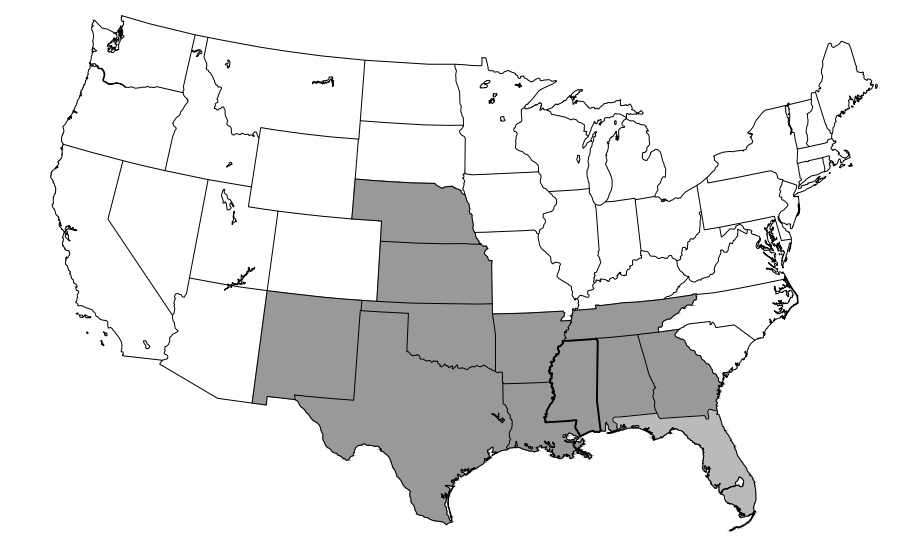


# CIVIL PLANS FOR PROPOSED 8 INCH WATER LINE TO SERVE

18708 LIMESTONE COMMERCIAL DRIVE,  
PFLUGERVILLE, TEXAS 78660

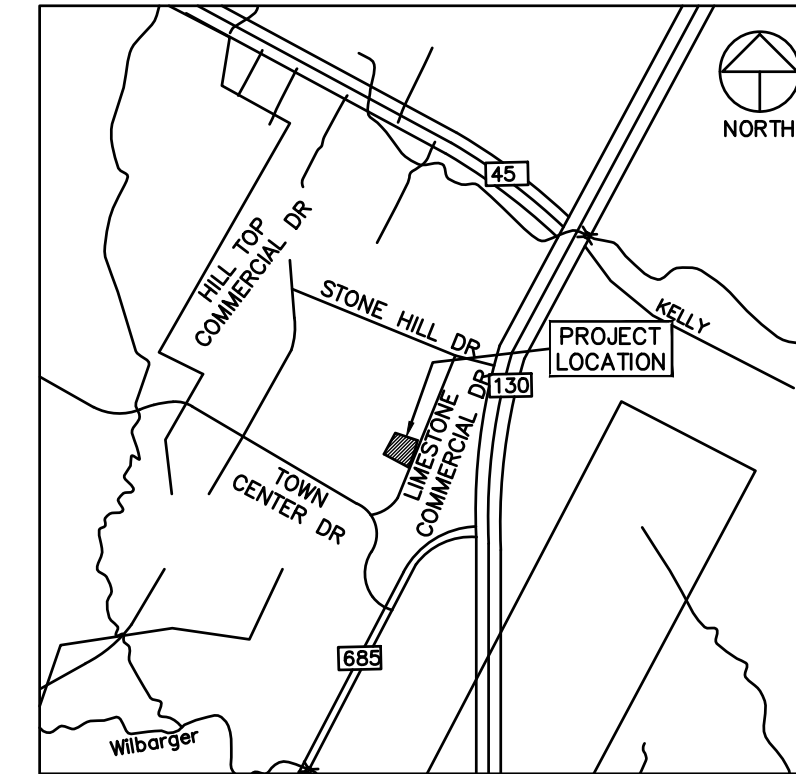
LEGAL DESCRIPTION: HARDING & CARBONE INC LOT 13 BLK 3  
STONE HILL TOWN CENTER BLK 3 AMD



\*LICENSED IN AL, AR, FL, GA, KS, LA, MS, NE, NM, OK, TN, & TX

### INDEX OF SHEETS

CIVIL ENGINEERING (ALJ LINDSEY, LLC)	
SHEET NO.	DESCRIPTION
C0.0	COVER SHEET
C0.1	CITY OF PFLUGERVILLE GENERAL NOTES
C0.2	TOPOGRAPHIC SURVEY
C0.3	PLAT(1 OF 2)
C0.4	PLAT (2 OF 2)
C1.0	8 INCH WATER LINE PLAN & PROFILE
C2.0	EROSION CONTROL PLAN
C3.0	CONSTRUCTION DETAILS (1 OF 2)
C3.1	CONSTRUCTION DETAILS (2 OF 2)



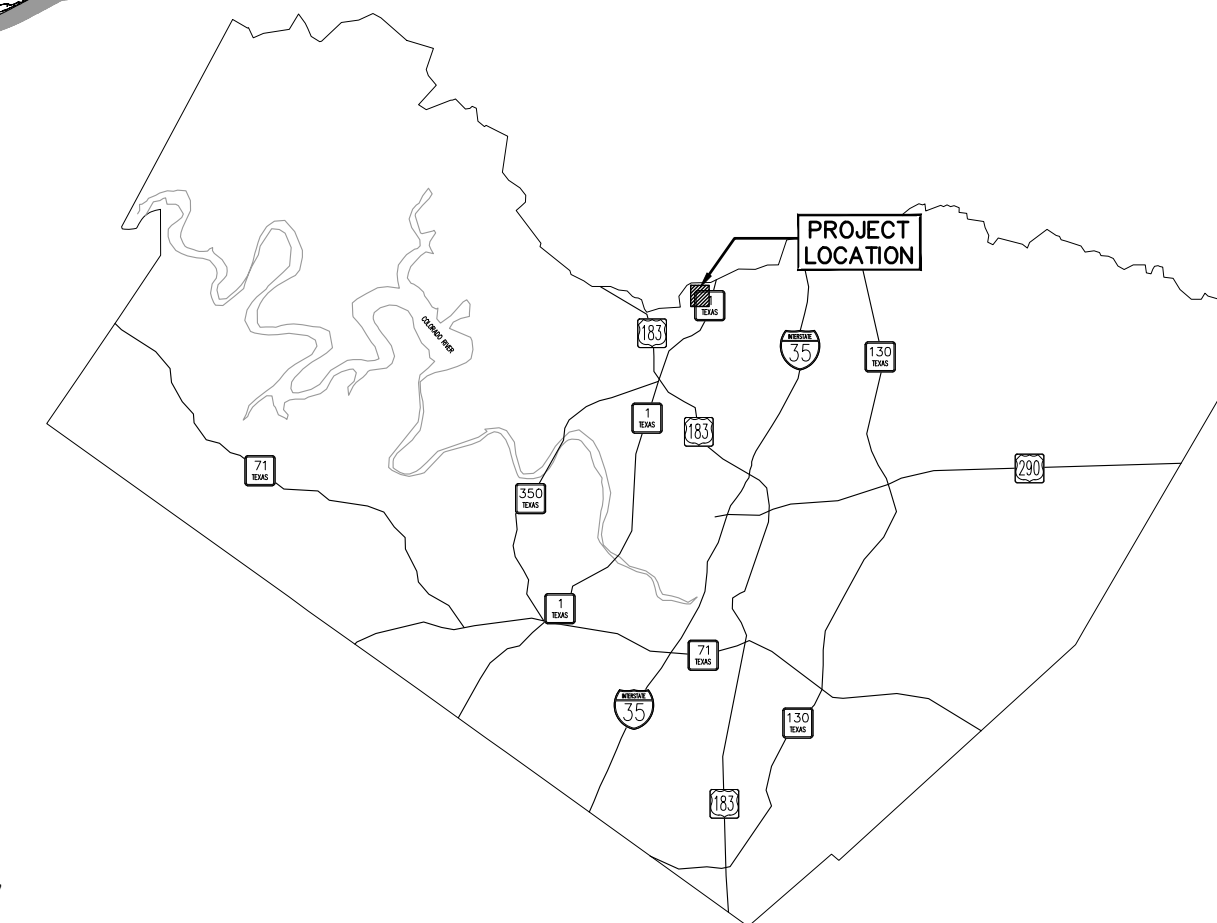
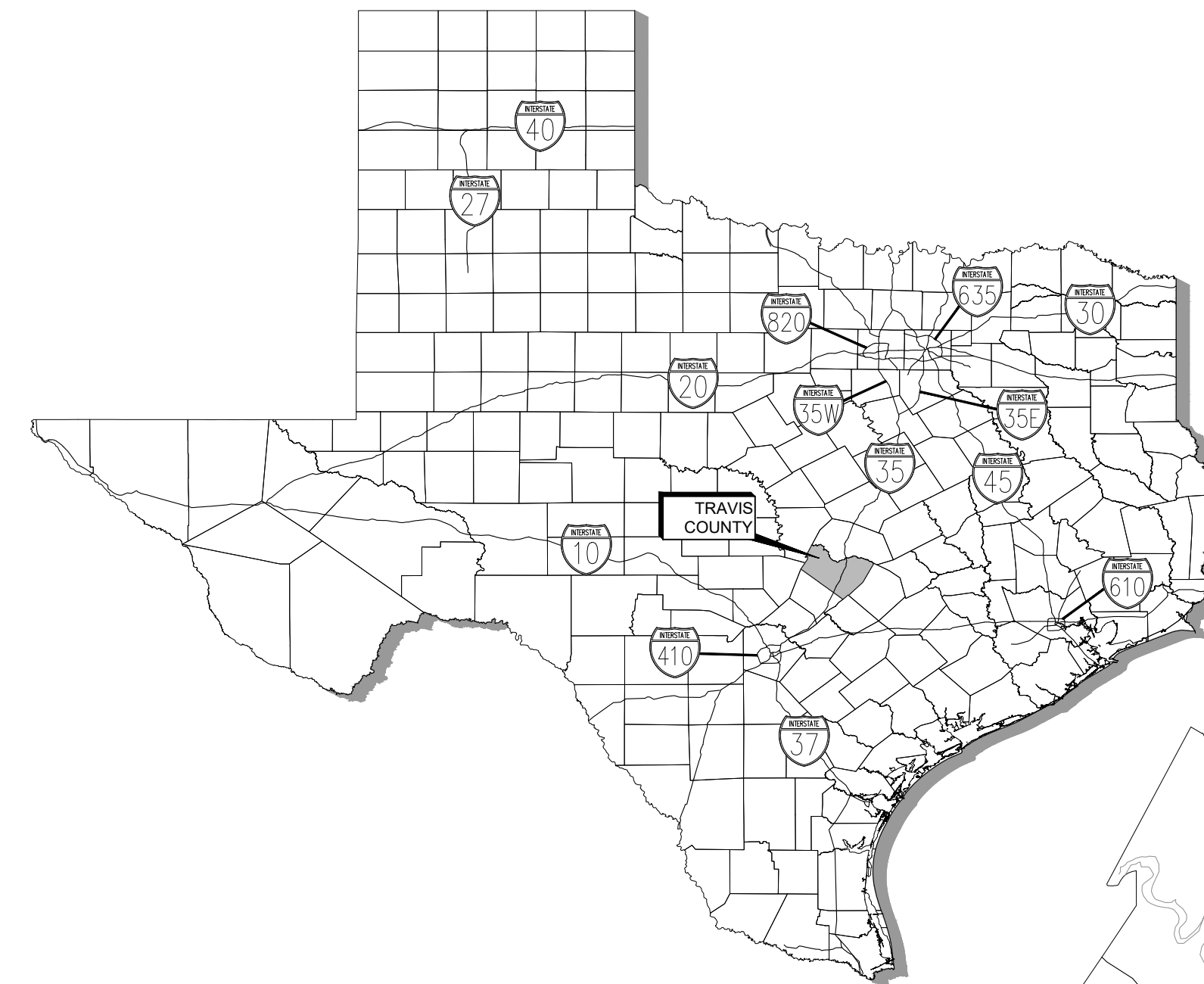
CITY OF PFLUGERVILLE, TRAVIS COUNTY, TEXAS  
VICINITY MAP  
SCALE: 1" = 2,000'

