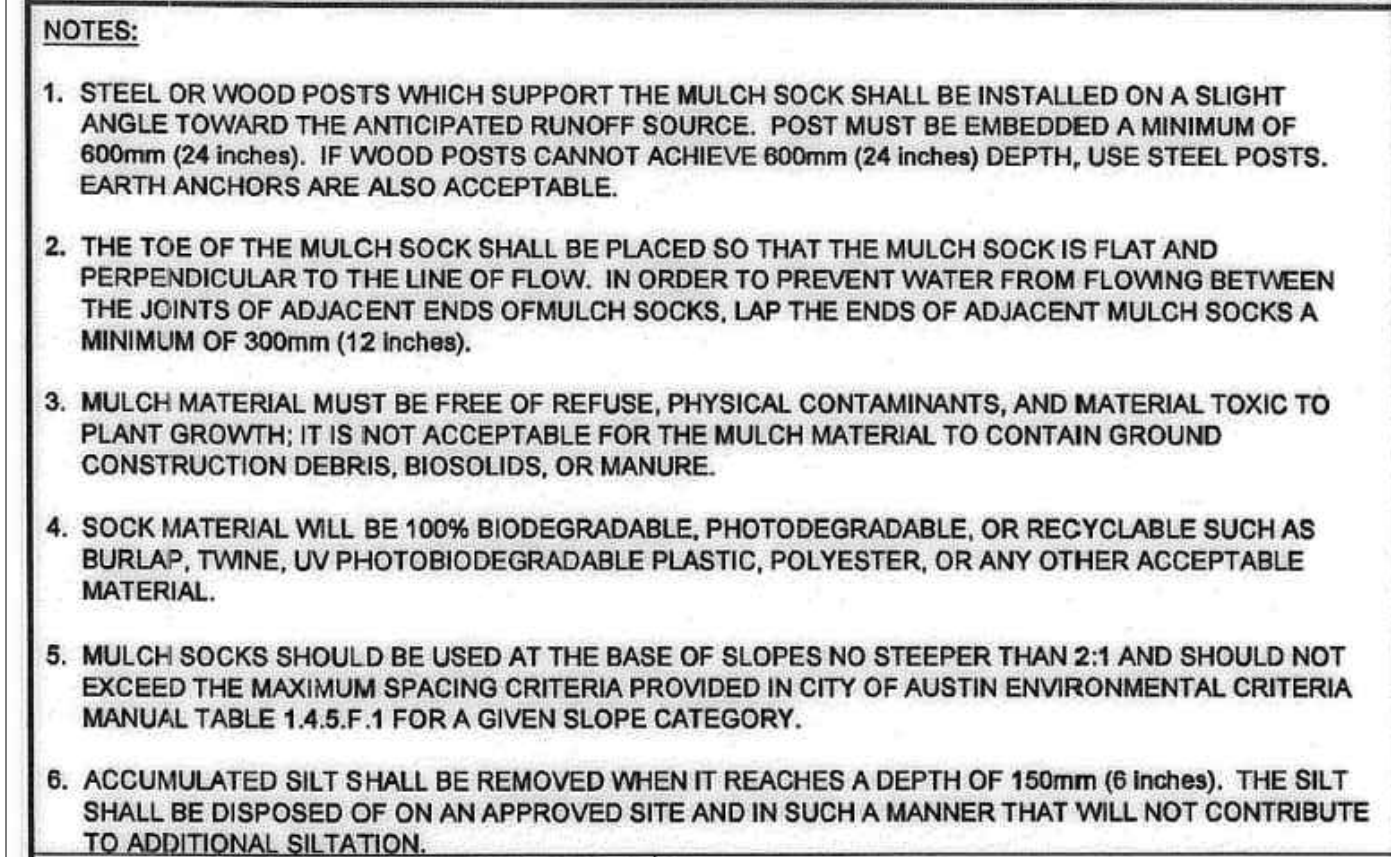
CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT		TRIANGULAR SEDIMENT FILTER DIKE	
APR 11 3:27:00 ADOPTED		THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 628S



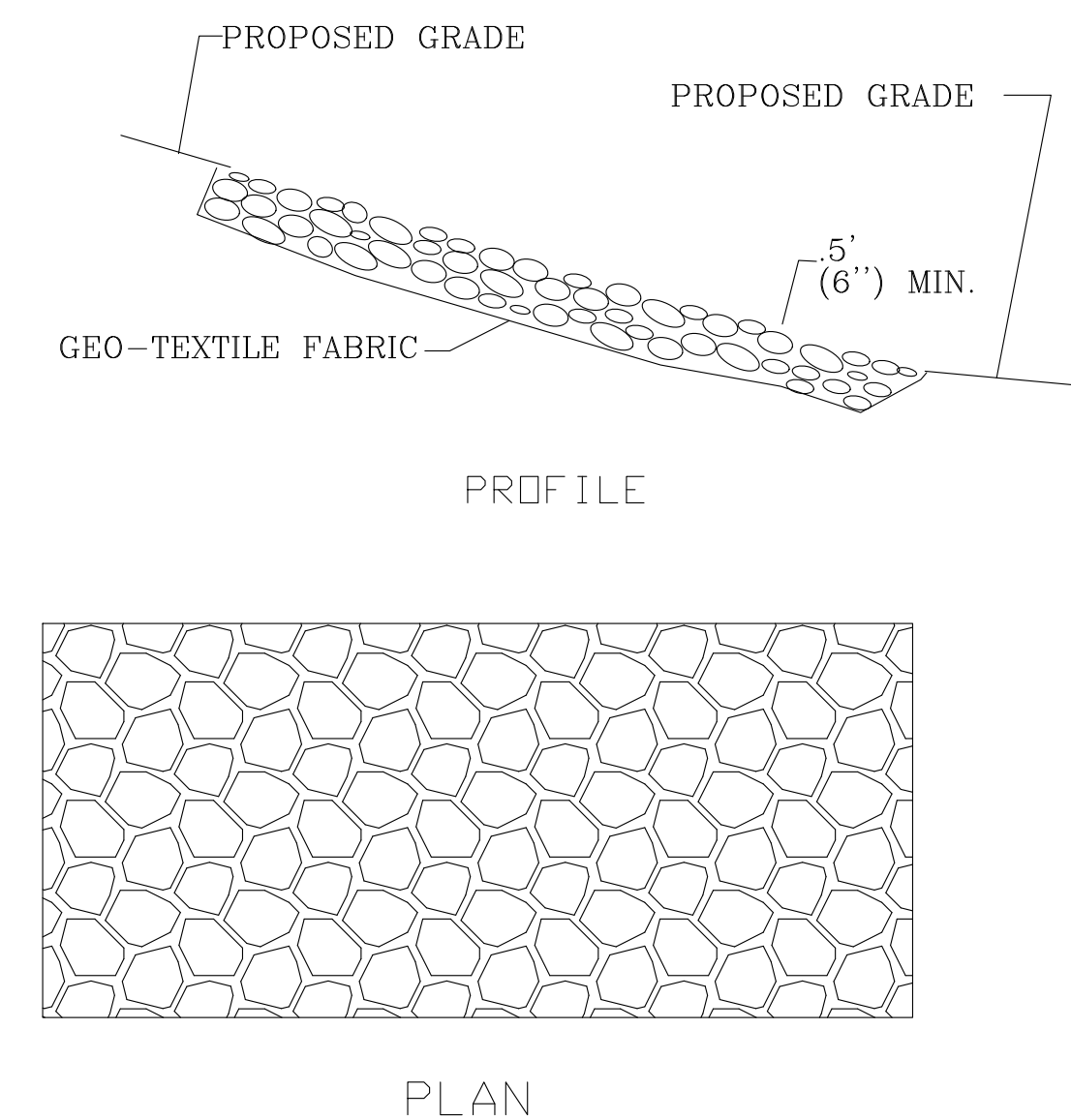
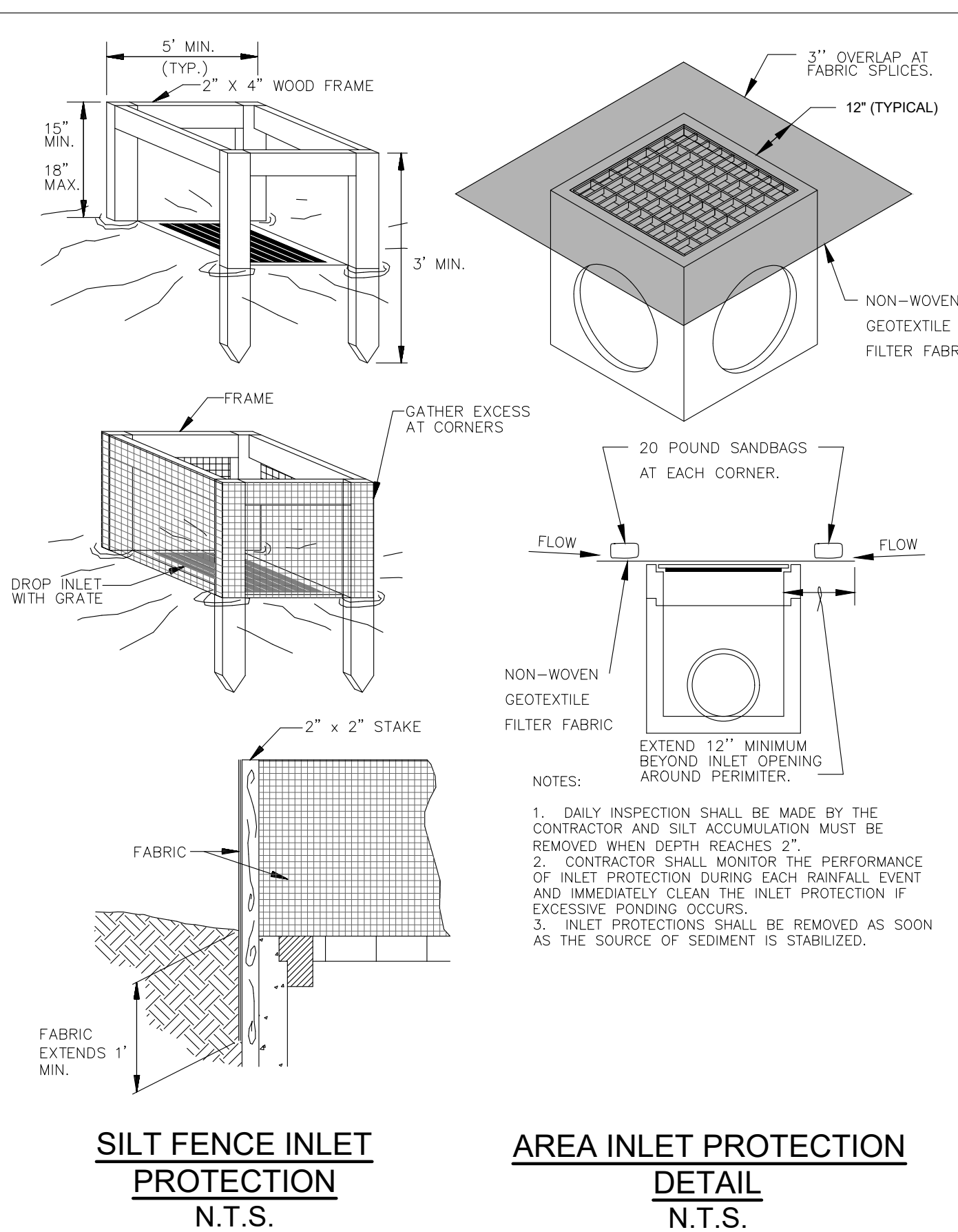
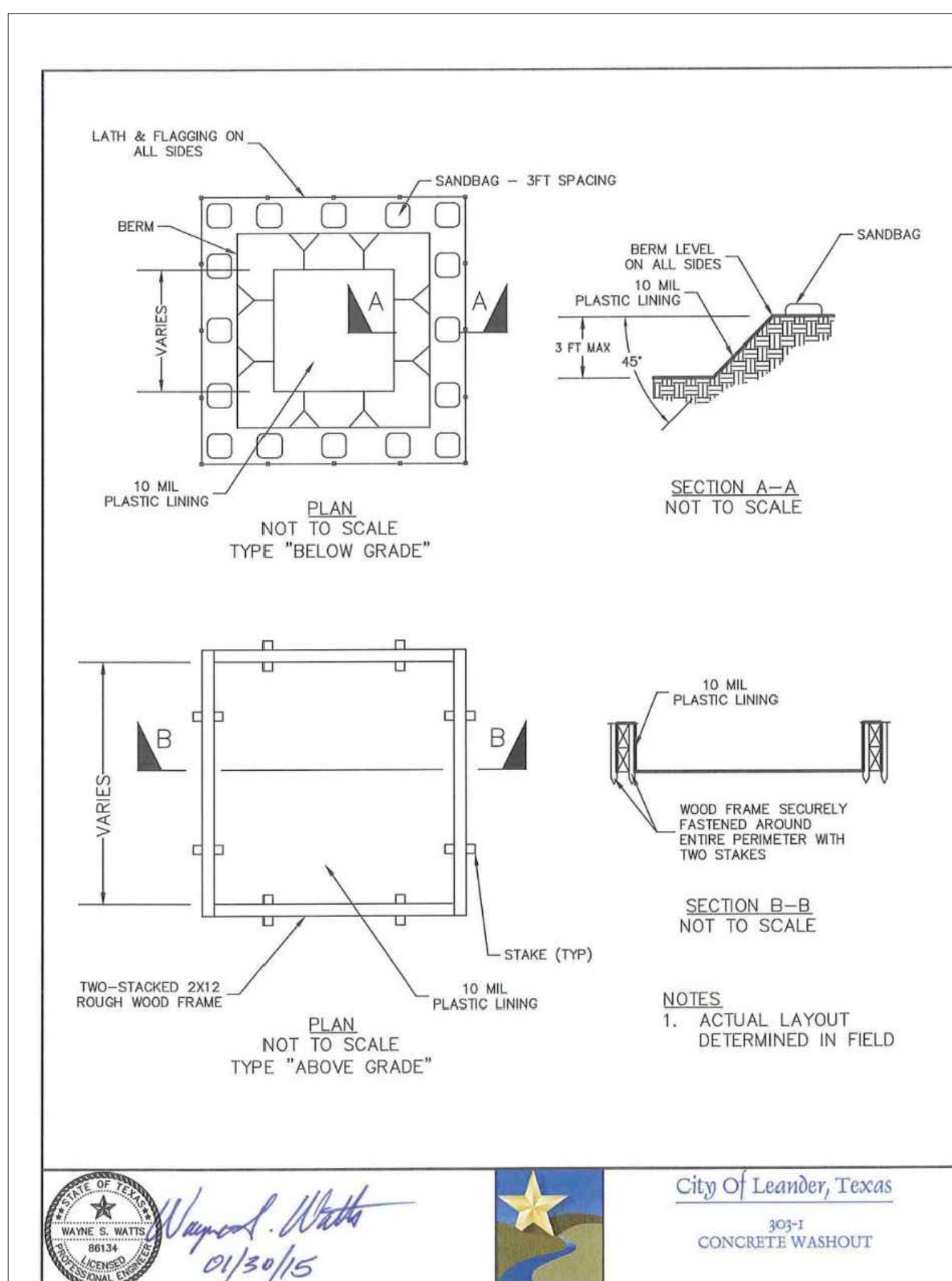
CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT		STABILIZED CONSTRUCTION ENTRANCE	
 5/23/00 ADOPTED		THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 641S-1



CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT		SILT FENCE	
 ADOPTED		THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 642S-1



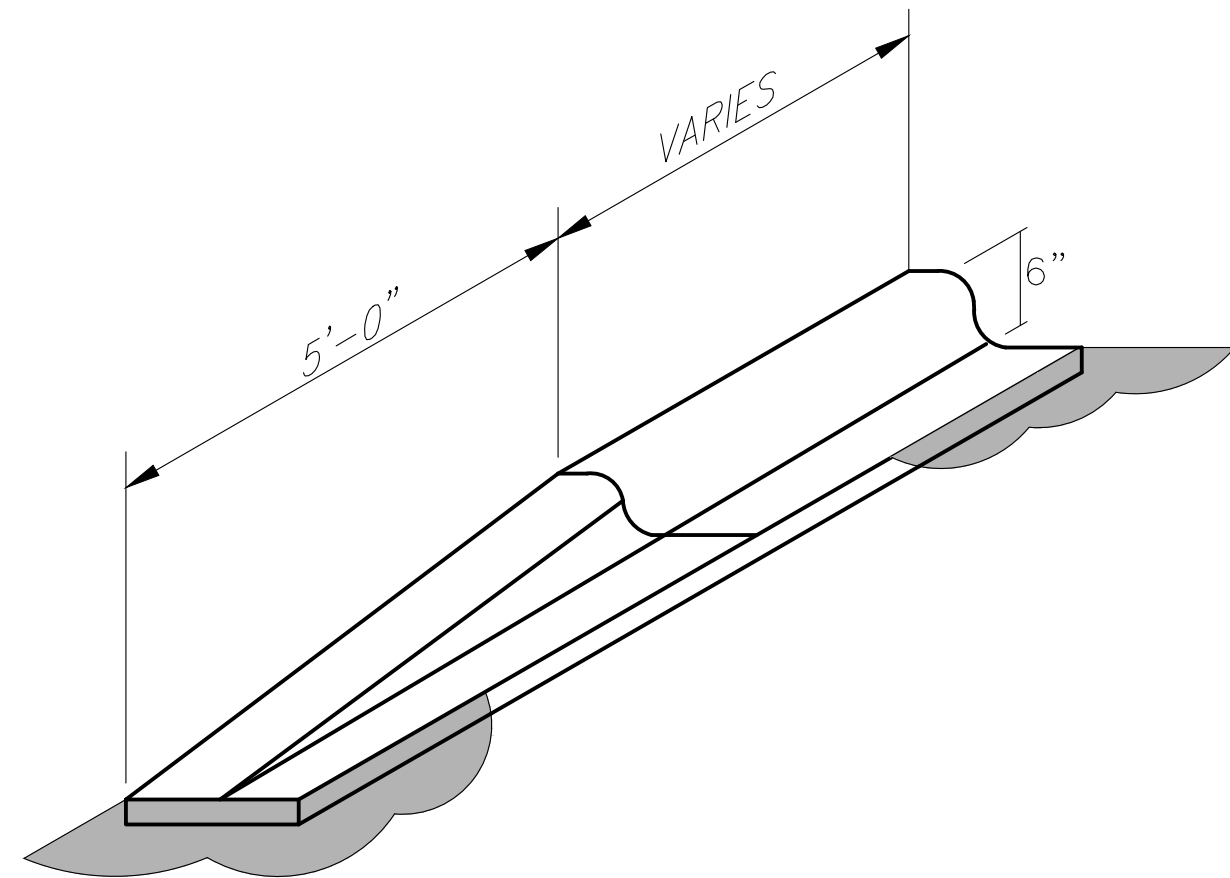
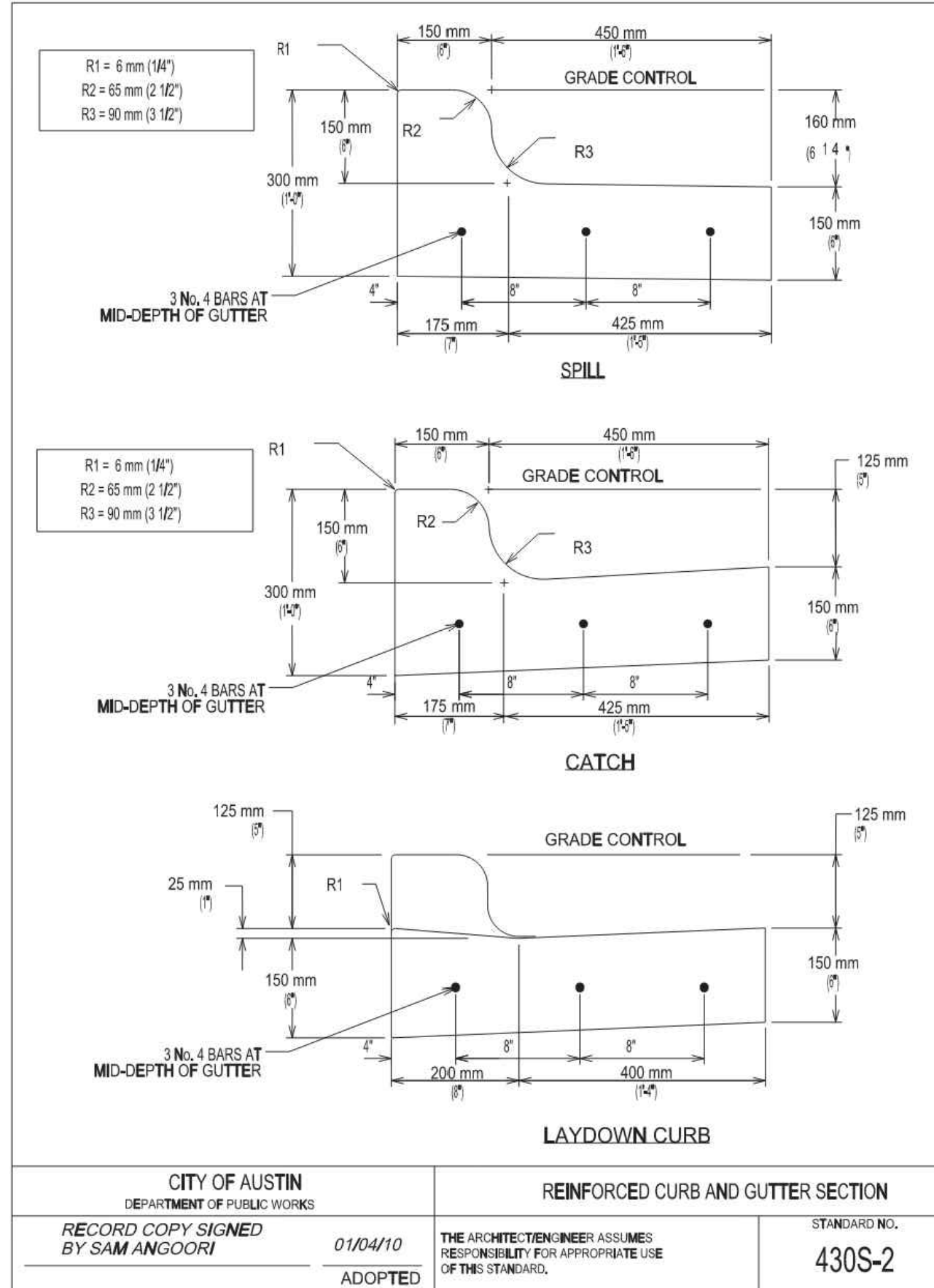
<p>CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT</p>	<p>MULCH SOCK</p>	
<p><i>Morgan S. Boyd, P.E.</i></p>	<p>09/24/2010 ADOPTED</p>	<p>THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.</p>
		<p>STANDARD NO. 648S-1</p>