TEMPORARY BENCHMARK "A":  
TEMPORARY BENCHMARK "A" IS A BOX CUT SET ON THE BACK OF A CURB IN THE STONEHILL SHOPPING CENTER PARKING LOT #40 FEET NORTHWEST OF THE CENTERLINE OF LIMESTONE COMMERCIAL DRIVE, 725 FEET SOUTH FROM THE INTERSECTION OF LIMESTONE COMMERCIAL DRIVE AND STONE HILL DRIVE. ELEVATION = 745.21 FEET (NAVD88, 2001 ADJUSTMENT)

TEMPORARY BENCHMARK "B":  
TEMPORARY BENCHMARK "B" IS A BOX CUT SET ON THE BACK OF CURB IN THE STONEHILL SHOPPING CENTER PARKING LOT #255 FEET NORTHWEST OF THE CENTERLINE OF LIMESTONE COMMERCIAL DRIVE, 755 FEET SOUTHWEST FROM THE INTERSECTION OF LIMESTONE COMMERCIAL DRIVE AND STONE HILL DRIVE. ELEVATION = 743.41 FEET (NAVD88, 2001 ADJUSTMENT)

### PLANS SUBMITTAL/REVIEW LOG

SUBMIT TO THE CITY OF PFLUGERVILLE -ISSUE FOR PERMIT	03/04/2025
RESUBMIT TO THE CITY OF PFLUGERVILLE -ISSUE FOR PERMIT	04/15/2025
RESUBMIT TO THE CITY OF PFLUGERVILLE -ISSUE FOR PERMIT	06/12/2025



DEVELOPMENT SERVICES ENGINEERING, CITY OF PFLUGERVILLE DATE

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF PFLUGERVILLE MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

THESE SIGNATURES ARE VOID IF CONSTRUCTION HAS NOT COMMENCED IN ONE (1) YEAR FROM DATE OF APPROVAL

City Approved Revision & Corrections					
No.	Description	Revise (R) Correct (C) Add (A) Void (V) Sheet No's	Design Engineer Signature	City of Pflugerville Approval	Approval Date

### CITY OF PFLUGERVILLE NOTES:

- WATER AND WASTEWATER SHALL BE PROVIDED BY CITY OF PFLUGERVILLE. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO WATER AND WASTEWATER FACILITIES.
- NO PORTION OF THIS TRACT IS WITHIN A FLOOD HAZARD AREA AS DELINEATED ON THE FEMA FLOOD INSURANCE RATE MAP PANEL # 48453C0280J FOR TRAVIS COUNTY, EFFECTIVE AUGUST 18, 2014.
- THESE PLANS ARE IN ACCORDANCE WITH THE FOLLOWING REPORT.
  - GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS INC, DATED APRIL 3, 2007 (PROJECT NO. 96065338-C).

### PROJECT TEAM:

#### ARCHITECT

OSBORN & VANE ARCHITECTS  
2000 BERING DRIVE SUITE 410  
HOUSTON TEXAS 77057  
713.781.5262 X 103  
CONTACT: BEN SUNDIN

#### DEVELOPER

NEW QUEST  
8827 W. SAM HOUSTON PKWY N SUITE 200  
HOUSTON TEXAS 77040  
281.477.4397  
CONTACT: BEN KEILLOR

#### OWNER

NEW QUEST  
8827 W SAM HOUSTON PKWY N SUITE 200  
HOUSTON TEXAS 77040  
281.477.4397  
CONTACT: BEN KEILLOR

#### CIVIL ENGINEER

ALJ LINDSEY, LLC  
18635 N. ELDRIDGE PKWY, STE 200  
TOMBALL TEXAS 77377  
281.301.5955  
CONTACT: PATRICK CARRIGAN

#### PUBLIC WORKS

PUBLIC WORKS FACILITY  
15500 SUN LIGHT NEAR WAY #B  
PFLUGERVILLE TEXAS 778660  
512.990.6400

#### SURVEYOR

WINDROSE SURVEYING  
5353 W. SAM HOUSTON PKWY N SUITE 150  
HOUSTON TEXAS 77041  
713.458.2281  
CONTACT: PATRICK COSTELLO

#### ELECTRICAL PROVIDER

ONCOR ELECTRIC DELIVERY  
5904 LOTUS LN  
LUFKIN TEXAS 75904  
1.888.313.4747

#### DEVELOPMENT SERVICES CENTER

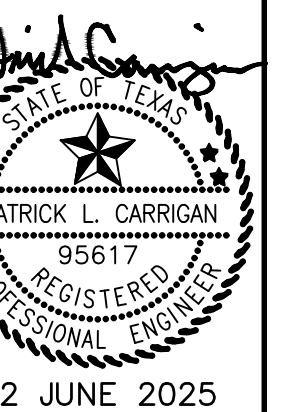
DEVELOPMENT SERVICES CENTER  
100 W MAIN ST  
PFLUGERVILLE TEXAS 78691  
512.900.6300  
CONTACT: GORDON HAWES

ACCORDING TO MAP NO. 48453C0280J OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR TRAVIS COUNTY AND INCORPORATED AREAS, DATED AUGUST 18, 2014, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"

PROJECT NUMBER: CON2025-00107

# FOR CONSTRUCTION

ALJLindsey  
Civil Engineers  
18635 N Eldridge Pkwy, Suite 200  
Tomball, TX 77377  
281-301-5955  
PRN-F-11526



12 JUNE 2025  
ALL PROJECT NO.: 02824C0158  
DATE: JUNE 2025  
SCALE: N/A  
DRAWN BY: JA  
CHECKED BY: RB

COVER SHEET

PROPOSED 8 INCH WATER LINE  
18708 LIMESTONE COMMERCIAL DR,  
PFLUGERVILLE, TEXAS 78660



SHEET  
C0.0

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PFLUGERVILLE STANDARD SPECIFICATIONS.
2. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM.
3. DESIGN PROCEDURES SHALL BE IN COMPLIANCE WITH THE CITY OF PFLUGERVILLE ENGINEERING DESIGN GUIDELINES AND UNIFIED DEVELOPMENT CODE.
4. AFTER THE CONSTRUCTION PERMIT HAS BEEN ISSUED AND PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR HIS REPRESENTATIVE SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE...
5. THE CONTRACTOR SHALL GIVE THE CITY OF PFLUGERVILLE CONSTRUCTION INSPECTOR AT LEAST 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
6. ANY CHANGES OR REVISIONS TO THESE APPROVED PLANS MUST BE SUBMITTED BY THE DESIGN ENGINEER AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO CONSTRUCTION OF THE REVISION.
7. ANY EXISTING UTILITIES, PAVEMENT, CURBS, SIDEWALKS, STRUCTURES, TREES, ETC., NOT PLANNED FOR DESTRUCTION OR REMOVAL OR OTHER PUBLIC INFRASTRUCTURE DAMAGED OR REMOVED WILL BE BY THE CONTRACTOR AT HIS EXPENSE BEFORE ACCEPTANCE OF THE SUBDIVISION.
8. BENCHMARKS (TWO REQUIRED): TEMPORARY BENCHMARK "A" ELEVATION -- 745.21'
9. BLASTING OR BURNING SHALL NOT BE PERMITTED ON THIS PROJECT.
10. THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
11. THE SUBGRADE MATERIAL IN STONE HILL TOWN CENTER WAS TESTED BY TERRACON ON APRIL, 3, 2007 AND THE STREET SECTION DESIGNED IN ACCORDANCE WITH GENERALLY ACCEPTED CRITERIA.
12. PRIOR TO FINAL ACCEPTANCE OF A STREET OUTSIDE THE CITY LIMITS, STREET NAME SIGNS CONFORMING TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES STANDARDS SHALL BE INSTALLED BY THE DEVELOPER.
13. THE CITY OF PFLUGERVILLE HAS NOT REVIEWED THESE PLANS FOR COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT.
14. EXCESS SOIL SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE. NOTIFY THE CITY OF PFLUGERVILLE IF THE DISPOSAL SITE IS INSIDE THE CITY'S JURISDICTIONAL BOUNDARIES.
15. ALL AREAS DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
16. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT TEMPORARY EROSION CONTROLS ON A DAILY BASIS ADJUST THE CONTROLS AND/OR REMOVE ANY SEDIMENT BUILDUP AS NECESSARY.
17. CONTRACTOR WILL BE RESPONSIBLE FOR KEEPING ROADS AND DRIVES ADJACENT TO AND NEAR THE SITE FREE FROM SOIL, SEDIMENT AND DEBRIS.
18. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR AND SECURE ALL PROPER PERMITS FROM THE APPROPRIATE AUTHORITIES.
19. ALL WET UTILITIES SHALL BE INSTALLED AND ALL DENSITIES MUST HAVE PASSED INSPECTIONS(S) PRIOR TO THE INSTALLATION OF DRY UTILITIES.
20. A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO ANY PARTIAL OR COMPLETE ROADWAY CLOSURES.
21. PRIOR TO SUBDIVISION CONSTRUCTION ACCEPTANCE, THE ENGINEER/DEVELOPER-OWNER SHALL SUBMIT TO THE CITY OF PFLUGERVILLE DOCUMENTATION THAT THE SUBDIVISION WAS INSPECTED BY TDRP OR A REGISTERED ACCESSIBILITY SPECIALIST (RAS) AND THE SUBDIVISION IS IN COMPLIANCE WITH THE REQUIREMENTS OF THE TABA.
22. AN ENGINEER'S CONCURRENCE LETTER, RECORD DRAWINGS (ONE 22"x 34"-FULL SIZE, TWO 11"x 17"-HALF SIZE AND ONE DIGITAL COPY IN PDF FORMAT), WARRANTY BOND FOR 35% OF THE PUBLIC IMPROVEMENTS AND FINAL ASPHALT TEST REPORT SHALL BE SUBMITTED TO THE CITY OF PFLUGERVILLE ENGINEERING DEPARTMENT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR SUBDIVISION ACCEPTANCE.

SEQUENCE OF PROCESSES:

- 1. APPLICATIONS SHALL BE FILED WITH THE CITY IN THE FOLLOWING SEQUENCE OF PROCESSES:
2. PROPOSED LAND USES OR OCCUPANCIES WITHIN THE CORPORATE LIMITS SHALL CONFORM WITH THE REGULATIONS WITHIN THIS CODE SPECIFIED FOR THE DISTRICT IN WHICH THE USE OR OCCUPANCY IS PROPOSED.
3. THE SUBMITTAL OF CONCURRENT APPLICATIONS IS DISCOURAGED. HOWEVER, CONCURRENT APPLICATIONS MAY BE ALLOWED AS LONG AS THE CITY'S CONSIDERATION OF THE APPLICATIONS REMAIN IN THE APPLICATION SEQUENCE OF PROCESSES.
4. CITY STAFF REVIEW OF CONCURRENT APPLICATIONS MAY BE DELAYED DUE TO THE SEQUENCE OF SUCH SUBMITTALS.
5. THE PLANNING DIRECTOR MAY DENY THE SUBMITTAL AND REVIEW OF ANY CONCURRENT APPLICATION IF: (1) ANY CONCURRENT APPLICATION HAS NOT BEEN SUBMITTED TO AND ACCEPTED BY CITY STAFF FOR REVIEW IN THE APPROPRIATE ORDER OF SEQUENCE; AND (2) AT LEAST ONE ROUND OF CITY STAFF COMMENTS HAS NOT BEEN SENT TO THE APPLICANT.

WATER AND WASTEWATER NOTES:

- 1. Pipe material for water mains shall be PVD (AWWA C-900, min class 150), or Ductile Iron (AWWA C-100, min 150).
2. Pipe material for pressure wastewater mains shall be PVC (AWWA C-900, min. class 150) or Ductile Iron (AWWA C-100, min. class 150).
3. All wastewater main, excluding service lines, shall be mandrel tested per TCEQ (Texas Commission on Environmental Quality) criteria.
4. Water lines shall have a minimum forty-eight 48 inches of cover measured from either the top of the pipe or valve actuating nut.
5. Where a water or wastewater line crosses below a storm sewer structure and the top of the pipe is within 18" of the bottom of the utility structure, the pipe shall be encased with concrete for a distance of at least 1' on either side of the ditch line of the utility structure or the storm sewer.
6. All manholes shall be concrete with cast iron ring and cover.
7. All pipe bedding material shall conform to the City of Pflugerville Standard Detail.
8. All fire hydrant leads shall be ductile iron pipe (AWWA C-100, min. class 150).
9. All iron pipe and fittings shall be wrapped with a minimum 8-mil polyethylene film prior to placing concrete.
10. The Contractor shall contact the City Inspector to coordinate utility tie-ins and notify him at least 48 hours prior to connection to existing lines.
11. The Contractor, at his expense, shall perform quality testing for all wastewater pipe installed and pressure pipe hydrostatic testing of all water Lines constructed and shall provide equipment included pumps, gauges, supplies, and labor necessary to perform the tests.
12. The Contractor shall coordinate testing with the City of Pflugerville and provide no less than 24 hours notice prior to performing sterilization, quality testing or pressure testing.
13. The Contractor shall not open or close any valves unless authorized by the City of Pflugerville.
14. All valve boxes and covers shall be cast iron.
15. A double check backflow device in a vault shall be installed adjacent the right of way or public easement on private property on all private fire lines.
16. All water service, wastewater service and valve locations shall be appropriately marked as follows:
17. The Contractor is hereby notified that connecting to, shutting down, or terminating existing utility lines may have to occur at off-peak hours.
18. All fire hydrants shall be National Standard Hose Thread.
19. All material tests, including soil density tests and related soil analysis, shall be accomplished by an independent laboratory funded by the developer in accordance with the specifications.
20. The City only provides up to a 2" displacement meter. Larger meters must be supplied by the Contractor and must include the Neptune E-Coder R9001 reader system.

FRANCHISE UTILITY NOTES

- 1. CONTRACTOR SHALL CALL THE TEXAS ONE CALL AND DIG-TESS AT LEAST 72 HOURS PRIOR TO COMMENCING DEMOLITION OR CONSTRUCTION ACTIVITIES.
2. CONTRACTOR SHALL INSTALL LONG SWEEPS FOR DRY UTILITY CONDUITS WHERE A BEND IS GRAPHICALLY SHOWN.

GENERAL TREE PRESERVATION REQUIREMENTS:

- 1. ALL TREES ARE CONSIDERED PROTECTED TREES WITHIN CLASSES 2-5 AS DESCRIBED IN SECTION 12.3 OF THIS SUBCHAPTER WITH THE FOLLOWING EXCEPTIONS:
2. ALL EXISTING NON-HAZARDOUS TREES, REGARDLESS OF SPECIES, LOCATED WITHIN THE REQUIRED BUFFERYARD PER SUBCHAPTER 4 OF THIS CODE SHALL BE CONSIDERED PROTECTED.
3. ALL PROPOSED BUILDINGS AND IMPROVEMENTS SHALL BE ORIENTED IN A MANNER THAT ALLOWS, TO THE GREATEST EXTENT FEASIBLE, FOR THE PRESERVATION OF THE PROTECTED TREES.
4. TREE PRESERVATION SHALL ALSO BE BASED ON THE HIERARCHY OF TREES INDICATED IN SECTION 12.3 OF THIS SUBCHAPTER.
5. PARKING LOTS SHALL BE DESIGNED TO INCORPORATE PROTECTED TREES AS FOCAL POINTS OR PRACTICAL MEANS OF SEGMENTING PARKING LOTS THROUGH PRESERVATION OF EXISTING TREES WITHIN LANDSCAPE ISLANDS, PENINSULAS, AND MEDIANS.
6. TREES PRESERVED SHALL BE INTEGRATED WITH THE DESIGN OF OPEN SPACES, SCREENING, AND LANDSCAPE AREAS.
7. PRIOR TO THE APPROVAL OF THE APPLICABLE TREE PROTECTION, REMOVAL OR REPLACEMENT PLAN WHERE PROTECTED TREES ARE PROPOSED FOR TREE REMOVAL WITH ON-SITE MITIGATION, FISCAL SECURITY IS REQUIRED IN AN AMOUNT EQUAL TO 100 PERCENT OF THE MITIGATION VALUE OF THE TREES PROPOSED FOR PRESERVATION PER SECTION 12.8.2(B) OF THIS SUBCHAPTER.
8. ALL TREE PRESERVATION AND MAINTENANCE MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S ADOPTED TREE TECHNICAL MANUAL.
9. ANY TREE WITH A DBH OF EIGHT (8) INCHES OR GREATER THAT IS IN A FLOODPLAIN OR FLOODWAY IS CONSIDERED PROTECTED, REGARDLESS OF SPECIES, UNLESS IT IS DETERMINED TO BE IN A HAZARDOUS CONDITION SO AS TO ENDANGER THE PUBLIC HEALTH, SAFETY, OR WELFARE OR IT AFFECTS HYDRAULICS IN THE FLOODPLAIN OR FLOODWAY.
10. THE MOWING AND CLEARING OF BRUSH LOCATED WITHIN OR UNDER THE DRIPLINES OF PROTECTED TREES IS ALLOWED, PROVIDED A SITE DISTURBANCE PERMIT IS ISSUED AND SUCH MOWING OR CLEARING IS ACCOMPLISHED BY HAND OR BY MECHANICAL MOWERS WITH TURF TIRES.
11. THE PLANNING DIRECTOR SHALL REQUIRE A SIGNED LETTER FROM A LANDSCAPE ARCHITECT OR A CERTIFIED LANDSCAPE PROFESSIONAL THAT STATES THE DEVELOPMENT COMPLIES WITH: (1) THE TREE PRESERVATION AND TREE REMOVAL MITIGATION REQUIREMENTS OF THIS SUBCHAPTER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY IN THE CITY OR ACCEPTANCE OF PUBLIC INFRASTRUCTURE ASSOCIATED WITH A CONSTRUCTION PLAN IN THE ET& AND (2) IF REQUIRED, PERMANENT IRRIGATION SYSTEM PROVISIONS ARE PROVIDED.

SWPPP NOTES

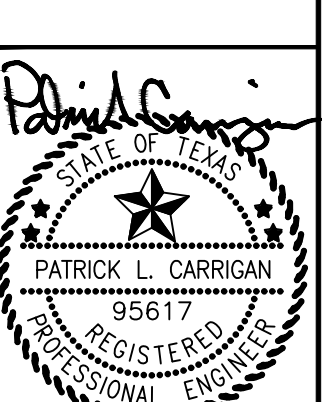
- 1. EROSION CONTROL MEASURES, SITE WORK, AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PFLUGERVILLE'S SUBDIVISION CODE AND CONSTRUCTION STANDARDS MANUAL, EXCEPT AS NOTED BELOW AND APPROVED BY CITY COUNCIL.
2. SLOPES SHALL BE SOODED OR SEEDED WITH THE APPROPRIATE GRASS, GRASS MIXTURES, OR GROUND COVER SUITABLE TO THE AREA AND SEASON TO WHICH THEY ARE APPLIED.
3. SILT FENCES, ROCK BERMS AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE SEDIMENTATION LOADING OF DOWNSTREAM FACILITIES.
4. ALL TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL FINAL INSPECTION AND APPROVAL OF THE PROJECT BY THE ENGINEER.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL TEMPORARY EROSION CONTROL STRUCTURES AND TO REMOVE EACH STRUCTURE AS APPROVED BY THE ENGINEER.