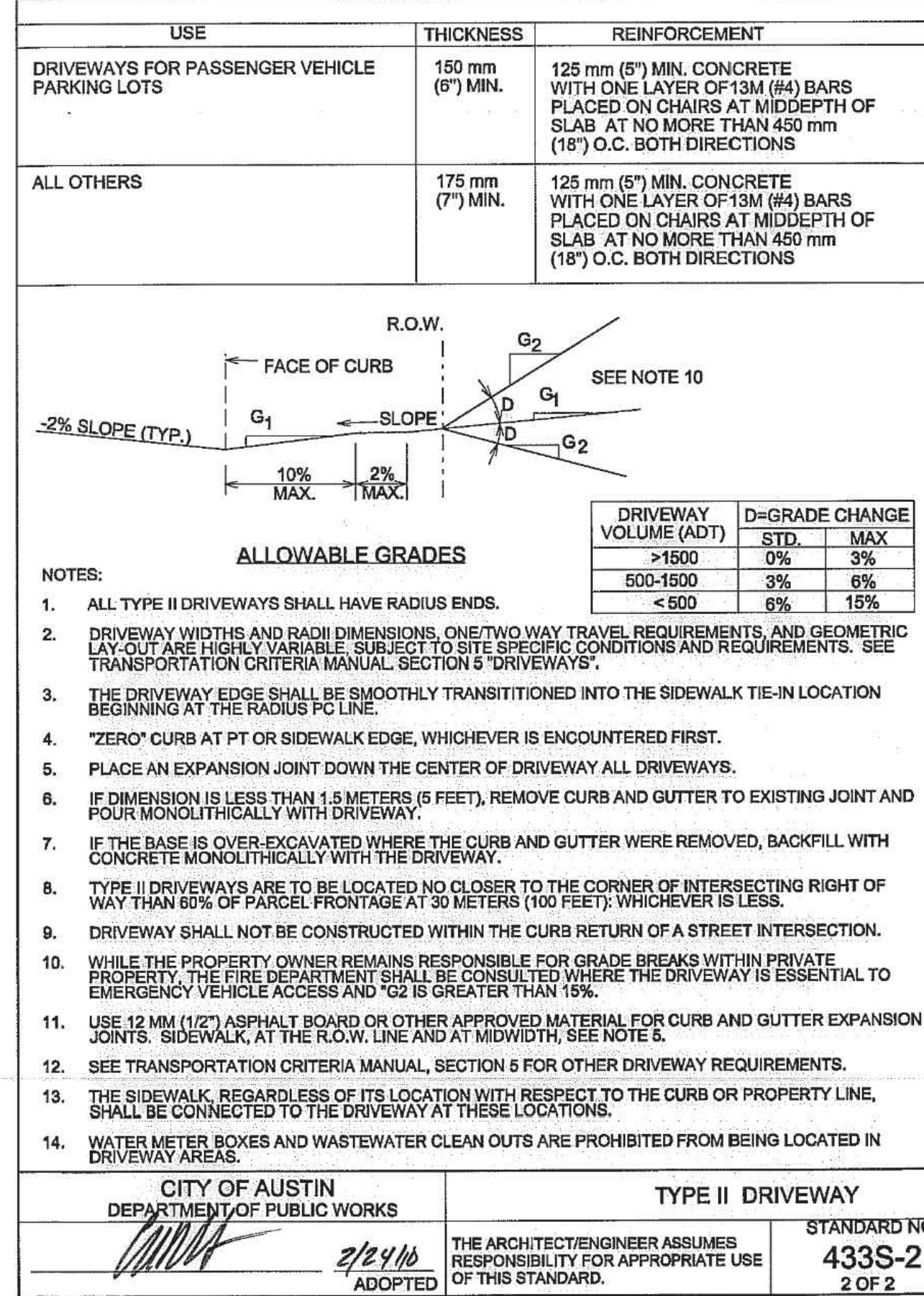
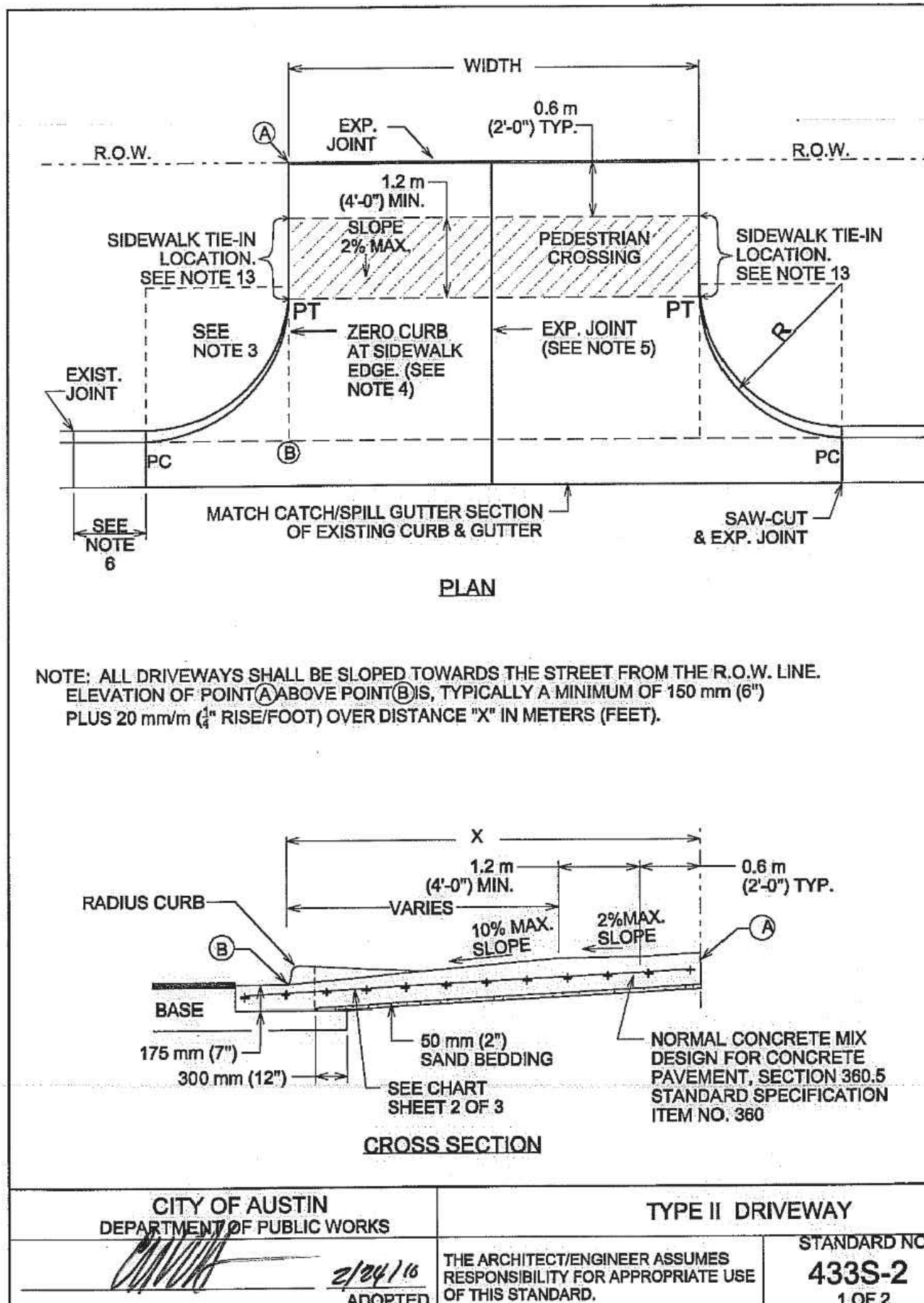
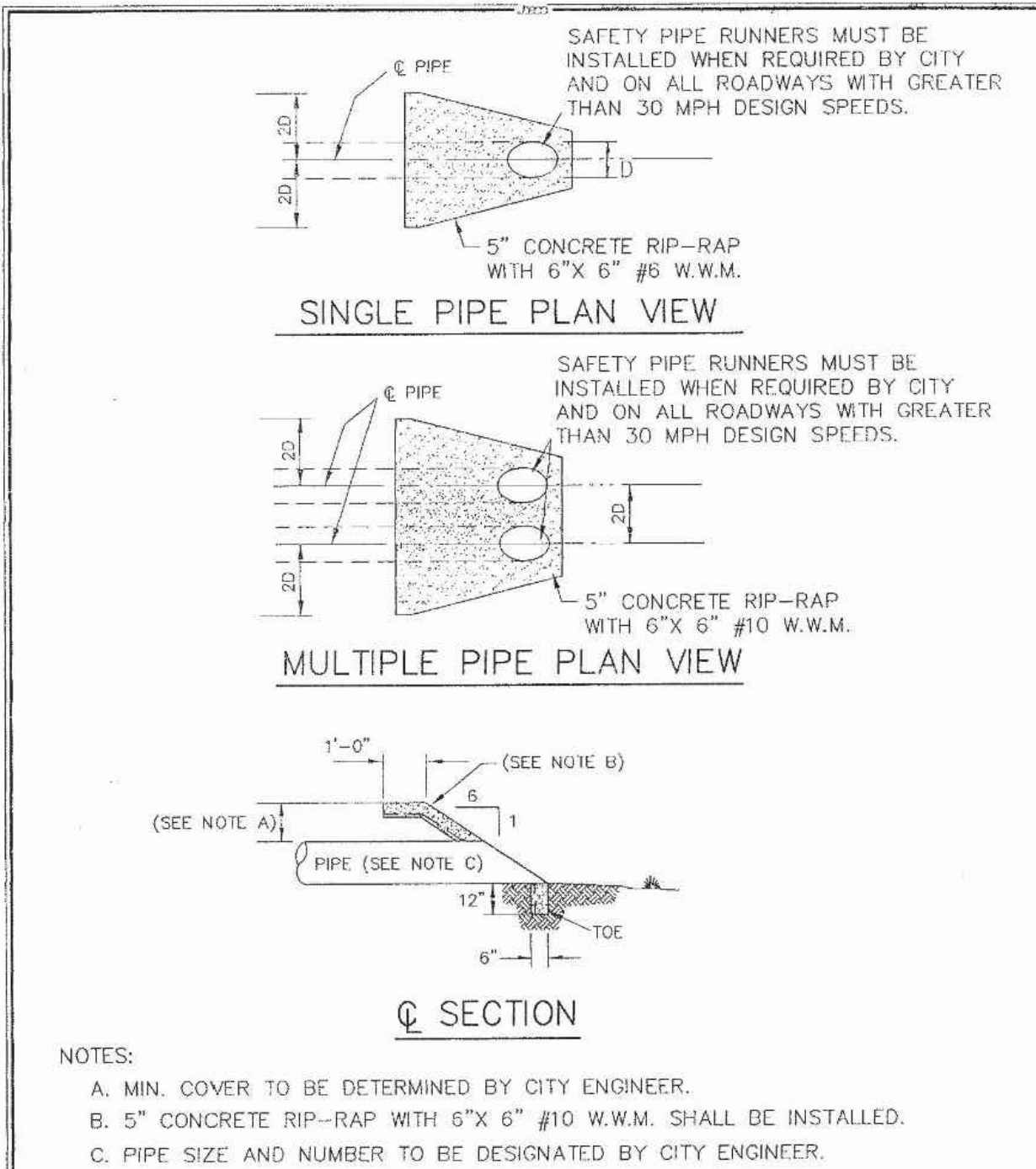
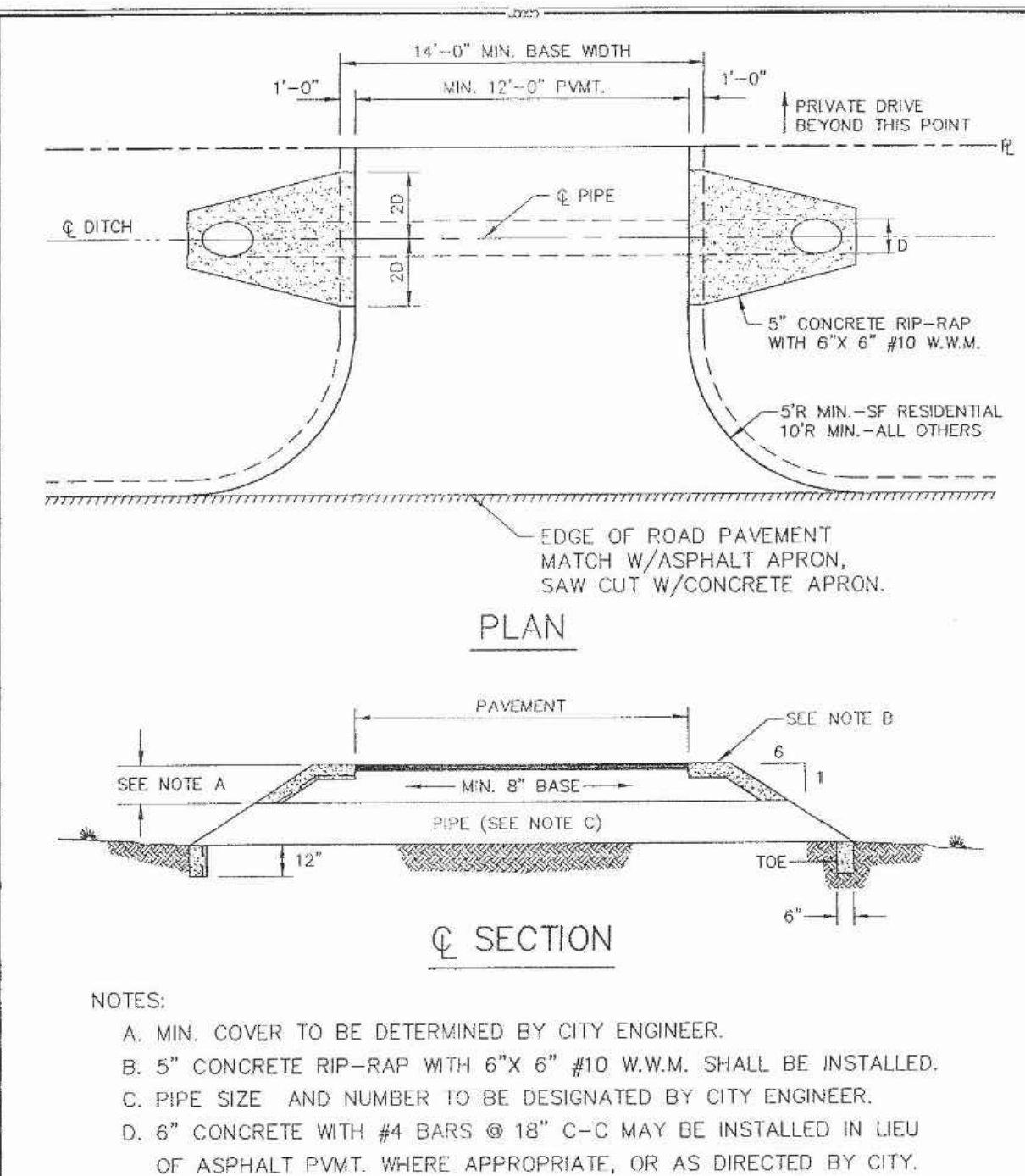
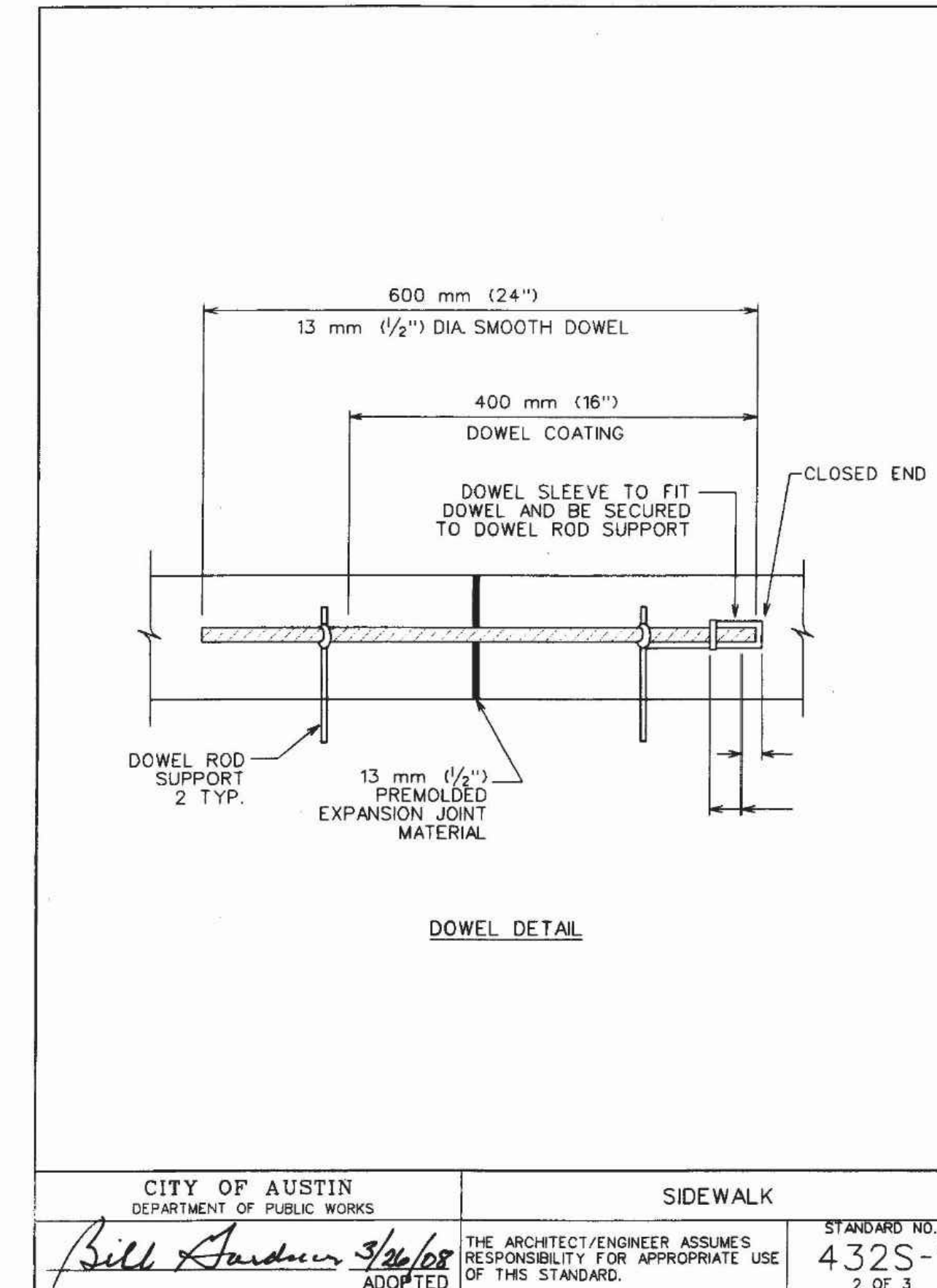
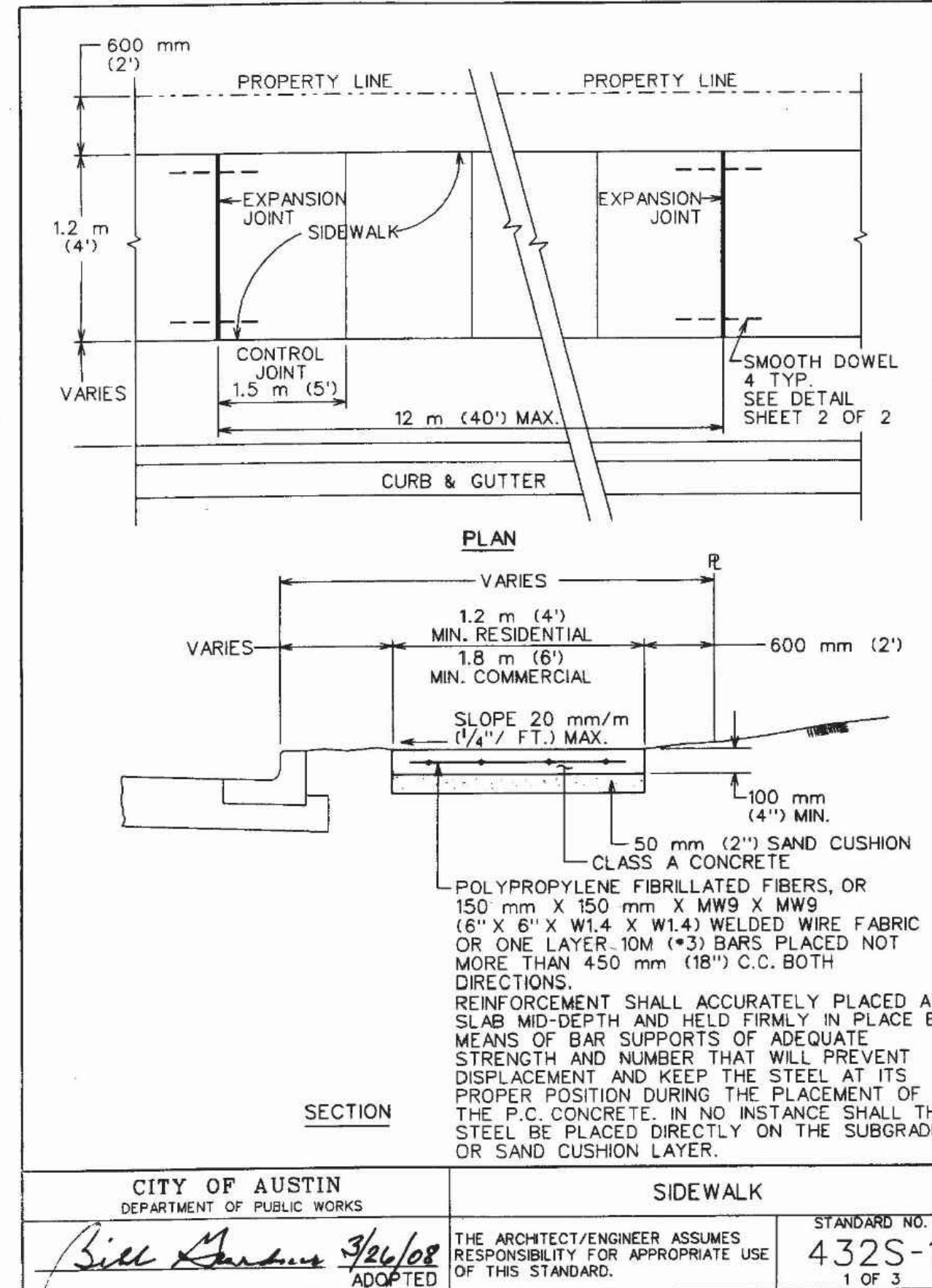
NOTES:
1. STONE SIZE: 6"-12" OPEN GRADED ROCK.
2. THICKNESS: 1.5'(18")

ROCK RIP-RAP DETAIL
N.T.S.