STREET AND DRAINAGE NOTES:

- 1. All testing shall be done by an independent laboratory at the expense of the Contractor or Owner.
2. All manhole lids shall be 32" or larger, unless expressly approved in writing by the City Engineer.
3. Unless otherwise specified by the Engineer, all concrete is to be Class "A"(5 sack, 3000 psi ~ 28 days and all reinforcing steel to be ASTM A615-60.
4. Where PIs are over 20, subgrades must be stabilized utilizing a method acceptable to the City Engineer.
5. Barricades built to the Texas Manual on Uniform Traffic Control Devices standards shall be constructed on all dead-end streets and as necessary during construction to maintain job and public safety.
6. Traffic Control signs and pavement markings shall be in accordance with the Texas Manual on Uniform Traffic Control Devices and installed as directed by the City of Pflugerville prior to City acceptance of the subdivision.
7. Blue reflector markers shall be located on the centerline of the pavement across from all fire hydrants.
8. All storm sewer shall be class III RCP unless otherwise noted.
9. Projects using lime stabilization shall be required to place lime in slurry form.
10. Required Material Testing:
Utility Testing Requirements
Laboratory Testing of Soils
Moisture Density Relationship (Proctor) (City of Pflugerville Specifications G4.05(B) (TEX-114E))
Atterberg Limits (ASTM D4318)
Field Soil Gradations (City of Pflugerville Specifications G4.04(B)(1))
Moisture Density Field Testing
Concrete Testing
Streets Testing Requirements
Laboratory Testing of Soils
Moisture Density Relationship (Proctor) (City of Pflugerville Specifications SD3.06B (TEX-114E), SD4.04(b)(1) (TEX-113E))
Atterberg Limits (ASTM D4318)
Field Soil Gradations
Lime Series (City of Pflugerville Specifications SD2.03(C), SD3.06(B))
Sulfate Testing (City of Pflugerville Engineering Design Guidelines Section DG2.3D- Table 2.2)
Moisture Density Field Testing
Lime Gradations (City of Pflugerville Specifications SD2.03(C), SD3.06(B))
Densities- Subgrade (City of Pflugerville Specification SD2.03(C), SD3.06(B))
Densities- Road Base (City of Pflugerville Specification SD4.06(B)(3)(a))
Hot Mix Asphaltic Concrete Testing
Extractions/ Gradations (City of Pflugerville Specification SD1.08(E)(2))
Specific Gravity of Mix (City of Pflugerville Specification SD1.06(B), SD1.08(E)(2))
Hveem Stables (set of 3) (City of Pflugerville Specification SD1.08(E)(2))
Molding Specimen (set of 3) (City of Pflugerville Specification SD1.08(E)(2))
Cores for Density (City of Pflugerville Specification SD1.08(E)(2))
Concrete Testing
Concrete Cylinders (ASTM C31, C39)
Miscellaneous Concrete Testing Requirements (City of Pflugerville Specification C2.05)

Table with columns for REVISIONS and DATE.

ALJ Lindsey Civil Engineers logo and contact information.



12 JUNE 2025

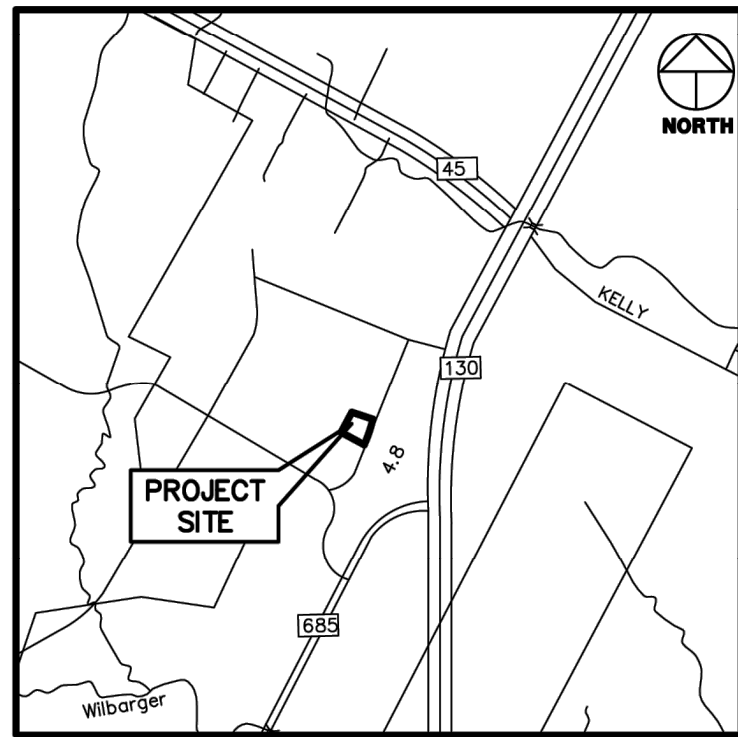
Table with project details: ALL PROJECT NO., DATE, SCALE, DRAWN BY, CHECKED BY.

CITY OF PFLUGERVILLE GENERAL NOTES

PROPOSED 8 INCH WATER LINE 18708 LIMESTONE COMMERCIAL DR., PFLUGERVILLE, TEXAS 78660

SHEET C0.1

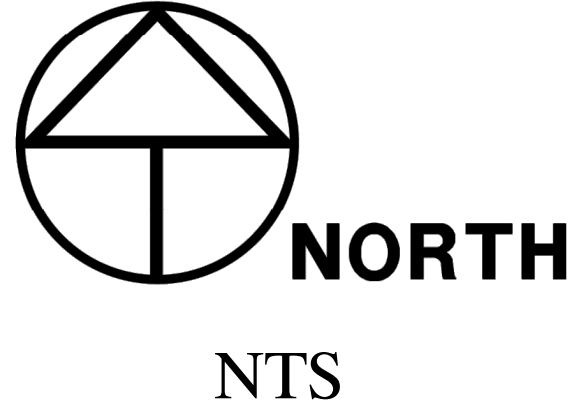
PROJECT NUMBER: CON2025-00107



CITY OF PFLUGERVILLE, TRAVIS COUNTY, TEXAS  
**VICINITY MAP**  
NTS

**TEMPORARY BENCHMARK "A"** ELEVATION - 745.21'  
TEMPORARY BENCHMARK "A" IS A BOX CUT SET ON THE BACK OF A CURB IN THE STONEHILL SHOPPING CENTER PARKING LOT ±255 FEET NORTHWEST OF THE CENTERLINE OF LIMESTONE COMMERCIAL DRIVE, ±725 FEET SOUTH FROM THE INTERSECTION OF LIMESTONE COMMERCIAL DRIVE AND STONE HILL DRIVE.

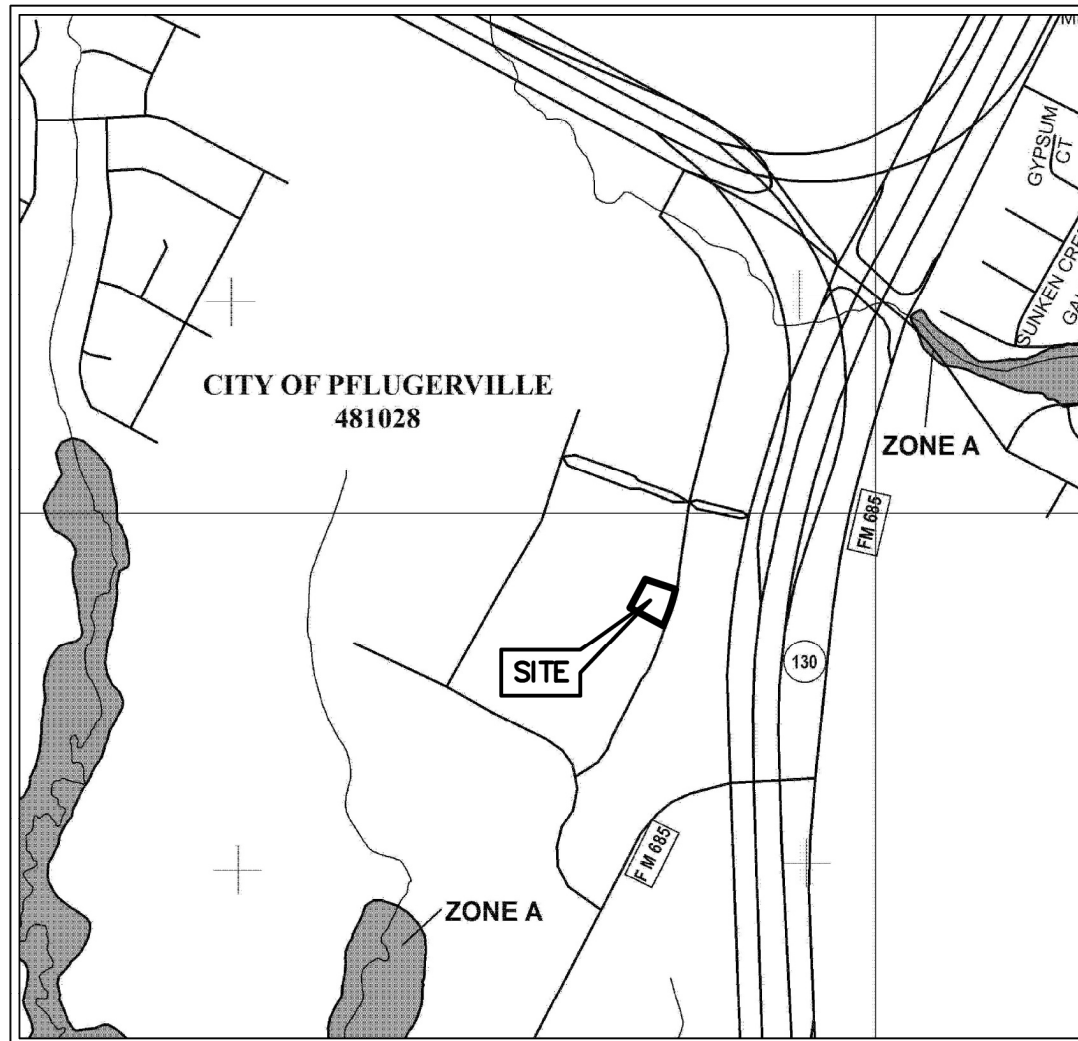
**TEMPORARY BENCHMARK "B"** ELEVATION - 743.41'  
TEMPORARY BENCHMARK "B" IS A BOX CUT SET ON THE BACK OF A CURB IN THE STONEHILL SHOPPING CENTER PARKING LOT ±255 FEET NORTHWEST OF THE CENTERLINE OF LIMESTONE COMMERCIAL DRIVE, ±765 FEET SOUTH FROM THE INTERSECTION OF LIMESTONE COMMERCIAL DRIVE AND STONE HILL DRIVE.