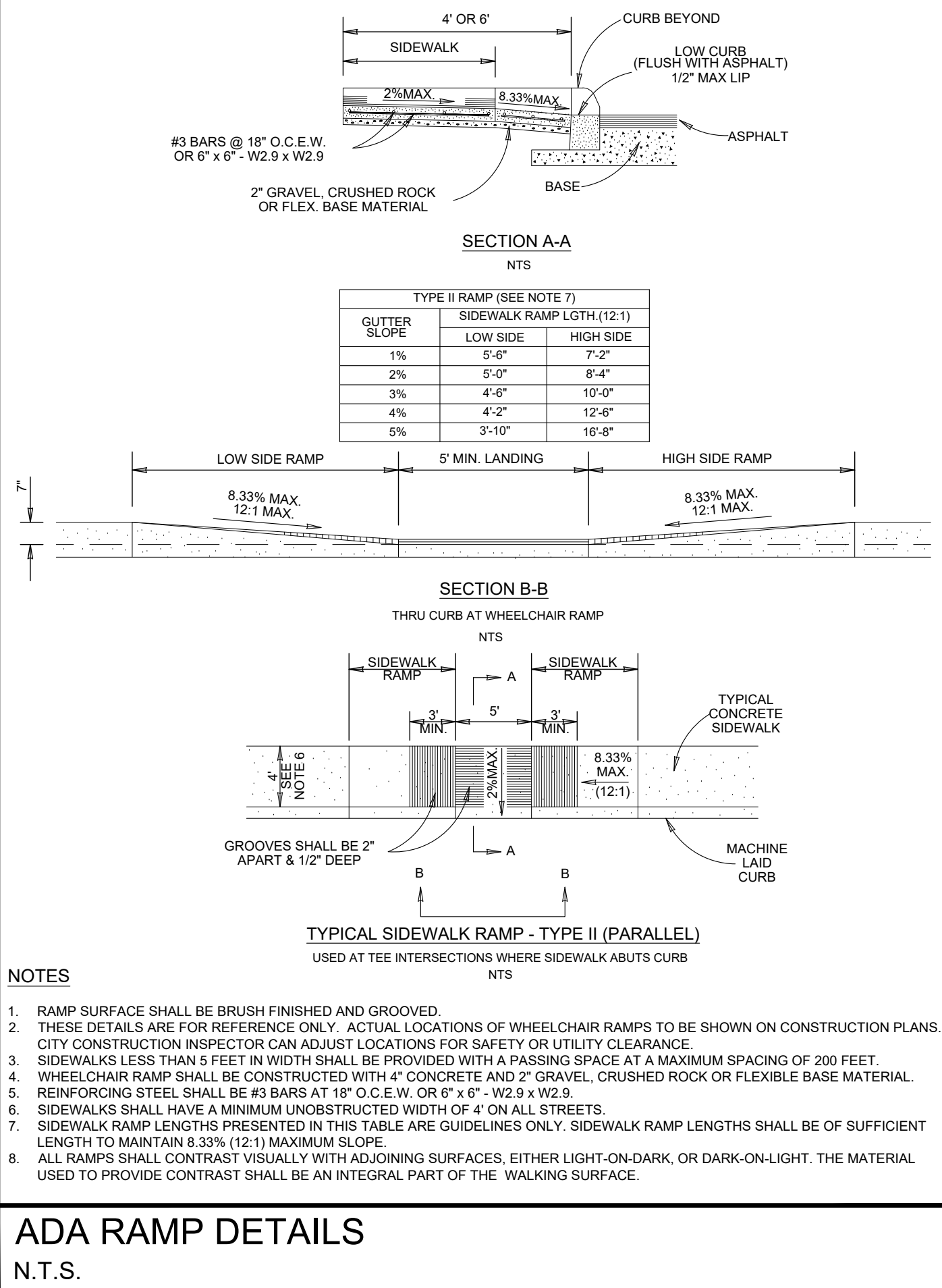
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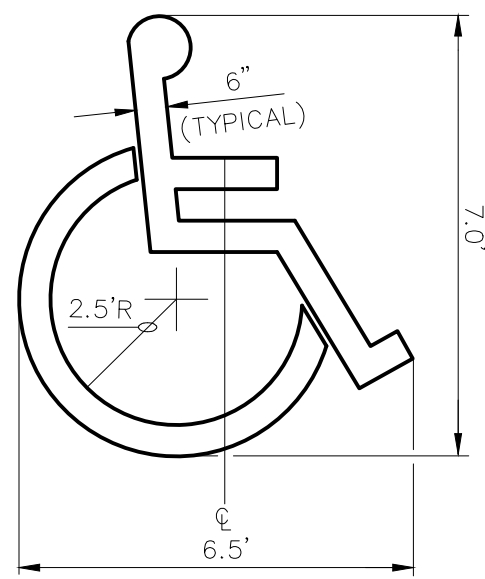
CURB TRANSITION
N.T.S.



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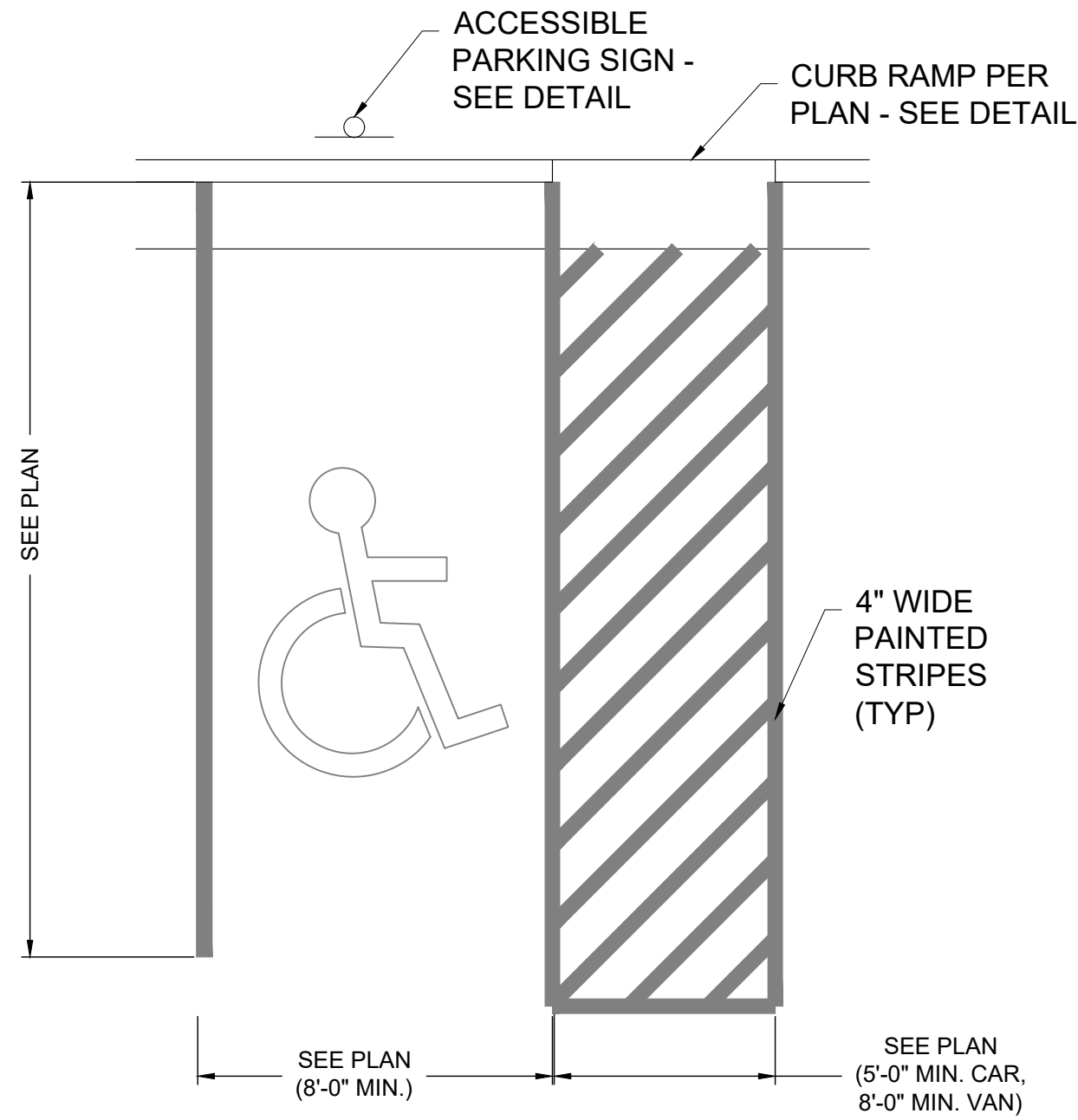


ADA RAMP DETAILS
N.T.S.



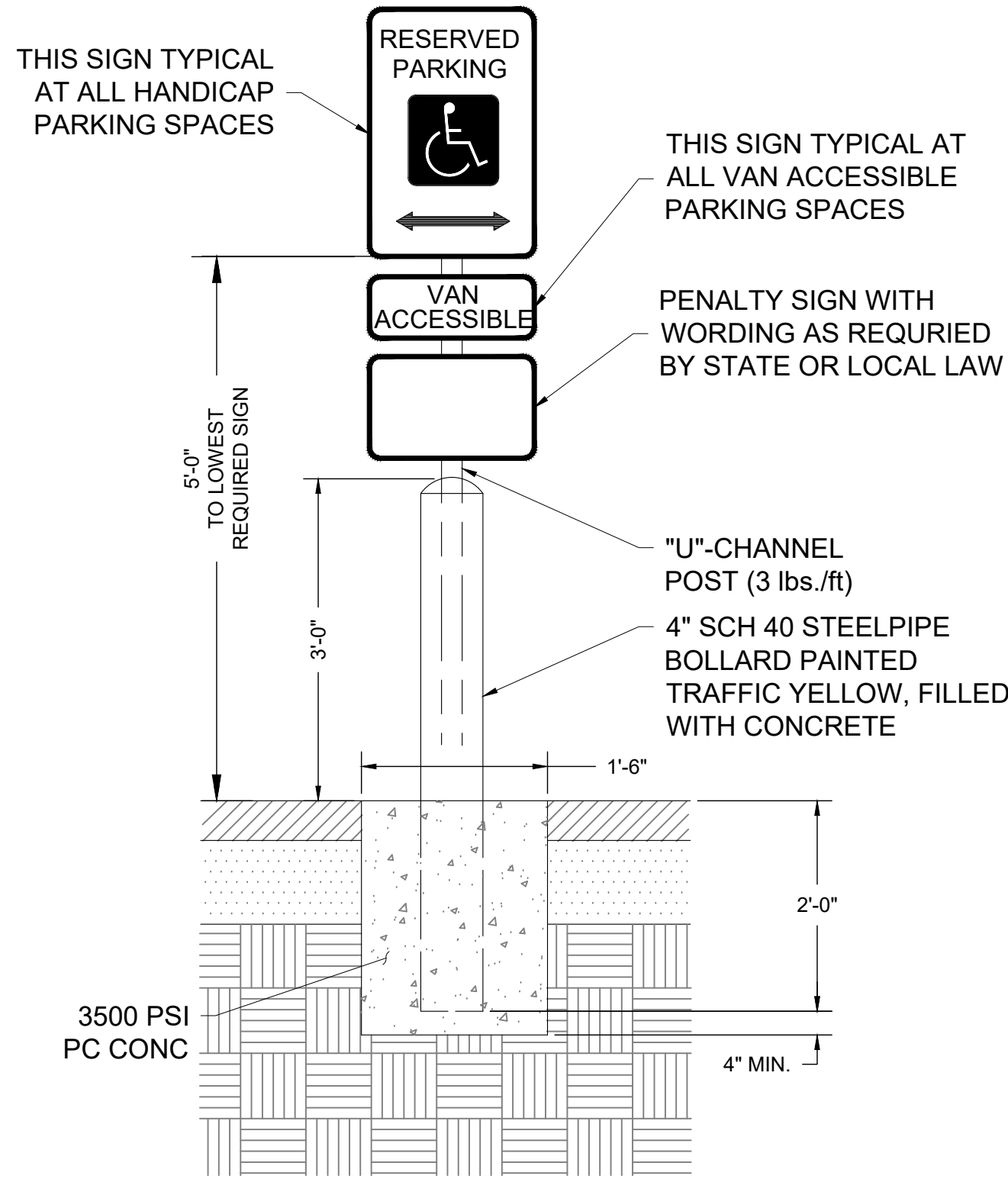
LOCATE AT EDGE OF PARKING SPACE
UNLESS ACCOMPANIED BY "VAN"
LETTERING. - ALL PAINT SHALL BE WHITE.

ACCESSIBLE PARKING SYMBOL
N.T.S.

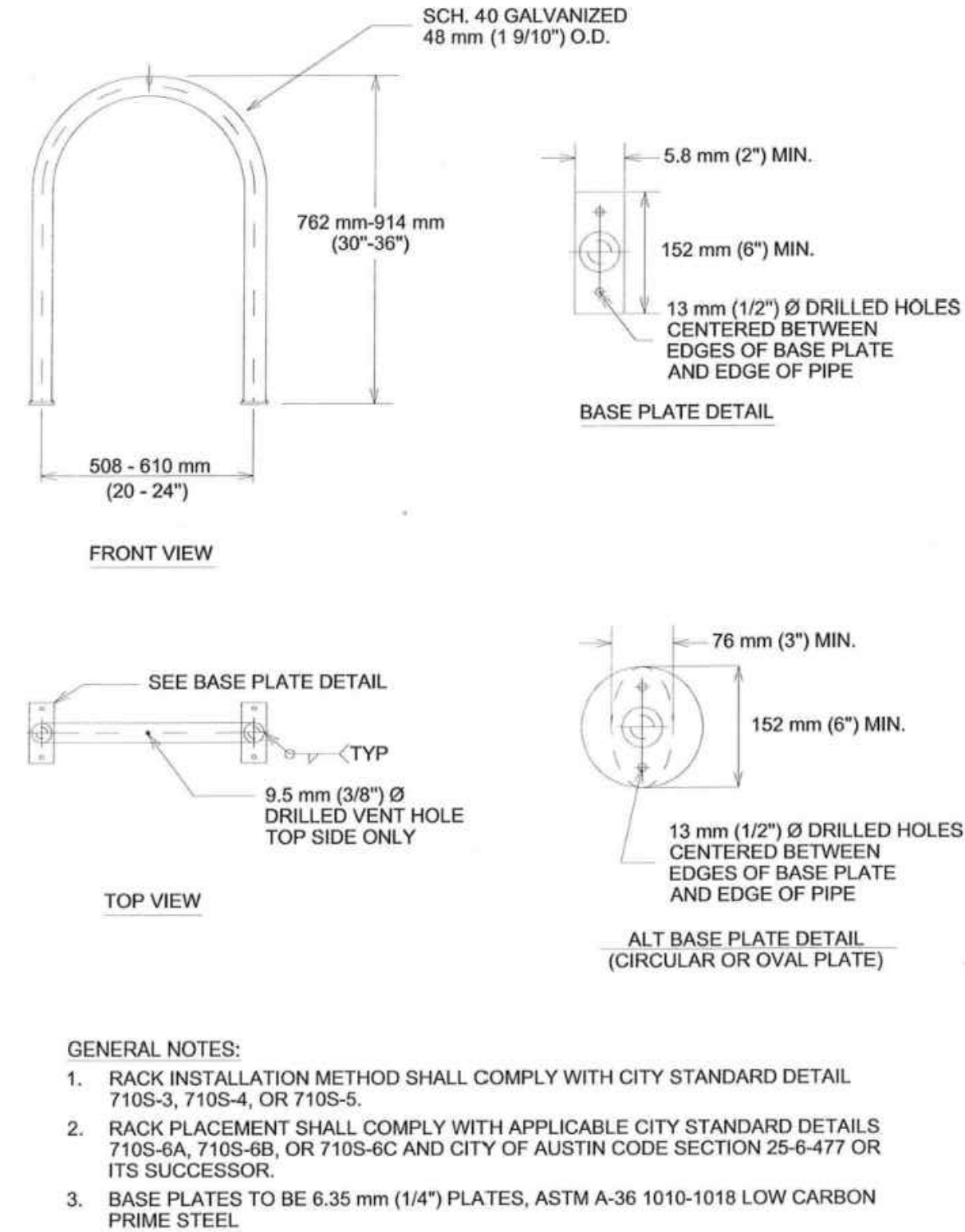


- NOTES:
1. HC PARKING SPACES SHALL COMPLY WITH ALL STATE AND FEDERAL ACCESSIBILITY GUIDELINES. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND GUIDELINES, THE GUIDELINES SHALL GOVERN.
 2. ACCESSIBLE SPACES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
 3. WHEEL STOPS AND/OR BOLLARDS SHALL BE USED TO PREVENT VEHICLE ENCROACHMENT INTO ACCESSIBLE ROUTE.