CURVE CHART					
CURVE	RADIUS	DELTA	LENGTH	BEARING	CHORD
C1	2,496.51'	5'01.54"	219.24'	S 19'05.29" W	219.17'

- LEGEND**
- \* SOME OF THESE ELEMENTS MAY NOT BE USED ON THIS SURVEY
- BO - BOLLARD
  - - HANDICAP
  - GM - GAS METER
  - GV - GAS VALVE
  - FH - FIRE HYDRANT
  - WM - WATER METER
  - WV - WATER VALVE
  - ICV - IRRIGATION CONTROL VALVE
  - GI - GRATE INLET
  - HB - HIGHBANK
  - SAN - SANITARY SEWER
  - STM - STORM SEWER
  - TP - TELEPHONE PEDESTAL
  - EB - ELECTRIC BOX
  - EM - ELECTRIC METER
  - TSB - TRAFFIC SIGNAL BOX
  - LTP - LIGHT POLE
  - TLP - TRAFFIC LIGHT POLE
  - GL - GROUND/SPOT LIGHT
  - PP - POWER POLE
  - PP/T - POWER POLE W/TRANSFORMER
  - PP/LT - POWER POLE W/LIGHT
  - PP/CT - POWER POLE W/CONDUIT
  - MP - METER POLE
  - SP - SERVICE POLE
  - GAC - GUY ANCHOR
  - IR - IRON ROD
  - NO - NUMBER
  - PG - PAGE
  - R.O.W. - RIGHT-OF-WAY
  - SQ. FT. - SQUARE FEET
  - VOL. - VOLUME
  - F.C. - FILM CODE
  - B.L. - BUILDING LINE
  - U.E. - UTILITY EASEMENT
  - P.O.B. - POINT OF BEGINNING
  - P.O.C. - POINT OF COMMENCEMENT
  - N.T.S. - NOT TO SCALE
  - T - TREE/SHRUB
  - PLM - PIPELINE MARKER
  - UGCS - UNDERGROUND CABLE SIGN
  - CTL - CATHODIC TEST LEAD
  - MW - MONITORING WELL
  - P - PIN FLAG/PAINT MARK
  - TC - TOP OF CURB
  - G - CUTTER
  - TO - TOP OF GRATE
  - FL - FLOW LINE
  - HB - HIGHBANK
  - SAN - SANITARY SEWER
  - STM - STORM SEWER
  - CMP - CORRUGATED METAL PIPE
  - CPP - CORRUGATED PLASTIC PIPE
  - RCP - REINFORCED CONCRETE PIPE
  - TEL - TELEPHONE
  - ELC - ELECTRIC
  - WTR - WATER
  - UG - UNDERGROUND
  - FND - FOUND
  - O.P.R.T.C.T. - OFFICIAL PUBLIC RECORDS TRAVIS COUNTY, TEXAS
  - D.R.T.C.T. - DEED RECORDS TRAVIS COUNTY, TEXAS
  - P.R.T.C.T. - PLAT RECORDS TRAVIS COUNTY, TEXAS
  - D.P.R.T.C.T. - DEED AND PLAT RECORDS TRAVIS COUNTY, TEXAS
  - IP - IRON PIPE
  - IR - IRON ROD
  - NO. - NUMBER
  - PG. - PAGE
  - R.O.W. - RIGHT-OF-WAY
  - SQ. FT. - SQUARE FEET
  - VOL. - VOLUME
  - F.C. - FILM CODE
  - B.L. - BUILDING LINE
  - U.E. - UTILITY EASEMENT
  - P.O.B. - POINT OF BEGINNING
  - P.O.C. - POINT OF COMMENCEMENT
  - N.T.S. - NOT TO SCALE
  - T - TREE/SHRUB
  - IR - IRON ROD
  - NO. - NUMBER
  - PG. - PAGE
  - R.O.W. - RIGHT-OF-WAY
  - SQ. FT. - SQUARE FEET
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  - N.T.S. - NOT TO SCALE
  - T - TREE/SHRUB

**FLOOD INFORMATION**  
(NOT TO SCALE)



PANEL 0280J

**FIRM**  
FLOOD INSURANCE RATE MAP

TRAVIS COUNTY, TEXAS  
AND INCORPORATED AREAS

PANEL 280 OF 730  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
PFLUGERVILLE CITY OF	481028	0280	J
TRAVIS COUNTY	481028	0280	J

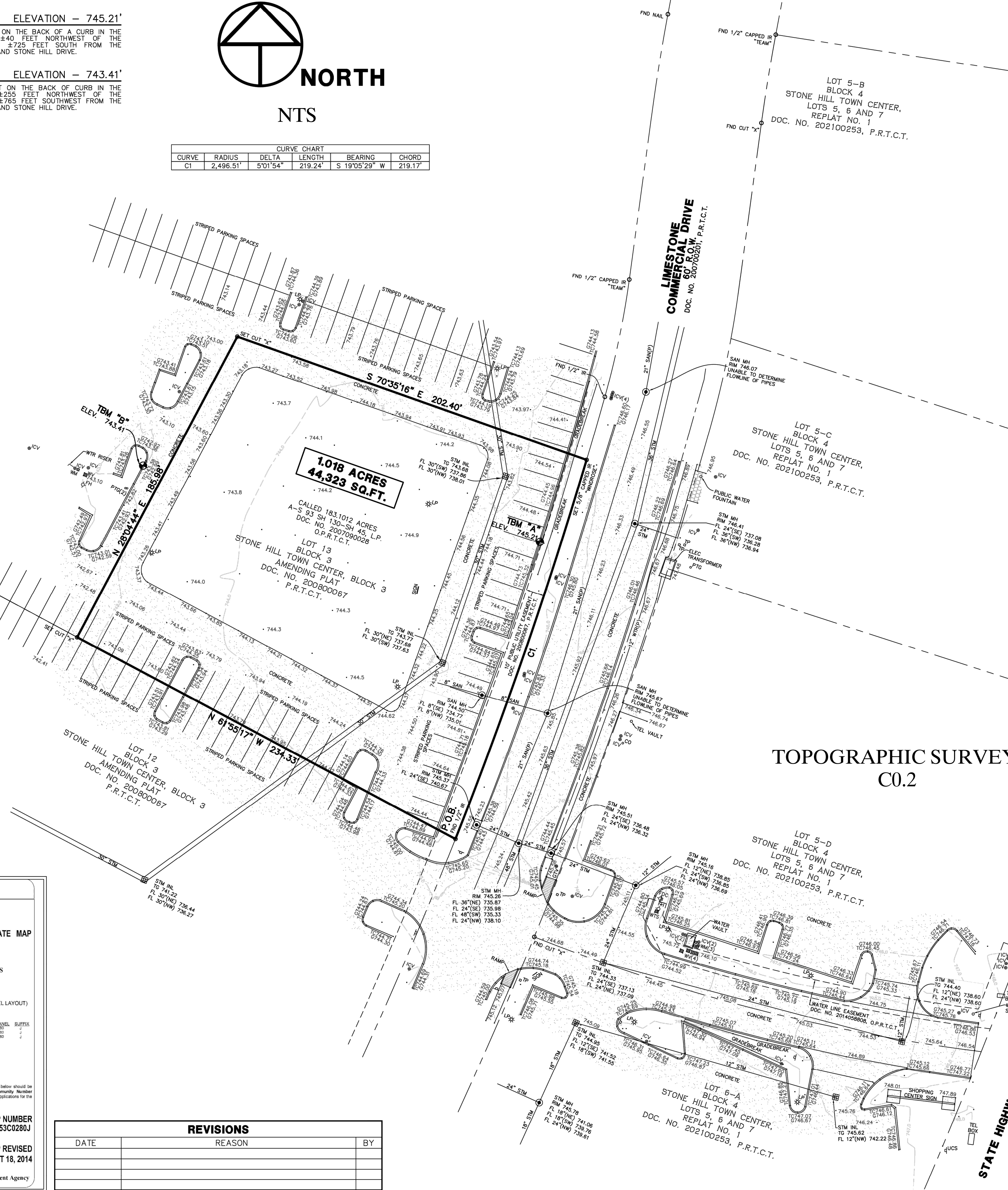
Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER  
48453C0280J

MAP REVISED  
AUGUST 18, 2014

Federal Emergency Management Agency

REVISIONS		
DATE	REASON	BY



**TOPOGRAPHIC SURVEY**  
C0.2

**DESCRIPTION**

A TRACT OR PARCEL CONTAINING 1.018 ACRES OR 44,323 SQUARE FEET OF LAND, SITUATED IN THE THOMAS G. STUART ONE-THIRD LEAGUE, ABSTRACT NUMBER (NO.) 689, TRAVIS COUNTY, TEXAS, BEING OUT OF LOT 13, BLOCK 3, STONE HILL TOWN CENTER, BLOCK 3 AMENDING PLAT, MAP OR PLAT THEREOF RECORDED UNDER DOCUMENT NO. 200800067, PLAT RECORDS OF TRAVIS COUNTY, TEXAS (P.R.T.C.T.), AND A CALLED 60.6420 ACRE TRACT DESCRIBED IN DEED TO A-S-93 SH 130-SH 45, L.P., AS RECORDED IN DOCUMENT NO. 2007090027, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS (P.R.T.C.T.) WITH SAID 1.018 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, WITH ALL BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, CENTRAL ZONE (NAD 83):

BEGINNING AT A 1/2 INCH IRON ROD FOUND ON THE NORTHWEST RIGHT-OF-WAY (R.O.W.) LINE OF LIMESTONE COMMERCIAL DRIVE (60 FOOT R.O.W.), AS RECORDED IN DOCUMENT NO. 200700201, P.R.T.C.T., FOR THE EAST CORNER OF LOT 12, BLOCK 3 OF SAID STONE HILL TOWN CENTER BLOCK 3 AMENDING PLAT, THE SOUTH CORNER OF SAID LOT 13 AND THE SOUTH CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, NORTH 61 DEG. 55 MIN. 17 SEC. WEST, WITH THE COMMON LINE OF SAID LOT 12 AND SAID LOT 13, A DISTANCE OF 234.33 FEET TO A CUT "X" SET FOR THE WEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, NORTH 28 DEG. 04 MIN. 44 SEC. EAST, OVER AND ACROSS SAID LOT 13, A DISTANCE OF 185.98 FEET TO A CUT "X" SET FOR THE NORTH CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, SOUTH 70 DEG. 35 MIN. 16 SEC. EAST, CONTINUING OVER AND ACROSS SAID LOT 13, A DISTANCE OF 202.40 FEET TO A 5/8 INCH CAPPED IRON ROD STAMPED "WINDROSE" SET ON THE NORTHWEST R.O.W. LINE OF SAID LIMESTONE COMMERCIAL DRIVE, FOR THE EAST CORNER OF THE HEREIN DESCRIBED TRACT AND THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE, WITH THE NORTHWEST R.O.W. LINE OF SAID LIMESTONE COMMERCIAL DRIVE AND SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 2,496.51 FEET, A CENTRAL ANGLE OF 05 DEG. 01 MIN. 54 SEC. AND A CHORD LENGTH OF 219.24 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 19 DEG. 05 MIN. 29 SEC. WEST, - 219.17 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.018 ACRES OR 44,323 SQUARE FEET OF LAND.

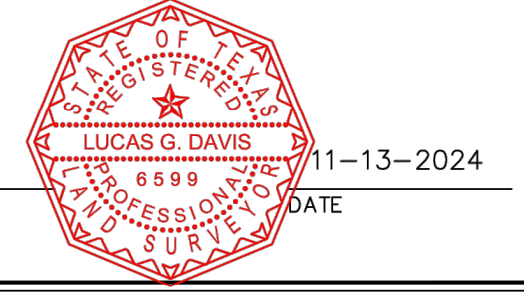
**GENERAL NOTES**

- SURVEYOR DID NOT ABSTRACT SUBJECT PROPERTY. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT OR ABSTRACTORS CERTIFICATE AND WOULD BE SUBJECT TO ANY AND ALL CONDITIONS OR RESTRICTIONS THAT A CURRENT TITLE REPORT OR ABSTRACTORS CERTIFICATE MAY DISCLOSE.
- BEARINGS WERE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, CENTRAL ZONE (NAD 83). ALL DISTANCES SHOWN HEREON ARE SURFACE DISTANCES AND MAY BE BROUGHT TO GRID BY APPLYING THE FOLLOWING SCALE FACTOR: 0.99989336.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR TRAVIS COUNTY, TEXAS, MAP NO. 48453C0280J REVISED/DATED AUGUST 18, 2014, THE SUBJECT TRACT APPEARS TO LIE WITHIN UNSHADED ZONE "C". THIS DETERMINATION WAS DONE BY GRAPHIC PLOTTING AND IS APPROXIMATE ONLY, AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WINDROSE LAND SERVICES.
- READILY VISIBLE IMPROVEMENTS AND UTILITIES WERE LOCATED WITH THIS SURVEY. NO SUBSURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED BY WINDROSE LAND SERVICES.
- ENVIRONMENTAL AND DRAINAGE ISSUES ARE BEYOND THE SCOPE OF THIS SURVEY.
- THE SQUARE FOOTAGE TOTALS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THE SURVEY. IT DOES NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.
- FENCES SHOWN HEREON WITH DIMENSIONAL TIES ARE SHOWN WHERE THEY ARE PHYSICALLY MEASURED. THE FENCE MAY MEANDEER BETWEEN MEASURED LOCATIONS.
- THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EXPRESSED OR IMPLIED.
- ELEVATIONS SHOWN TO THE NEAREST TENTH ARE NATURAL GROUND SURFACE ELEVATIONS AND ELEVATIONS SHOWN TO THE NEAREST HUNDRETH ARE SOLID SURFACE ELEVATIONS.
- SANITARY, STORM, AND WATER LINES SHOWN HEREON ARE BASED ON UTILITY PLANS ACQUIRED FROM THE UTILITY PLANS FROM TEXAS ENGINEERING AND MAPPING, DATED DECEMBER 20, 2008 AND IS LABELED AS PROJECT NO. 06132-SG AND WERE FIELD VERIFIED WHERE POSSIBLE. OTHER UTILITY PLANS OR INFORMATION MAY EXIST NOT KNOWN TO THIS COMPANY.
- SURVEYOR DID NOT PHYSICALLY ENTER MANHOLES. UNDERGROUND PIPE SIZES WERE DETERMINED BY A "MEASURE DOWN" METHOD FROM TOP OF MANHOLE RIM OR TOP OF GRATE OR TOP OF CURB AND WERE COMPARED WITH UTILITY PLANS WHERE POSSIBLE.
- SURVEYOR HAS CONTACTED DIGITESS FOR LOCATION OF BURIED UTILITY AND FIBER OPTIC LINES PRIOR TO THIS SURVEY. SURVEYOR CANNOT CERTIFY OR GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS REQUEST. OTHER UNDERGROUND UTILITY LINES MAY EXIST NOT KNOWN TO THIS COMPANY. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT DIGITESS OR OTHER UTILITY NOTIFICATION SERVICES FOR LOCATION OF UNDERGROUND UTILITIES, PRIOR TO CONSTRUCTION.
- ELEVATIONS HEREON ARE BASED UPON A NGS OPUS SOLUTION DERIVED FROM ON-SITE STATIC GPS OBSERVATIONS CONDUCTED AT THE TIME OF SURVEY, ACCORDING TO THE NGS OPUS REPORT. THE FOLLOWING CORRS STATIONS WERE USED DM4151 TXBT BELTON CORRS ARP; D05761 NGS BASTROP CORRS ARP; D05763 NGS BURNET CORRS ARP. THE NEAREST NGS PUBLISHED CONTROL POINT IS AG9948 BONNET. (NAV08B, COMPUTED USING GEOD10)

**SURVEYOR'S CERTIFICATION**

TO: ALJ LINDSEY

I DO HEREBY CERTIFY TO THE ABOVE LISTED THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND AND WAS PERFORMED UNDER MY SUPERVISION, THAT THIS PLAT CORRECTLY REPRESENTS THE PROPERTY LEGALLY DESCRIBED HEREON, THAT THE FACTS FOUND AT THE TIME OF THIS SURVEY SHOW THE IMPROVEMENTS AND THAT THERE ARE NO VISIBLE ENCROACHMENTS APPARENT ON THE GROUND, EXCEPT AS SHOWN. THIS SURVEY SUBSTANTIALLY CONFORMS TO THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATIONS FOR A CATEGORY 1B, CONDITION II AND A CATEGORY 6, CONDITION II SURVEY, TO THE BEST OF MY KNOWLEDGE.



**WINDROSE**  
LAND SURVEYING | PLATING

9340 CORPORATE DRIVE, STE 102 | SELMA, TX 78154 | 210.434.1545  
FIRM REGISTRATION NO. 10108000 | WINDROSESERVICES.COM

STANDARD LAND SURVEY & PARTIAL TOPOGRAPHIC SURVEY  
1.018 ACRES / 44,323 SQ. FT.  
LOT 13, BLOCK 3  
STONE HILL TOWN CENTER, BLOCK 3 AMENDING PLAT  
SITUATED IN THE  
THOMAS G. STUART ONE-THIRD LEAGUE  
ABSTRACT NO. 689  
TRAVIS COUNTY, TEXAS

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FILED BY: TB	CHECKED BY: PC	JOB NO. 61023
DRAWN BY: JW	DATE: OCTOBER 2024	SHEET NO. 1 OF 1

\$75.00

10-26-2021

202100253

STATE OF TEXAS,  
COUNTY OF TRAVIS:

THAT WE, A-S 93 SH 130-SH 45, L.P., A TEXAS LIMITED PARTNERSHIP, ACTING BY AND THROUGH STEVEN D. ALVIS, MANAGER OF A-S 93, L.C., A TEXAS LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER, HEREAFTER REFERRED TO AS THE OWNER, AND T. G. STEWART, L.P., A TEXAS LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER, HEREAFTER REFERRED TO AS THE GRANTEE, DO HEREBY CERTIFY THAT THE FINAL PLAT RECORDED IN DOCUMENT NUMBER 202100253 OF THE TRAVIS COUNTY MAP RECORDS AS SAID TRACT IS DESCRIBED IN THE FOREGOING MAP OF **STONE HILL TOWN CENTER, LOT 5, 6, AND 7 REPLAT NO. 1**, DO HEREBY MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAT OF SAID PROPERTY AND HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

IN TESTIMONY WHEREOF, A-S 93 SH 130-SH 45, L.P., A TEXAS LIMITED PARTNERSHIP, HAS CAUSED THESE PRESENTS TO BE SIGNED BY STEVEN D. ALVIS, MANAGER OF A-S 93, L.C., A TEXAS LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER, THEREUNTO AUTHORIZED, THIS 15<sup>th</sup> DAY OF September, 2021.

A-S 93 SH 130-SH 45, L.P.  
A TEXAS LIMITED PARTNERSHIP

A-S 93, L.C.  
A TEXAS LIMITED LIABILITY COMPANY  
ITS GENERAL PARTNER

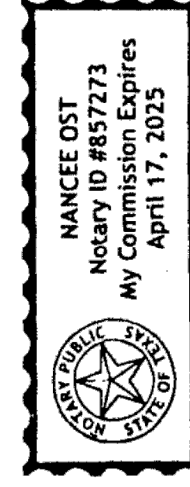
*Steven D. Alvis*  
STEVEN D. ALVIS, MANAGER

STATE OF TEXAS:  
COUNTY OF HARRIS:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED STEVEN D. ALVIS, MANAGER OF A-S 93, L.C., A TEXAS LIMITED LIABILITY COMPANY, GENERAL PARTNER OF A-S 93 SH 130-SH 45, L.P., A TEXAS LIMITED PARTNERSHIP, KNOWN TO ME AND TO THE PUBLIC BY REASON OF HIS BEING REGISTERED AS SUCH FOR WRITING, ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE 15<sup>th</sup> DAY OF September, 2021, A.D.

*Nancee Ost*  
NOTARY PUBLIC'S SIGNATURE



APPROVED THIS 20 DAY OF September, 2021, BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF PFLUGERVILLE, TEXAS, ON BEHALF OF THE CITY.

*Robert Romig*  
ROBERT ROMIG, CHAIR

THIS PLAT REFLECTS THE APPROVAL GRANTED BY THE PLANNING AND ZONING COMMISSION ON THE DATE INDICATED ABOVE.

*Emily Carr*  
EMILY CARR, PLANNING DIRECTOR

ATTEST:  
*Karen Thompson*  
KAREN THOMPSON, CITY SECRETARY



NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100-YEAR FLOOD PLAIN OF ANY WATERWAY THAT IS WITHIN THE LIMITS OF STUDY OF THE FEDERAL FLOOD INSURANCE ADMINISTRATION, FIRM PANEL NO. 46455-C-0280 U, DATED AUGUST 18, 2014, FOR TRAVIS COUNTY, TEXAS

*Gregory A. Schmidt*  
GREGORY A. SCHMIDT  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF TEXAS NO. 67293



STATE OF TEXAS: KNOW ALL MEN BY THESE PRESENTS  
COUNTY OF TRAVIS:

THAT I, BRIAN NESVADBA, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND, AND THAT ALL CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION, IN ACCORDANCE WITH ALL CITY OF PFLUGERVILLE, TEXAS, ORDINANCES AND ORDINANCES AND THAT ALL KNOWN EASEMENTS WITHIN THE BOUNDARY OF THE PLAT ARE SHOWN HEREON.

*Brian Nesvadba*  
BRIAN NESVADBA  
REGISTERED PROFESSIONAL LAND SURVEYOR  
STATE OF TEXAS NO. 5776

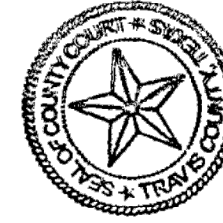


STATE OF TEXAS:  
COUNTY OF TRAVIS:

I, DANA DEBEAUVOR, CLERK OF TRAVIS COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH ITS CERTIFICATION OR AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE 26<sup>th</sup> DAY OF October, 2021 A.D., AT 9:45 O'CLOCK A.M., DULY RECORDED ON THIS 26<sup>th</sup> DAY OF October, 2021 A.D., AT 9:45 O'CLOCK A.M., OFFICIAL PUBLIC RECORDS OF SAID COUNTY AND STATE IN DOCUMENT NUMBER 202100253 OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE THE COUNTY CLERK, 26<sup>th</sup> DAY OF October, 2021, A.D.

*Dana Debeavor*  
DANA DEBEAUVOR, COUNTY CLERK  
TRAVIS COUNTY, TEXAS



*D. Bartholomew*  
DEPUTY  
D. BARTHOLOMEW

REASON FOR REPLAT

TO SPLIT LOTS 5, 6, AND 7,  
BLOCK 4, INTO 10 LOTS



FINAL PLAT

STONE HILL  
TOWN CENTER,  
LOT 5, 6, AND 7  
REPLAT NO. 1

10 LOTS 1 BLOCK

A 13.6860 ACRE TRACT OF LAND  
BEING A REPLAT OF  
LOTS 5, 6, AND 7, BLOCK 4,  
STONE HILL TOWN CENTER

(DOCUMENT NO. 200700201; T.C.M.R.)  
IN THE T. G. STEWART SURVEY NO. 6,  
ABSTRACT NO. 689, CITY OF PFLUGERVILLE,  
TRAVIS COUNTY, TEXAS

~ OWNER AND SUBDIVIDER ~

A-S 93 SH 130-SH 45, L.P.