ACCESSIBLE PARKING SPACE DETAIL
N.T.S.



HANDICAPPED SIGN
N.T.S.



- GENERAL NOTES:
1. RACK INSTALLATION METHOD SHALL COMPLY WITH CITY STANDARD DETAIL 710S-3, 710S-4, OR 710S-5.
 2. RACK PLACEMENT SHALL COMPLY WITH APPLICABLE CITY STANDARD DETAILS 710S-6A, 710S-6B, OR 710S-6C AND CITY OF AUSTIN CODE SECTION 25-6-477 OR ITS SUCCESSOR.
 3. BASE PLATES TO BE 6.35 mm (1/4") PLATES, ASTM A-36 1010-1018 LOW CARBON PRIME STEEL.

CITY OF AUSTIN
DEPARTMENT OF PUBLIC WORKS
CLASS III STYLE BICYCLE PARKING
STANDARD NO. 710S-1
1 OF 1
9/26/12
ADOPTED

ARTERIAL ROADWAYS	
DROPOFF HEIGHT/ CONDITION	RAIL OPTIONS
< 30" DROPOFF	TXDOT PRD-13 TY C or TY E
≥ 30" DROPOFF OR ALONG BICYCLE PATH	TXDOT PRD-13 TY E

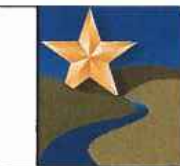
ALL OTHER ROADWAY CLASSIFICATIONS	
DROPOFF HEIGHT/ CONDITION	RAIL OPTIONS
< 30" DROPOFF	TXDOT PRD-13 TY C, TXDOT PRD-13 TY E, or COA 7075-2
≥ 30" DROPOFF OR ALONG BICYCLE PATH	TXDOT PRD-13 TY E or COA 7075-2

- NOTES:
1. BICYCLE PATHS INCLUDE ALL SIDEWALKS OR PATHS GREATER THAN SIX FEET (6') IN WIDTH.
 2. HANDRAIL TYPE AND FINISH SHALL REMAIN CONSISTENT AT EACH INSTALLATION LOCATION (CULVERT CROSSING, DROPOFF, ETC.).
 3. ALL HANDRAIL INSTALLED ALONG ARTERIAL ROADWAYS SHALL BE GALVANIZED.
 4. HANDRAIL INSTALLED ALONG ALL OTHER ROADWAYS SHALL BE GALVANIZED OR FACTORY POWDER-COATED BLACK.

- REFERENCES:
1. CITY OF AUSTIN STANDARD NO. 7075-2 PEDESTRIAN HANDRAIL OPTION 1.
 2. TEXAS DEPARTMENT OF TRANSPORTATION PEDESTRIAN HANDRAILS DETAIL PRD-13.



2020-04-07



City Of Leander, Texas
DETAIL #202-4
PEDESTRIAN HANDRAIL

BAGDAD FUNERAL HOME
SITE DEVELOPMENTS

SCI SHARED RESOURCES, LLC

DETAILS - 3

PROJECT #
1038-109

ISSUE DATE
04/07/25

PROJECT MGR: LCHALLIS
DESIGNER: J.S./A.J.
DRAWN BY: A.JONES

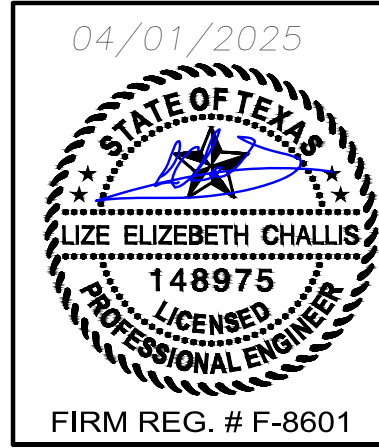
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21 OF 25