8827 W. SAM HOUSTON PARK N., SUITE 200  
HOUSTON, TX 77040  
(281) 477-4310

~ SURVEYOR / ENGINEER ~

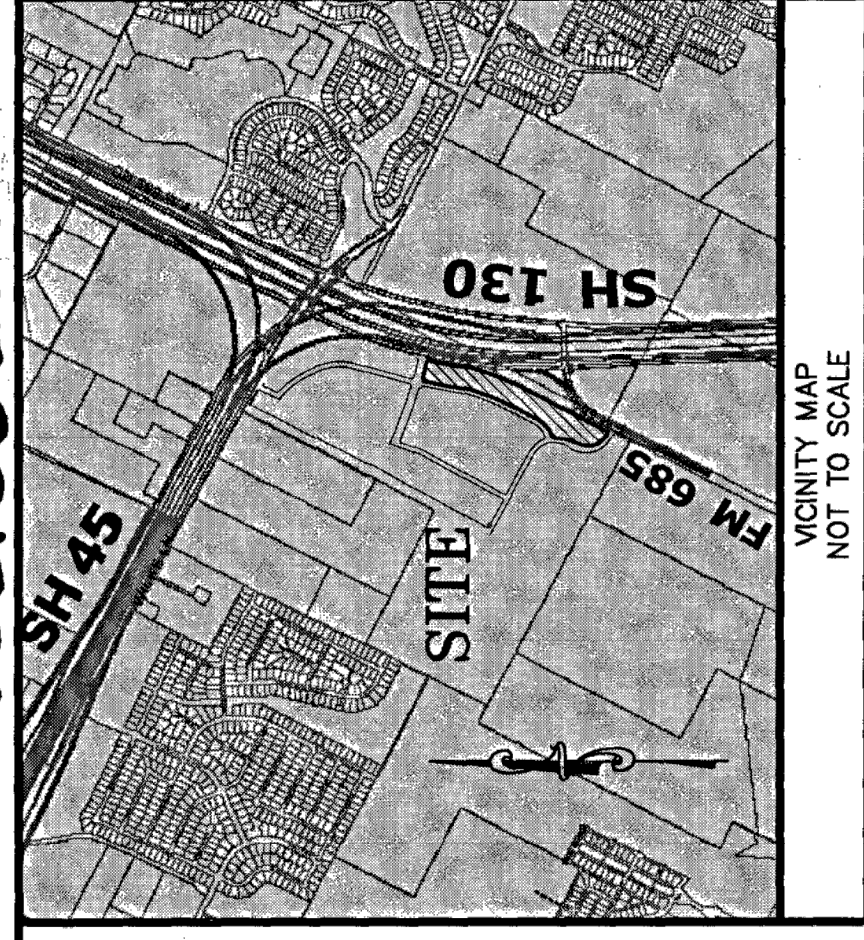
TEXAS ENGINEERING AND MAPPING COMPANY

12718 CENTURY DRIVE  
STAFFORD, TX 77477

PHONE: 281.491.2525 FAX: 281.491.2555  
SURVEYING FIRM NO. 10119000 / ENGINEERING FIRM NO. F-2806  
www.team-civil.com  
Job No. 1322-1

SEPTEMBER 15, 2021

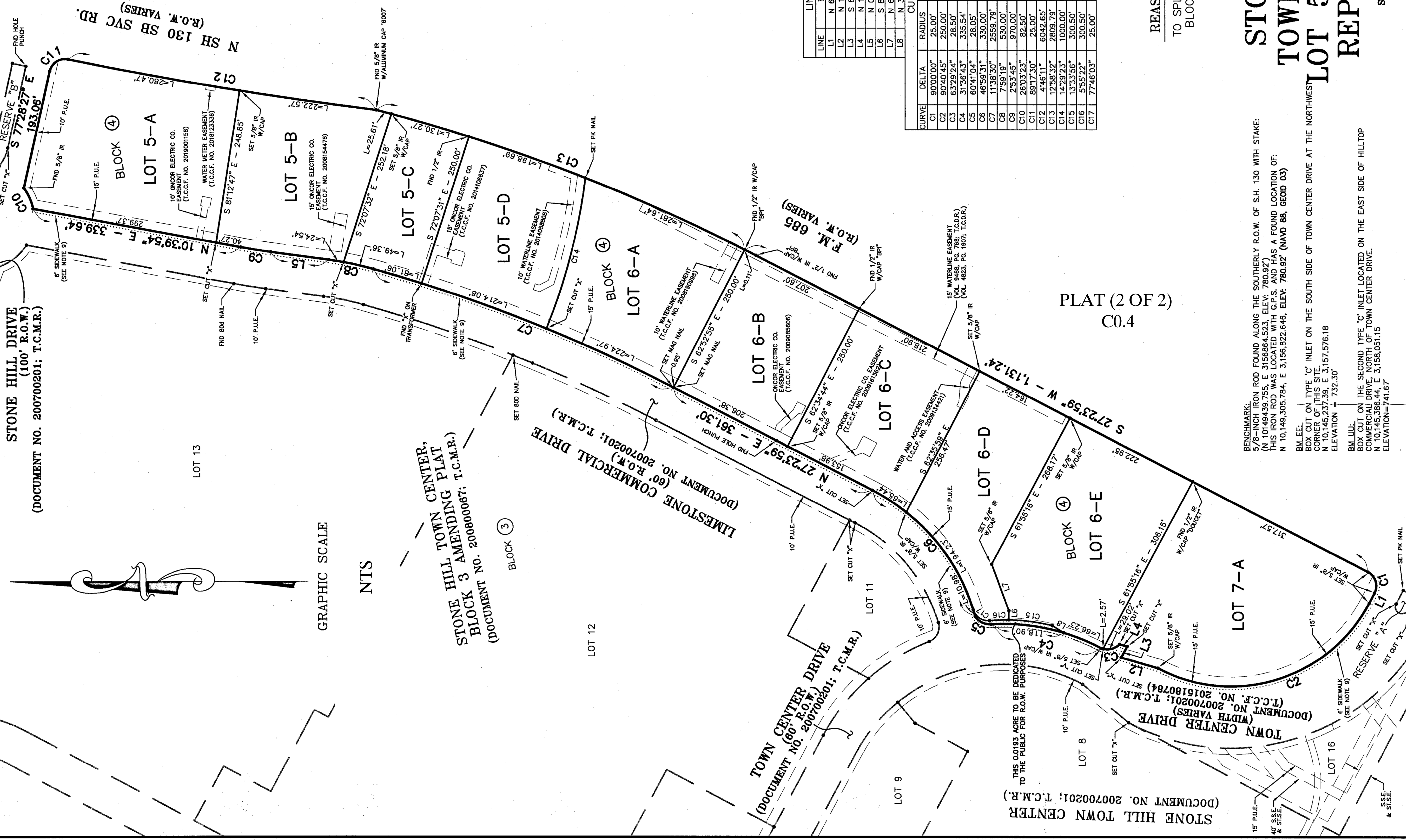
SHEET 1 OF 2



VICINITY MAP  
NOT TO SCALE

NOTES:

- 1.) BEARINGS SHOWN HEREON ARE BASED ON THE NORTHWEST RIGHT-OF-WAY LINE OF F.M. 685, THE BEARINGS BEING S. 2723°59' W. - SEE ORIGINAL PLAT OF STONE HILL TOWN CENTER (DOCUMENT NO. 200700201; T.C.M.R.) FOR MORE INFORMATION
- 2.) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NO. 46455-C-0280 U, EFFECTIVELY DATED AUGUST 18, 2014, THIS PROPERTY LIES IN ZONE "X", AN AREA NOT CONSIDERED IN THE 500-YR. FLOOD PLAIN.
- 3.) THIS PLAT LIES WITHIN THE CITY OF PFLUGERVILLE FULL PURPOSE JURISDICTION.
- 4.) WATER AND WASTEWATER SHALL BE PROVIDED BY THE CITY OF PFLUGERVILLE. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO WATER AND WASTEWATER FACILITIES.
- 5.) A 10-FT PUBLIC UTILITY EASEMENT (P.U.E.) SHALL BE DEDICATED ALONG STONE HILL DRIVE AND A 15-FT PUBLIC UTILITY EASEMENT (P.U.E.) SHALL BE DEDICATED ALONG LIMESTONE COMMERCIAL DRIVE.
- 6.) EASEMENT(S) DEDICATED TO THE PUBLIC BY THIS PLAT SHALL ALSO BE SUBJECT TO THE TERMS AND CONDITIONS OF THE ENGINEERING DESIGN MANUAL PER ORDINANCE NO. 1206-15-02-24, THE GRANTOR, HEIRS, AND ASSIGNS SHALL RETAIN THE OBLIGATION TO MAINTAIN THE SURFACE OF THE EASEMENT PROPERTY, INCLUDING THE GRANTOR TO REGULARLY MOW OR CUT BACK VEGETATION AND TO KEEP THE SURFACE OF THE EASEMENT PROPERTY FREE OF LITTER, DEBRIS, AND TRASH.
- 7.) NO IMPROVEMENTS INCLUDING BUT NOT LIMITED TO STRUCTURES, FENCES, OR LANDSCAPING SHALL BE ALLOWED IN A PUBLIC EASEMENT, EXCEPT AS APPROVED BY THE CITY.
- 8.) THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR THE PLACEMENT, CONSTRUCTION, INSTALLATION, REPLACEMENT, REPAIR, MAINTENANCE, RELOCATION, REMOVAL, OPERATION AND INSPECTION OF SUCH DRAINAGE AND UTILITY FACILITIES, AND RELATED APPURTENANCES.
- 9.) A SIX (6) FOOT WIDE SIDEWALK SHALL BE PROVIDED ON BOTH SIDES OF THE STREET. SIDEWALKS TO BE BUILT AT TIME OF SITE DEVELOPMENT, IF NOT ALREADY EXISTING.
- 10.) THIS SUBDIVISION IS SUBJECT TO ALL CITY OF PFLUGERVILLE ORDINANCES OR TECHNICAL MANUALS RELATED TO TREE PRESERVATION PER CITY ORDINANCE # 1203-15-02-24 AND CITY RESOLUTION # 1224-08-08-25-8A.
- 11.) THE ASSESSED COMMUNITY IMPACT FEE RATE FOR WATER AND WASTEWATER IS HEREBY ACCESSED AND ESTABLISHED ACCORDING TO THE CITY OF PFLUGERVILLE ORDINANCE NO. 1440-20-04-14. COMMUNITY IMPACT FEES FOR INDIVIDUAL LOTS SHALL BE PAID PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT.
- 12.) THIS SUBDIVISION SHALL MITIGATE POST-DEVELOPMENT PEAK RUNOFF RATES FOR THE 2 YEAR, 25 YEAR, AND 100 YEAR STORM EVENTS.
- 13.) ALL ELECTRICAL UTILITY INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO TELEPHONE, CABLE TELEVISION, ELECTRIC UTILITY LATERAL AND SERVICE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL.
- 14.) THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF PFLUGERVILLE.
- 15.) CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.
- 16.) SITE DEVELOPMENT CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE, DEVELOPMENT SERVICES, PRIOR TO ANY CONSTRUCTION.
- 17.) ALL PROPOSED FENCES AND WALLS ADJACENT TO THE INTERSECTING PUBLIC ROADWAY RIGHT-OF-WAY OR ADJACENT TO PRIVATE ACCESS DRIVES SHALL BE IN COMPLIANCE WITH THE SITE DISTANCE REQUIREMENTS OF THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL, AS AMENDED.
- 18.) WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ AND STATE BOARD OF INSURANCE REQUIREMENTS. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED AT THE OWNER'S SOLE EXPENSE IF PLANS TO DEVELOP THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- 19.) \* - INDICATES A SET 5/8" IRON ROD WITH CAP STAMPED: T.E.A.M. 281-691-2525, UNLESS OTHERWISE NOTED.
- 20.) THE ASSESSED ROADWAY IMPACT FEE IS HEREBY ASSESSED AND ESTABLISHED ACCORDING TO THE CITY OF PFLUGERVILLE ORDINANCE NO. 1470-20-11-24. ROADWAY IMPACT FEES WILL BE PAID PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT.
- 21.) SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS SET FORTH IN DECLARATION OF COVENANTS, RESTRICTIONS, EASEMENTS, AND AGREEMENTS RECORDED IN PLAT FILED OF RECORD UNDER DOCUMENT NO. 201800198 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, AND BY INSTRUMENT(S) FILED OF RECORD UNDER CLERK'S FILE NO.(S), 2007090004, 2007120877 (AMENDED IN 201800198), 201800201, 201800202, 201800203, 201800204, 201800205, 201800206, 201800207, 201800208, 201800209, 201800210, 201800211, 201800212, 201800213, 201800214, 201800215, 201800216, 201800217, 201800218, 201800219, 201800220, 201800221, 201800222, 201800223, 201800224, 201800225, 201800226, 201800227, 201800228, 201800229, 201800230, 201800231, 201800232, 201800233, 201800234, 201800235, 201800236, 201800237, 201800238, 201800239, 201800240, 201800241, 201800242, 201800243, 201800244, 201800245, 201800246, 201800247, 201800248, 201800249, 201800250, 201800251, 201800252, 201800253, 201800254, 201800255, 201800256, 201800257, 201800258, 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STONE HILL DRIVE  
(100' R.O.W.)  
(DOCUMENT NO. 200700201; T.C.M.R.)