SD-24-0194

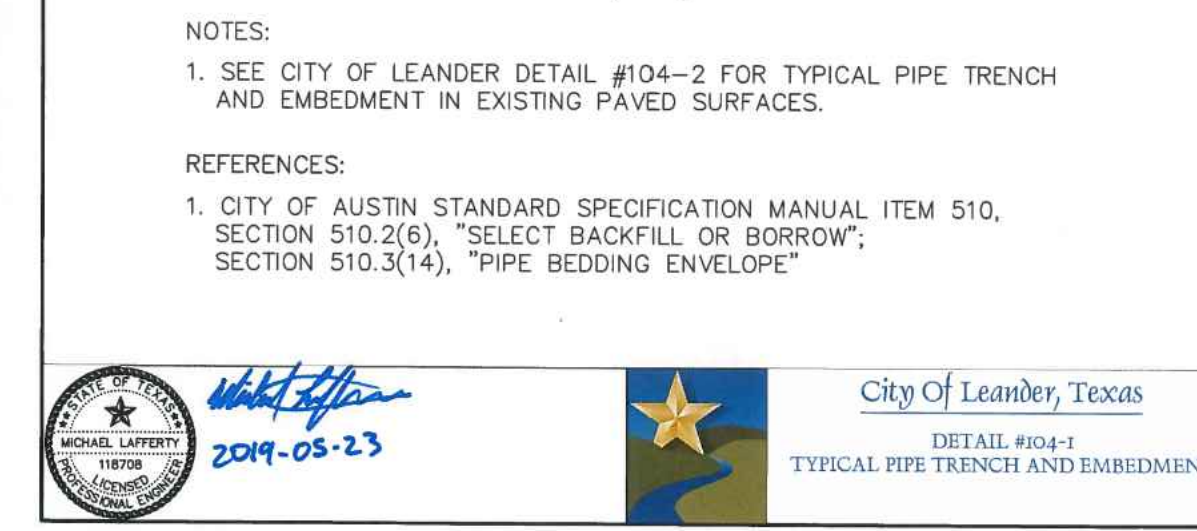
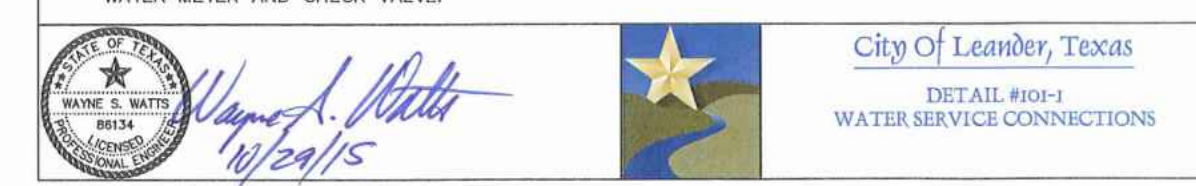
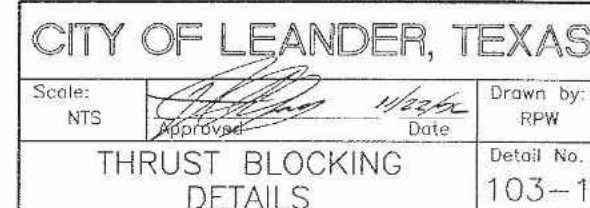
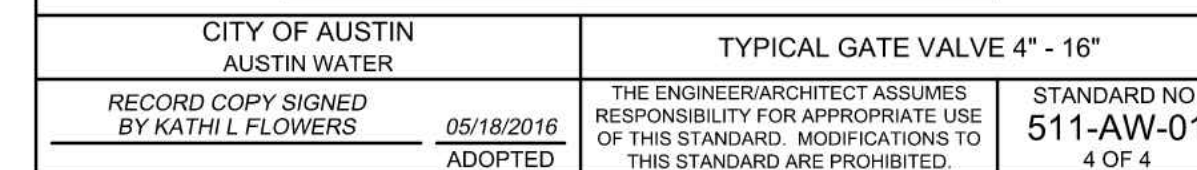
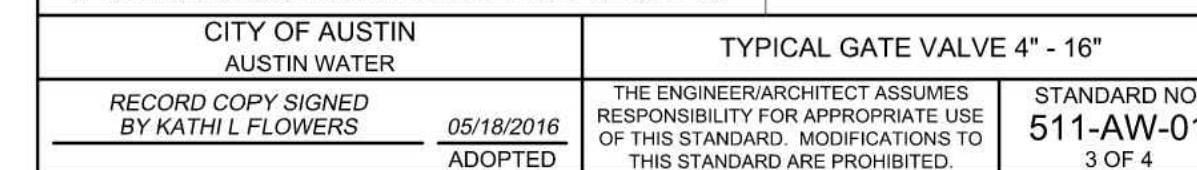
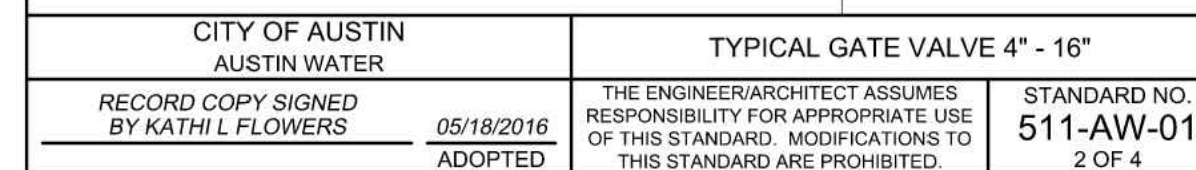
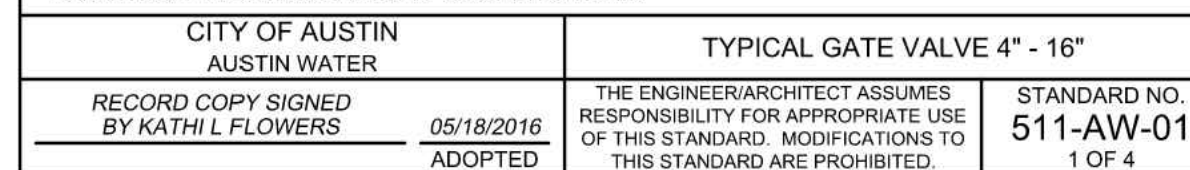
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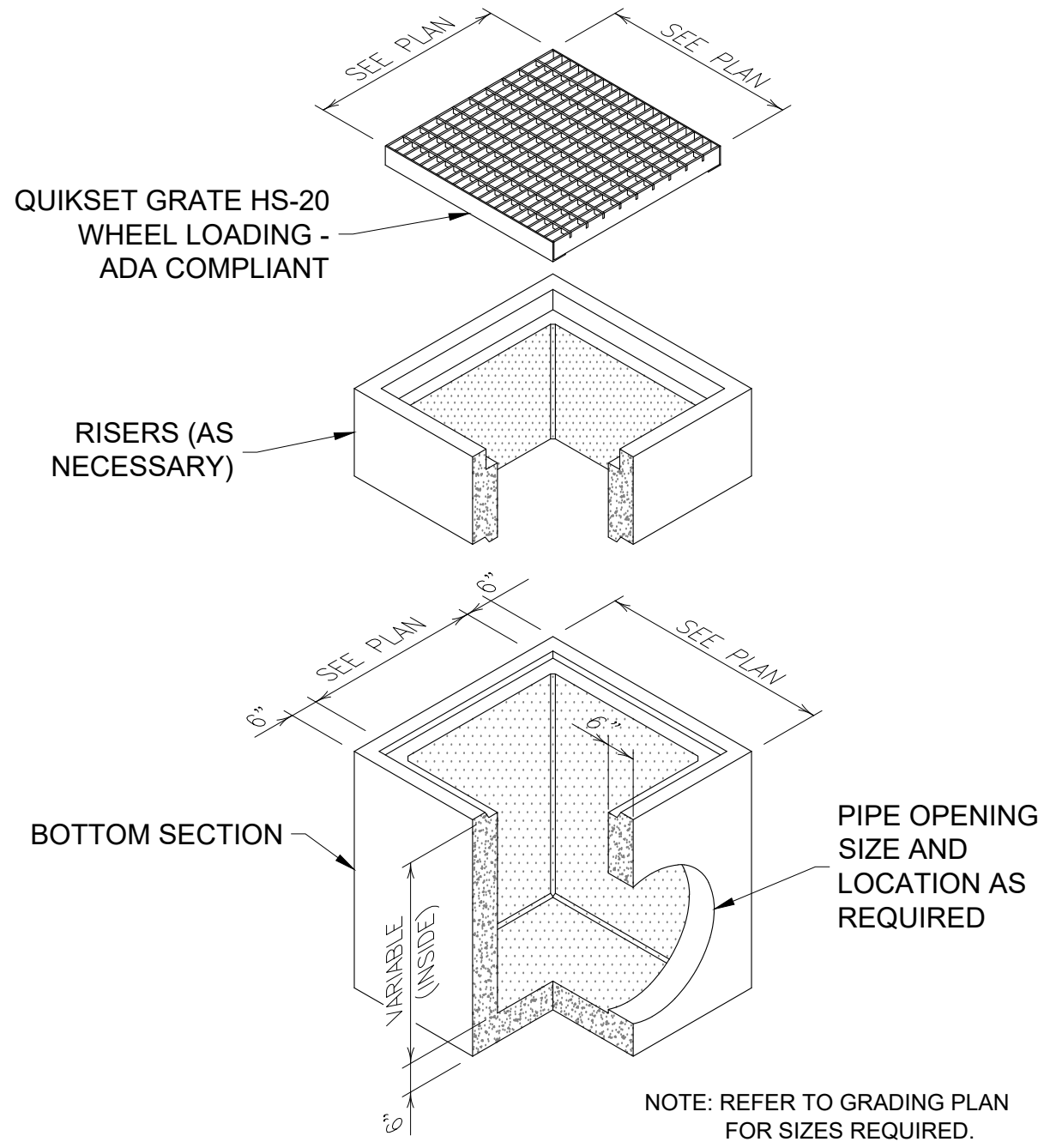
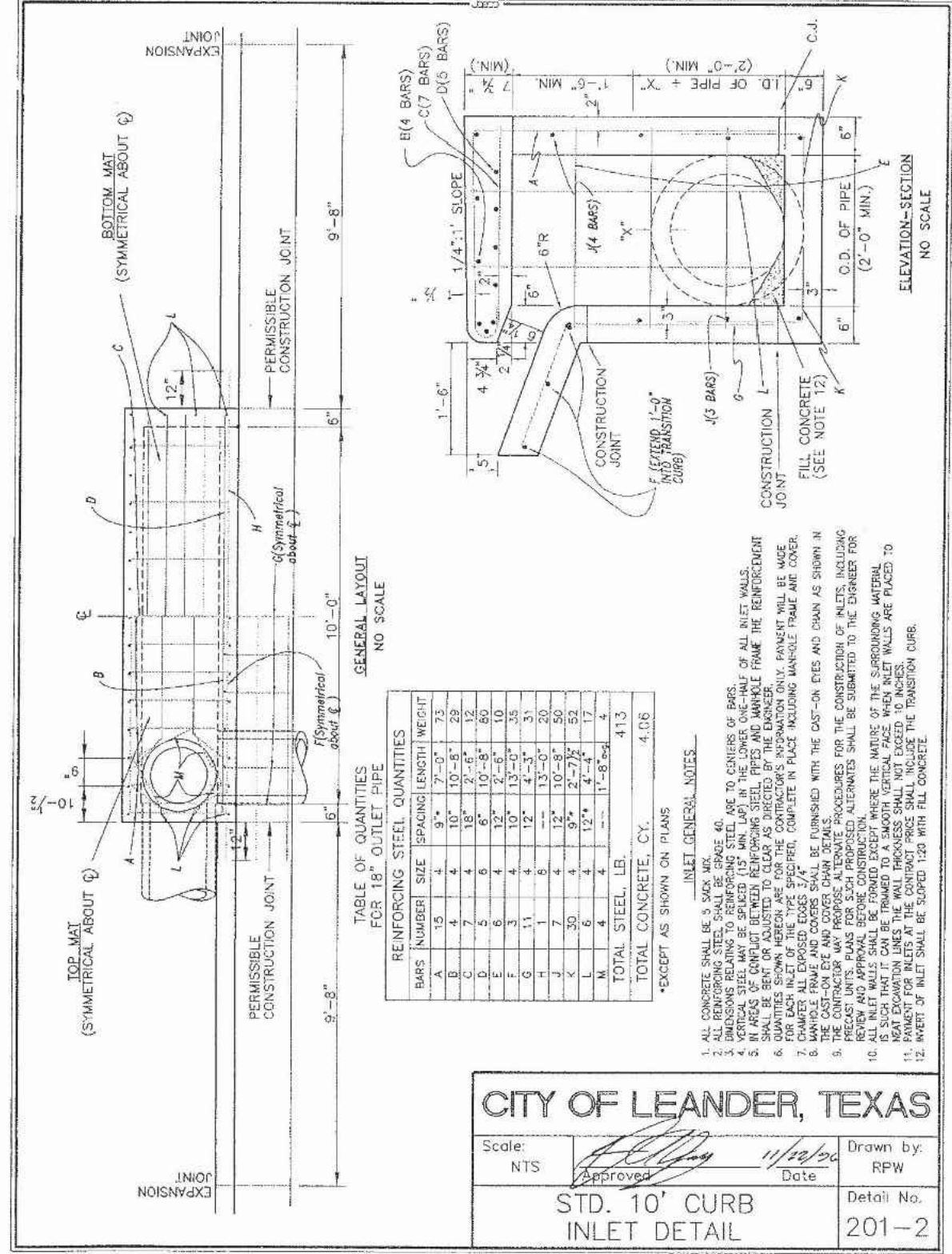
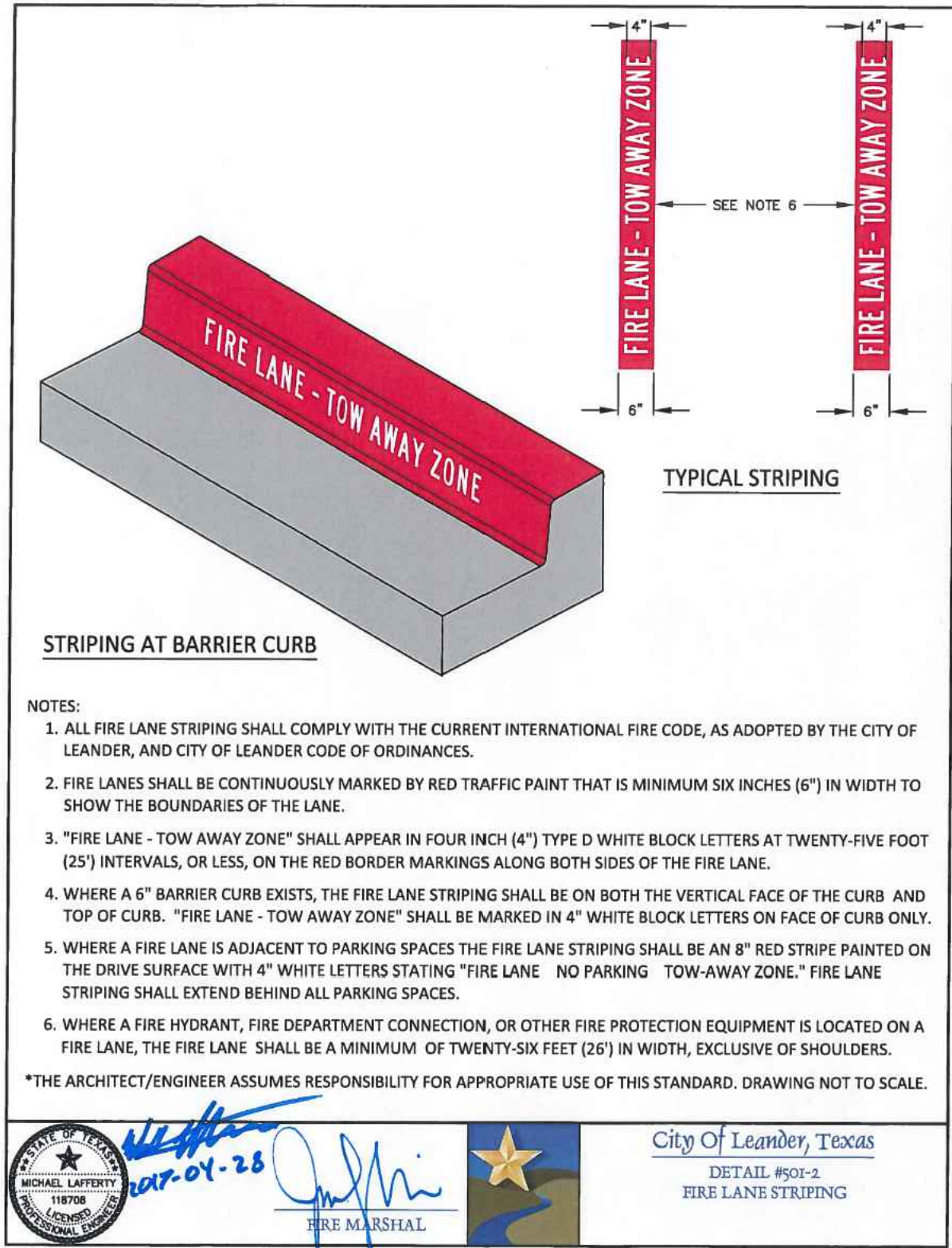
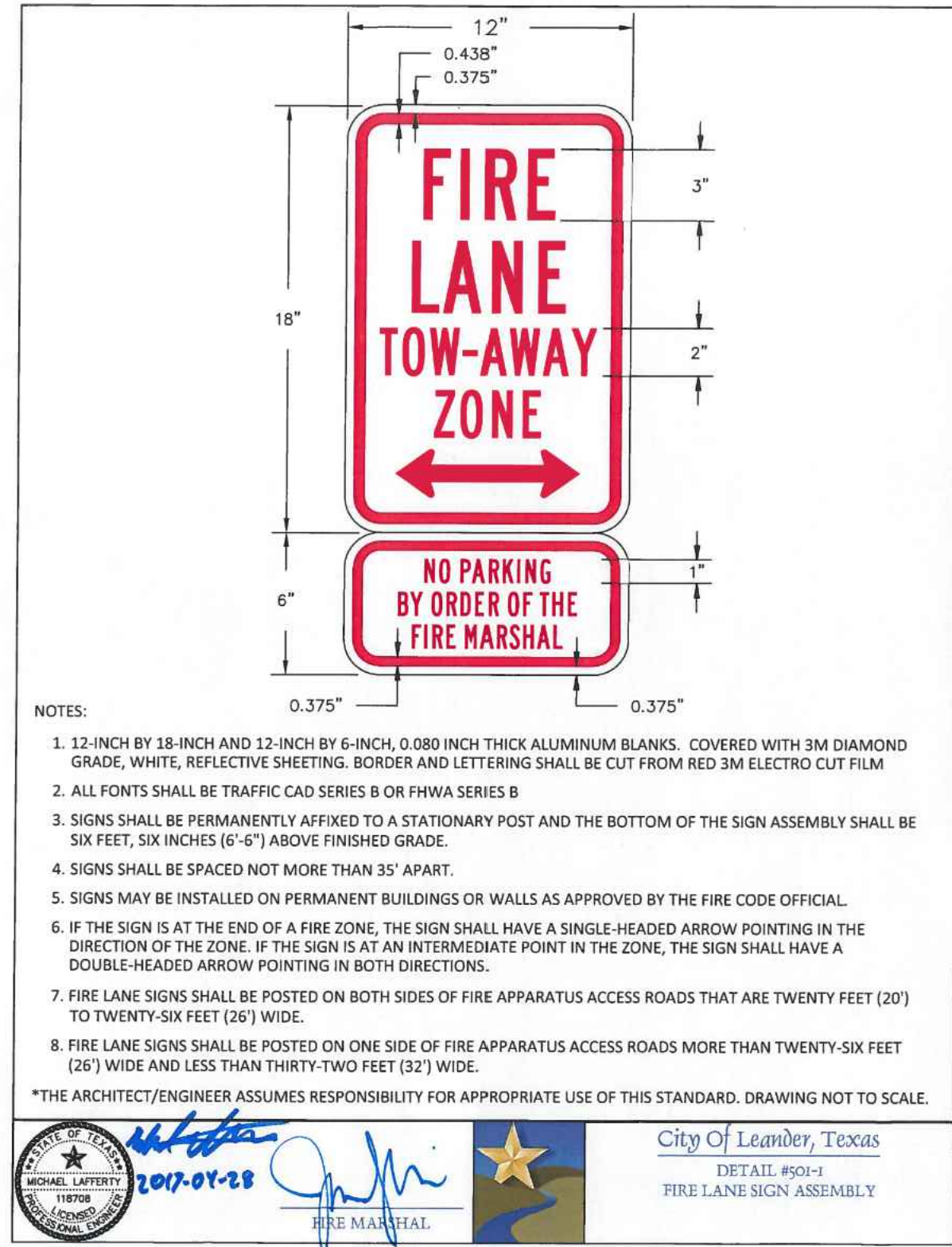
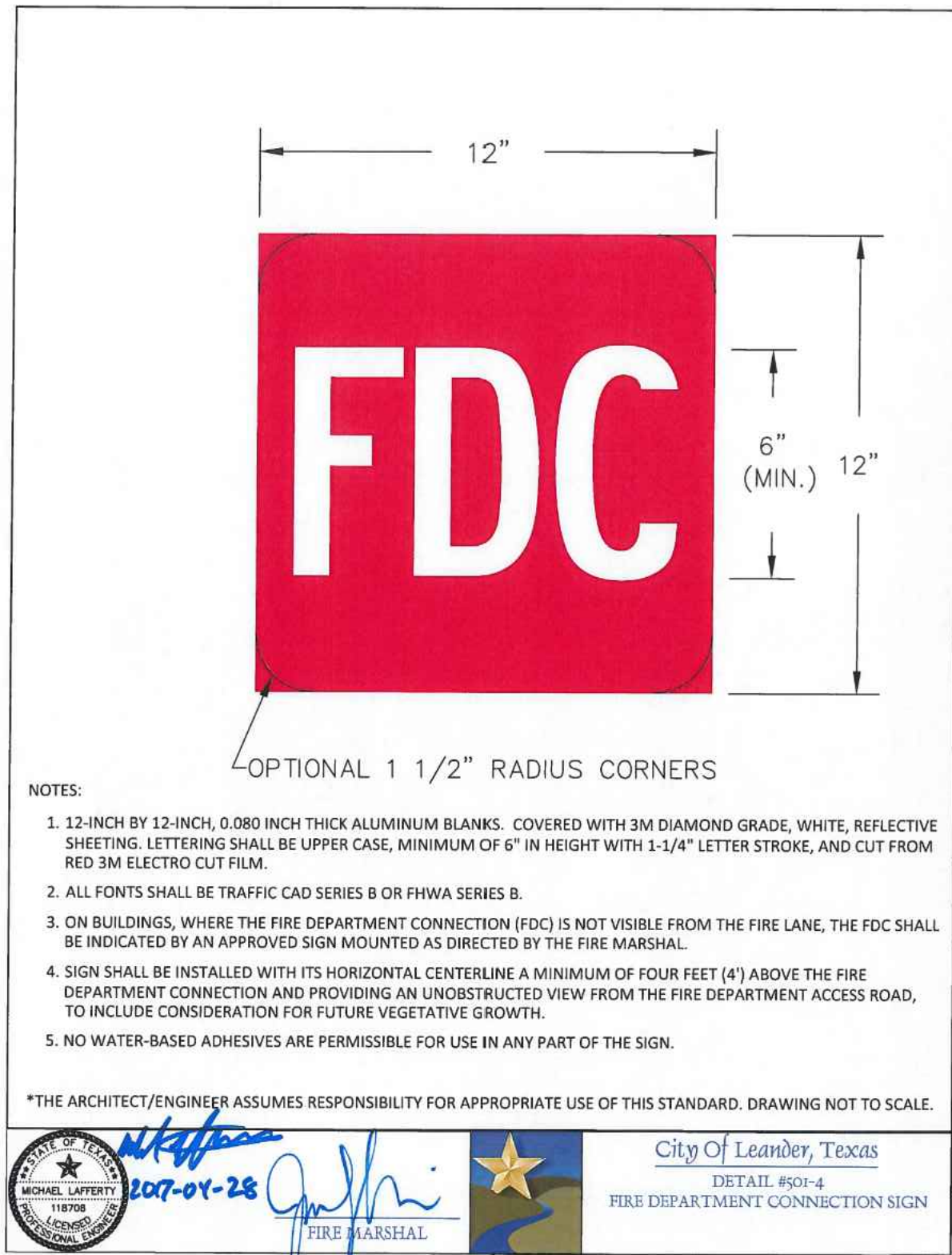


CIVIL & STRUCTURAL
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AUSTIN / HOUSTON

TDi Engineering, LLC
5905 Old Fredericksburg Road, Suite 300
Austin, TX 78749
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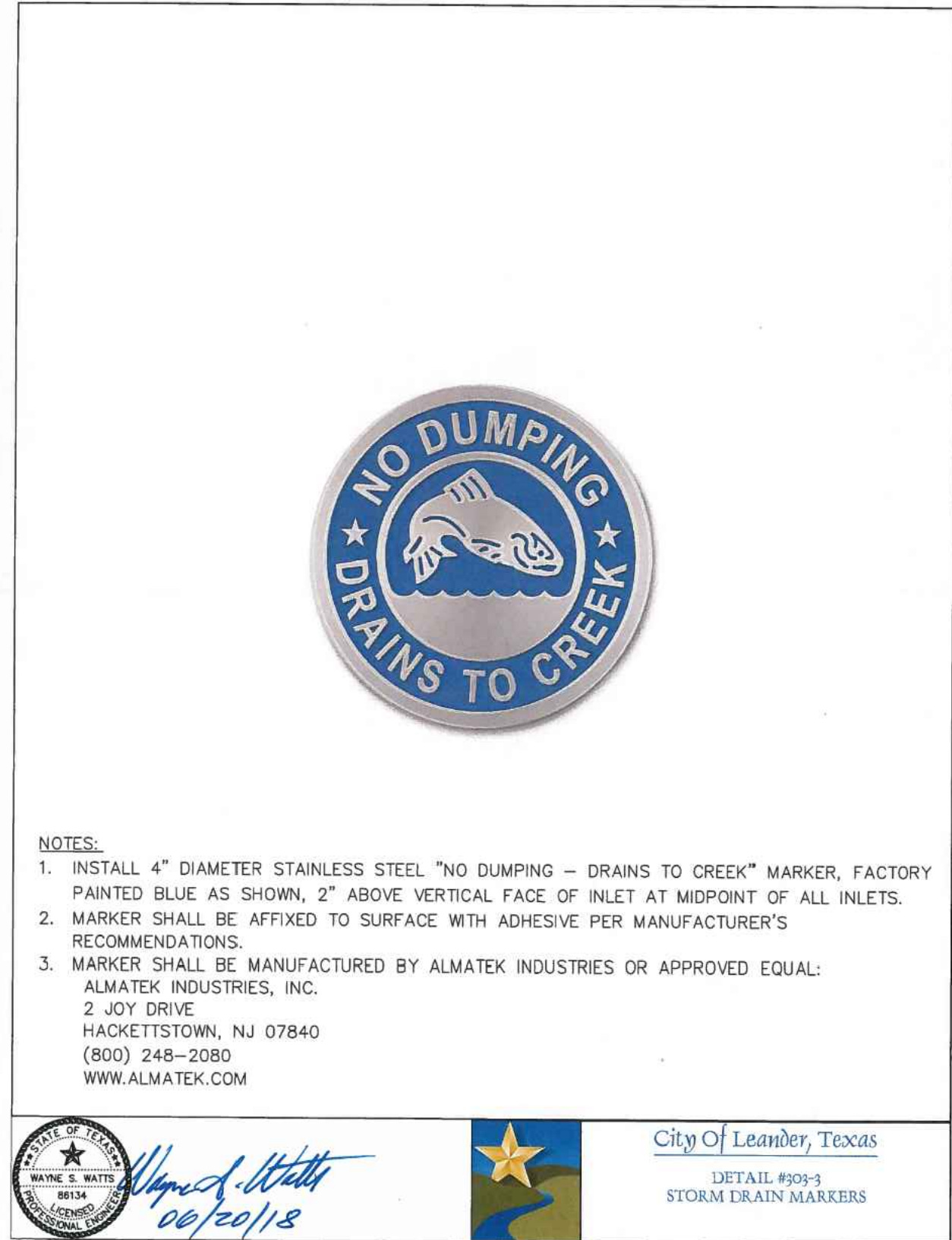
*THINK DESIGN innovate, integrate, implement...





- 1) ALL CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4,500 PSI.
- 2) REINFORCING STEEL SHALL COMPLY WITH ASTM A615 GRADE 60, A706 GRADE 60 OR A497 GRADE 70. BAR BENDING AND PLACEMENT SHALL COMPLY WITH THE LATEST ACI STANDARDS.
- 3) STRUCTURAL DESIGN SHALL BE BASED ON AASHTO HS20 WHEEL LOADING.
- 4) THE STRUCTURE SHALL BE PLACED ON A COMPACTED GRANULAR BASE TO ENSURE UNIFORM DISTRIBUTION OF SOIL PRESSURES.

PRECAST GRATE INLET
N.T.S.



BAGDAD FUNERAL HOME
SITE DEVELOPMENTS
SCI SHARED RESOURCES, LLC

DETAILS - 4
PROJECT #
1038-109
ISSUE DATE
04/07/25

PROJECT MGR: L. CHALLIS
DESIGNER: J.S./A.J.
DRAWN BY: A. JONES

SHEET
22
22 OF 25

04/01/2025

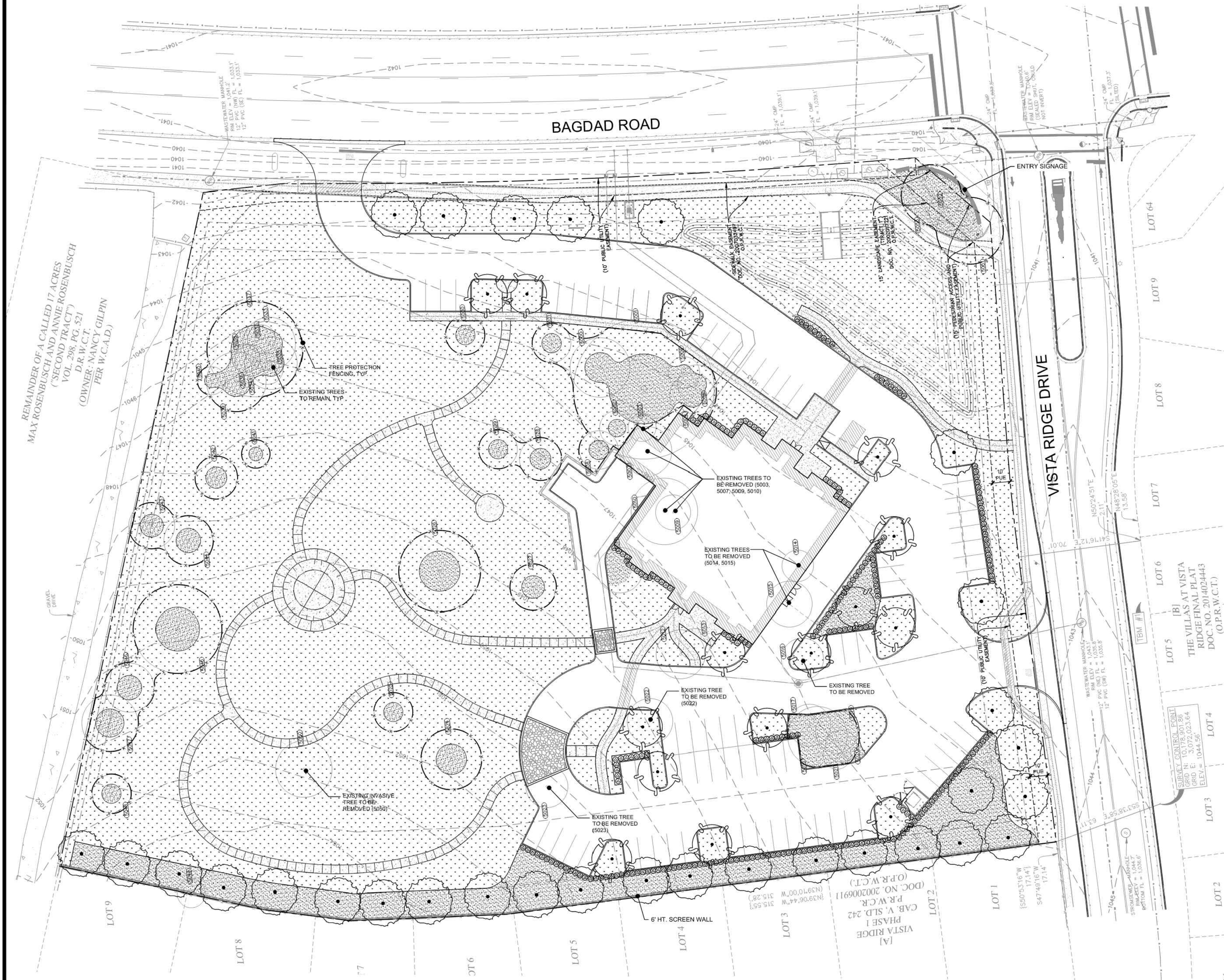
STATE OF TEXAS
LIZE ELZEBETH CHALLIS
148975
PROFESSIONAL ENGINEER
FIRM REG. # F-8601

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*THINK DESIGN innovate, integrate, implement...



OVERALL REQUIRED LANDSCAPE AREA				PROVIDED LANDSCAPE AREA		
	PERCENTAGE	SQUARE FEET	TOTAL SF	SQUARE FEET	PERCENTAGE	
Multifamily	20%			30,745.33		
Office & Professional	15%					
Commercial	15%	204,968.87	30,745.33			
Industrial/Manufacturing	10%					
Schools, Churches, Community Centers, Private Parks	15%					

SETBACK AREA				REQUIRED TREES (x2)	REQUIRED SHRUBS (x4)	PROVIDED TREES	REQUIRED SHRUBS
	SETBACK	SQUARE FEET	FACTOR				
Front (North Side)	15'	6,775	= 600	11.3	23	45	8
Side (East Side)	5'	1,745	= 600	2.9	6	12	5
Side (West Side)	5'	1,981	= 600	3.3	7	13	8
Rear (South Side)	15'	8,410	= 600	14.0	28	56	20

*East Side has a 10' Public Utility Easement within Setback Area. No trees permitted in easement.

TREE LEGEND					
SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
	30	3" CALIPER (MIN 10' HEIGHT)	PLATANUS MEXICANA QUERCUS POLYMORPHA QUERCUS SHUMARDI 'BUCKLEY' QUERCUS VIRGINIANA ULMUS CRASSIFOLIA	MEXICAN SYCAMORE MONTERREY OAK TEXAS RED OAK 'BUCKLEY' SOUTHERN LIVE OAK CEDAR ELM	STANDARD
	15				

SHRUB AND GROUNDCOVER LEGEND					
SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
	254	5 GAL MINIMUM SIZE	LAGERSTROEMIA INDICA LEUCOPHYLLUM FRUTESCENS MUHLENBERGIA LINDEHEIMERI MYRTICA PUSILLA RHAPLOLEPIS INDICA SPP ROSA SPP. 'RADRAZZ'	CRAPE MYTLE (SHRUB FORM) TEXAS SAGE BIG MUHLY DWARF WAX MYRTLE INDIAN HAWTHORN KNOCKOUT ROSE 'RADRAZZ'	STANDARD
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME		
	+/- 108,121.86 sf	CYNODON DACTYLON 'TIFFWAY 419'	TIFFWAY 419 BERMUDA GRASS		
	+/- 18,351.26 sf	MULCH			
	TBD	METAL EDGING			

REMAINDER OF A CALLED 17 ACRES
(SECOND TRACT)
VOL. 298 PG. 321
D.R.W.C.T.
(OWNER: NANCY GILPIN
PER W.C.A.D.)

15240 Laguna Canyon Road, Ste. 210, Irvine, California 92618
(714) 434-9803
www.clarkgreen.com

CLARK & GREEN
ASSOCIATES
LANDSCAPE ARCHITECTS

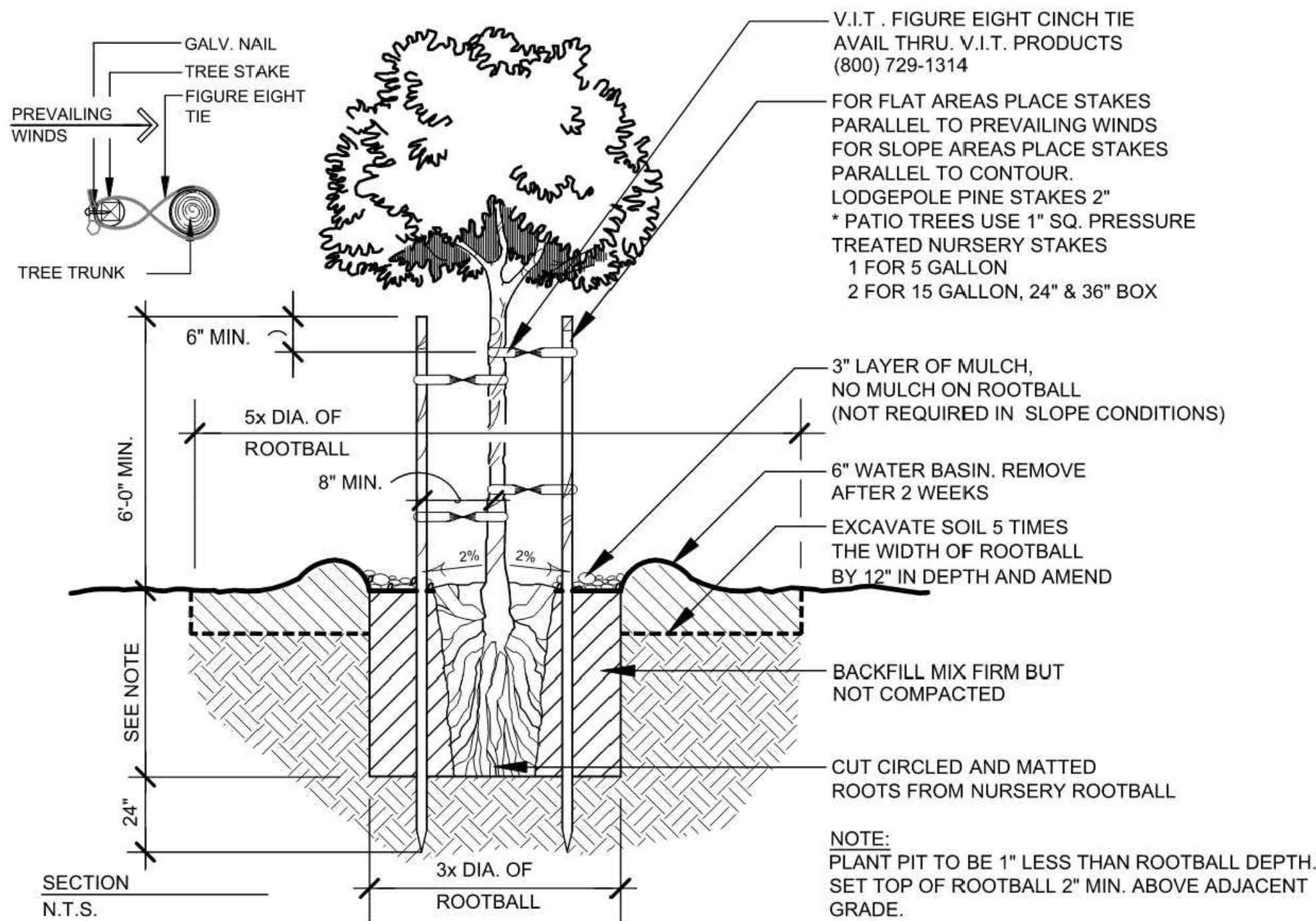
BY: [Signature]
DATE: [Blank]
REVISIONS: [Table with 2 columns: Description, Date]

PROJECT: WCF Funeral Home & Cremation Cemetery
301 S. Bagdad Road
Leander, Texas 78641
Owners Representative: Austin Dicks, SCI

SHEET TITLE: PLANTING PLAN

DRAWN: JS/RD
CHECKED: JS/MG
DATE: 10-08-24
JOB NO: 24-153
SHEET: 24 of 25

TREE NUMBER	0-8"	8-18"	18-26"	26" +	INVASIVE	MULTI TRUNK	TREE SPECIES	REMOVED 0-8"	REMOVED 8-18"	REMOVED 18-26"	REMOVED 26" +	REMOVED INVASIVE
5000		17					12-9 LIVEOAK					
5001				40			LIVEOAK					
5002		10					LIVEOAK					
5003		8					LIVEOAK		8			
5004		13					10-6 LIVEOAK					
5005		11					LIVEOAK					
5006		9					LIVEOAK					
5007		14					10-7 LIVEOAK		14			
5008		11					LIVEOAK					
5009		10					LIVEOAK		10			
5010			19				10-9-9 LIVEOAK			19		
5011		13					LIVEOAK					
5012		14					LIVEOAK					
5013		9					LIVEOAK					
5014		9					LIVEOAK		9			
5015		13					LIVEOAK		13			
5016		12					LIVEOAK		12			
5017		12					LIVEOAK					
5018		17					LIVEOAK					
5019		12				8-8	CEDARELM					
5020		9					LIVEOAK					
5021		8					LIVEOAK					
5022		13					LIVEOAK		13			
5023		12				8-8	LIVEOAK		12			
5024		17				10-7-7	LIVEOAK					
5025		11					LIVEOAK					
5026			23			9-8-8-6-6	LIVEOAK					
5027		13				9-7	LIVEOAK					
5028		12					LIVEOAK					
5029		11					LIVEOAK					
5030		11					LIVEOAK					
5031		11					LIVEOAK					
5032		8					LIVEOAK					
5033		15				9-6-6	LIVEOAK					
5034		15				10-9	LIVEOAK					
5035		9					LIVEOAK					
5036		9					LIVEOAK					
5037				27		9-9-9-8-8	LIVEOAK					
5038		8					LIVEOAK					
5039		17					LIVEOAK					
5040		8					CEDAR					
5041		8					LIVEOAK					
5042		12				8-7	LIVEOAK					
5043		13					LIVEOAK					
5044		14				9-6-4	LIVEOAK					
5045			25			18-14	LIVEOAK					
5046		14				10-7	LIVEOAK					
5047		16				9-7-6	LIVEOAK					
5048		11				8-6	LIVEOAK					
5049		8					HACKBERRY					
5050					16	8-8-7	CHINA BERRY					16
5051			19				LIVEOAK					
5052		11					LIVEOAK					
5053		17					LIVEOAK					
TOTAL INCHES	0	555	86	67	16			0	91	19	0	16
TOTAL TREES	0	47	4	2	1			0	8	1	0	1



TREE PLANTING DETAIL

EXISTING TREE CALIPER INCHES

TREE SIZE	TOTAL INCHES	SAVED INCHES	SAVED INCHES (PERCENTAGE)	REMOVED INCHES	REMOVED INCHES (PERCENTAGE)
8" to 18"	555	464	84%	91	16%
18" to 26"	86	67	78%	19	22%
SUBTOTAL 8" TO 26"	641	531	83%	110	17%
26" and Above	67	67	100%	0	0
TOTAL CALIPER	708	598	85%	110	15%

* Tree 5050 is considered an Invasive Tree and is required to be removed and is not included in count

EXISTING TOTAL TREES

TREE SIZE	TOTAL TREES	SAVED TREES	SAVED TREES (PERCENTAGE)	REMOVED TREES	REMOVED TREES (PERCENTAGE)
8" to 18"	47	39	83%	8	17%
18" to 26"	4	3	75%	1	25%
SUBTOTAL 8" TO 26"	51	42	83%	9	17%
26" and Above	2	2	100%	0	0
TOTAL TREES	53	44	83%	9	17%

* Tree 5050 is considered an Invasive Tree and is required to be removed and is not included in count

MITIGATION PLAN

TREE SIZE	1:1 REPLACEMENT (CALIPER INCH)	2:1 REPLACEMENT (CALIPER INCH)	3:1 REPLACEMENT (CALIPER INCH)		
8" to 18"	91				
18" to 26"		19			
26" and Above			0		
TOTAL CALIPER	91	38	0		

TOTAL TREE CALIPER INCH TO BE MITIGATED: 129"

TREE CALIPER INCH PROPOSED ON SITE: 135"

(45) SHADE TREES X 3" CALIPER = 135"

(00) ORNAMENTAL TREES X 2" CALIPER = 0"

TREE CALIPER INCH CREDIT (SAVED TREES): 598"

8"-18" 464 x 1 = 464

18" and Above 134 x 2 = 134

TREE PROTECTION NOTES:

1. THE GENERAL CONTRACTOR SHALL TAKE THE FOLLOWING STEPS TO PROTECT ALL EXISTING TREES SHOWN TO REMAIN:

A. PRIOR TO COMMENCEMENT OF DEMOLITION, GRADING AND CONSTRUCTION, TEMPORARY FENCING SHALL BE INSTALLED AT THE DRIPLINE OF EACH TREE TO BE PRESERVED. REFER TO DETAIL 'A', THIS SHEET FOR FENCE SPECIFICATIONS. FENCED AREA SHALL NOT BE VIOLATED DURING CONSTRUCTION.

B. ALL EXISTING ON-SITE TREES INDICATED TO REMAIN SHALL BE TRIMMED BY A LICENSED ARBORIST FOUR WEEKS PRIOR TO COMMENCEMENT OF DEMOLITION OR GRADING OPERATIONS. ALL BROKEN OR BRUISED BRANCHES AND DEAD WOOD SHALL BE REMOVED. ALL CUTS OVER 3/4" DIAMETER SHALL BE PAINTED WITH "TREE SEAL" OR APPROVED EQUAL. IN NO CASE SHALL ANY TREE BE TOPPED.

C. ALL EXISTING ON-SITE TREES INDICATED TO REMAIN SHALL BE FERTILIZED BY ROOT INJECTION BY A LICENSED ARBORIST FOUR WEEKS PRIOR TO COMMENCEMENT OF GRADING OR DEMOLITION OPERATIONS.

2. ALL EXISTING ON-SITE TREES INDICATED TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. NO GRADING IS PERMITTED WITHIN THE DRIPLINE OF ANY TREE INDICATED TO REMAIN. NO DEBRIS OR MATERIAL SHALL BE STOCKPILED AROUND THE BASE OF THE TREES. NO TRADESMAN SHALL DUMP DEBRIS OR FLUIDS WITHIN THE DRIPLINE OF ANY TREE (PLASTER, PAINT, THINNER, ETC.). ALL TREES SHALL BE FENCED BY THE GENERAL CONTRACTOR TO AVOID COMPACTION OF THE TREE'S ROOT SYSTEM AND DAMAGE TO THE BARK. THE FENCE SHALL BE SIX FEET HIGH AND EXTEND OUT TO THE DRIPLINE OF THE TREE.

3. ALL EXISTING ON-SITE TREES (EXCLUDING OAK TREES) INDICATED TO REMAIN SHALL BE WATERED BY THE GENERAL CONTRACTOR CONTINUOUSLY DURING THE COURSE OF CONSTRUCTION. IF POTABLE WATER IS NOT AVAILABLE ON THE SITE, A WATERING TRUCK SHALL BE EMPLOYED TO ACCOMPLISH THE WATERING.

4. DO NOT DISTURB SURFACE SOIL WITHIN TREE DRIPLINE EXCEPT AS MANDATED BY CONSTRUCTION PLANS.

5. DURING PERIOD OF EXTENDED DROUGHT, SPRAY WASH TREES TO REMOVE ACCUMULATED CONSTRUCTION DUST.

6. GRADE IN LINES RADIAL TO THE EXISTING TREES RATHER THAN TANGENTIAL. IF ROOTS ARE ENCOUNTERED WHILE GRADING, CUT THEM CLEANLY WITH A SAW. DO NOT RIP THEM WITH GRADING EQUIPMENT.

7. DO NOT ATTEMPT DEMOLITION OF TREES WITH GRADING EQUIPMENT WHEN TREES TO BE PRESERVED ARE IN THE VICINITY.

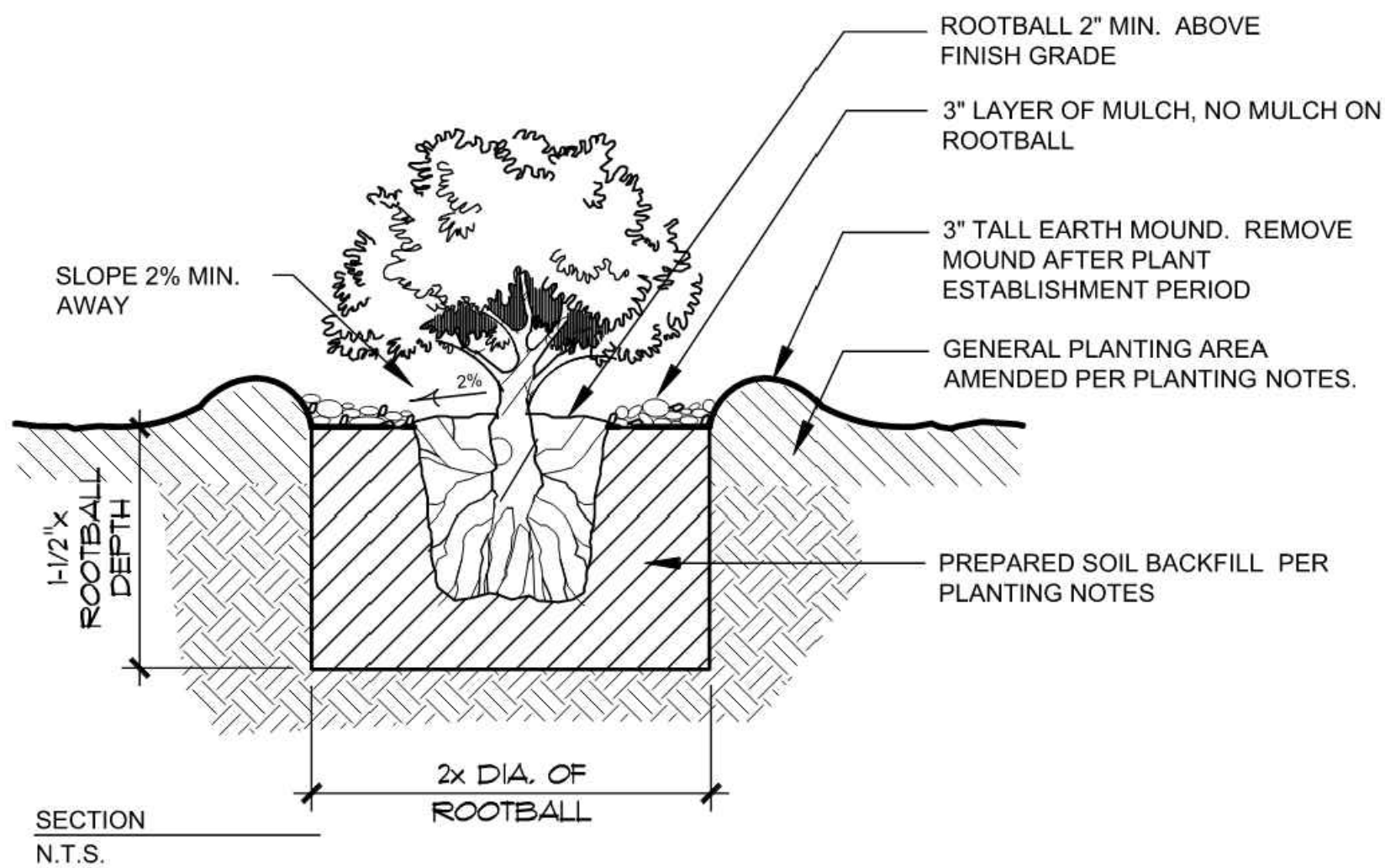
TREE PROTECTION FENCING DETAIL

IRRIGATION REQUIREMENTS (New residential and nonresidential installations)

- (i) All irrigation systems, both residential and nonresidential, shall be installed in accordance with state law, V.T.C.A., Water Code, tit. 2, ch. 34 and 30 Tex. Admin. Code ch. 344, as amended, as regulated and enforced by the Texas Commission on Environmental Quality (TCEQ). Irrigation contractors who install the irrigation system must be a TCEQ Licensed Irrigator.
- (ii) A permit shall be required for the installation of all automatic irrigation systems.
- (iii) All automatic irrigation systems are required to have a rain sensor connected to an irrigation controller in order to stop the irrigation cycle during and after a rainfall event. Rain sensors are to be installed in a location where rainfall is unobstructed, such as a rooftop or fence line. Rain sensors are to be adjusted at the one-fourth-inch setting.
- (iv) All new residential and nonresidential irrigation systems are required to have pressure regulators if static pressure at the site exceeds the sprinkler manufacturer's recommended operating range. Extensive misting due to high pressure wastewater.
- (v) Irrigation systems are to have a controller with multiple cycle, rain sensor capability and irrigation water budget feature.
- (vi) Sprinkler systems shall be designed as to minimize overspray onto the hardscape
- (vii) Sprinkler heads shall be installed at least eight (8) inches from the curb.
- (viii) For strips of land less than six (6) feet in width, spray irrigation shall be prohibited and low-flow irrigation systems (such as drip, bubblers or micro-irrigation) are required. For strips of land between six (6) feet and fifteen (15) feet in width, only low-flow irrigation (such as drip, bubblers or micro-irrigation), or spray irrigation using low-angle spray nozzles designed for the specific width to be irrigated shall be permitted. For strips of land more than fifteen (15) feet in width, only low precipitation rotors with low angle nozzles may be used to irrigate turf areas. Planting beds may be irrigated with low-flow or spray irrigation. All spray heads must be designed to prevent low head drainage.
- (ix) The incorporation of treated effluent, rainwater, or water from rainstorm water systems in an irrigation system is encouraged.

LANDSCAPE NOTES:

- The developer and subsequent owners of the landscaped property, or the manager or agent of the owner, shall be responsible for the maintenance of all landscape areas. Said areas shall be maintained so as to present a healthy, neat and orderly appearance at all times and shall be kept free of refuse and debris. All planted areas shall be provided with an automatic irrigation system and watered as necessary to ensure continuous healthy growth and development. Maintenance shall include the replacement of all dead plant material if that material was used to meet the requirements of the Landscape Ordinance.
- Tree caliper is the trunk diameter of a tree at twelve (12") inches above natural grade per the Composite Zoning Ordinance.
- All new landscapes (non-residential and residential) are required to have a minimum of six inches (6") of soil depth in areas planted with turfgrass. This six-inch (6") minimum soil depth will consist of 75 percent soil blended with 25 percent compost. The soil/compost blend shall be incorporated into the top two inches of the native soil. The six-inch (6") depth requirement does not apply to the area between the drip line and trunk of existing trees, shrub beds or wildscape areas. Areas with existing native vegetation that remain undisturbed shall be exempt from the soil depth provision; provided that native soil and vegetation in such area is fenced during construction and protected from disturbance and compaction during the construction process.
- All disturbed areas and ROW will be re-vegetated by the developer. All invasive species shall be removed from the property.
- No more than 50% of the same species may be planted to meet the tree planting requirements.
- In the event of a conflict with tree removal/preservation call outs on plan sheet(s) versus tree removal/preservation matrix, the tree removal/preservation matrix shall apply. It is the contractors responsibility to verify with City staff should any inconsistency exist within an approved plan set. No in-field changes are made to approved plans, no exceptions.



SHRUB PLANTING DETAIL



BY					
REVISIONS					
PROJECT	WCF Funeral Home & Cremation Cemetery 301 S. Bagdad Road Leander, Texas 78641 Owners Representative: Austin Dicks, SCI				
SHEET TITLE	PLANTING PLAN				

DRAWN	JS/RD
CHECKED	JS/MG
DATE	10-08-24
JOB NO.	24-153
SHEET	