STONE HILL TOWN CENTER,  
BLOCK 3 AMENDING PLAT  
(DOCUMENT NO. 200800067; T.C.M.R.)

TOWN CENTER DRIVE  
(60' R.O.W.)  
(DOCUMENT NO. 200700201; T.C.M.R.)

IMESTONE COMMERCIAL DRIVE  
(60' R.O.W.)  
(DOCUMENT NO. 200700201; T.C.M.R.)

LEGEND

---	LOT BOUNDARY
---	ADJOINER BOUNDARY
---	EASEMENT
---	6 FOOT SIDEWALK
---	FOUND
---	IRON PIPE
---	IRON ROD
---	NUMBER
---	PAGE
---	PUBLIC UTILITY EASEMENT
---	TRAVIS COUNTY CLERK'S FILE
---	TRAVIS COUNTY DEED RECORDS
---	TRAVIS COUNTY MAP RECORDS
---	RIGHT OF WAY
---	SAVING SEWER EASEMENT
---	SAVING WATER EASEMENT
---	SQUARE FEET
---	VOLUME
---	WITH

LOT SIZE

LOT	SQ. FT.	ACRES
5-A	76,945	1.7664
5-B	57,133	1.3116
5-C	32,598	0.7483
5-D	54,940	1.2553
6-A	62,102	1.4257
6-B	51,761	1.1883
6-C	54,876	1.2598
6-D	50,109	1.1504
6-E	69,014	1.5843
7-A	87,841	2.0166
TOTAL	596,161	13.6860

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 62°36'01" W	18.28'
L2	N 16°11'36" E	61.60'
L3	S 61°55'17" E	20.44'
L4	N 16°11'36" E	12.69'
L5	N 07°46'10" E	94.40'
L6	S 88°43'46" E	14.74'
L7	N 69°30'45" E	79.96'
LB	N 31°52'07" E	21.67'

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	90°00'00"	25.00'	39.27'	S 72°23'59" W - 35.36'
C2	90°40'45"	260.00'	395.66'	N 17°15'39" W - 355.64'
C3	63°29'24"	28.50'	31.58'	N 12°42'59" W - 29.99'
C4	31°35'43"	335.54'	165.13'	N 12°11'44" E - 182.79'
C5	60°41'04"	28.05'	29.71'	N 26°41'30" E - 28.34'
C6	48°59'31"	330.00'	270.65'	N 50°53'44" E - 263.13'
C7	11°38'30"	2559.79'	520.12'	N 21°34'43" E - 519.22'
C8	7°59'19"	530.00'	73.90'	N 11°45'49" E - 73.84'
C9	2°33'45"	970.00'	49.02'	N 08°13'02" E - 48.02'
C10	26°03'23"	82.50'	37.52'	N 66°18'48" E - 37.20'
C11	89°17'30"	23.00'	36.96'	S 32°49'42" E - 35.14'
C12	4°46'11"	6042.65'	503.04'	S 09°25'57" W - 502.90'
C13	12°58'32"	2808.79'	636.32'	S 20°54'30" W - 634.96'
C14	14°29'23"	1000.00'	252.89'	S 75°36'27" E - 252.22'
C15	13°33'56"	300.50'	71.15'	N 07°25'25" E - 70.98'
C16	5°55'22"	300.50'	31.06'	N 02°19'14" W - 31.05'
C17	77°46'03"	25.00'	33.93'	N 33°36'06" E - 31.39'

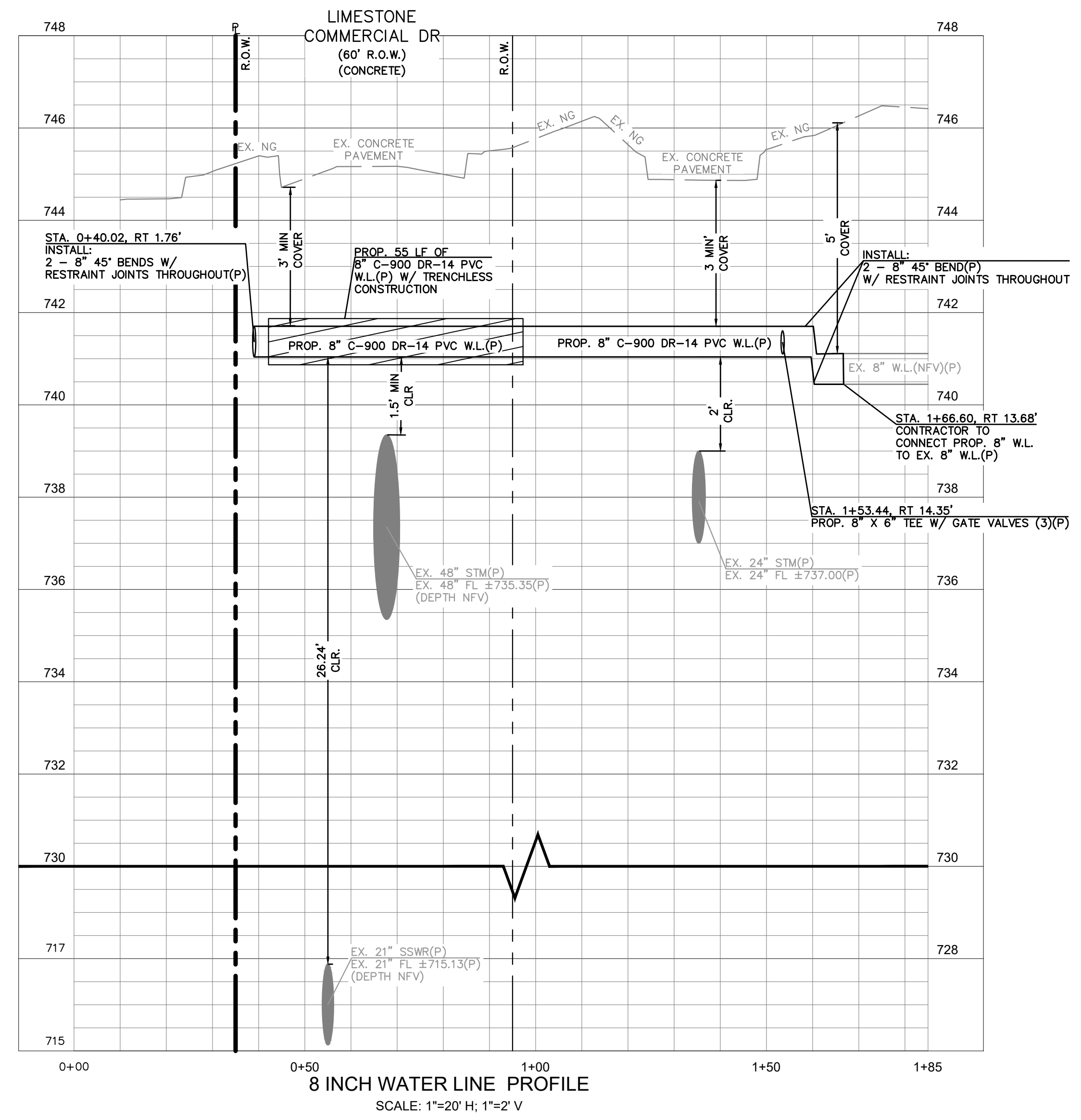
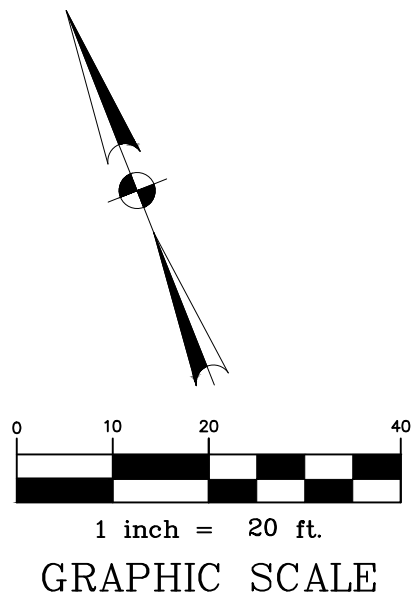
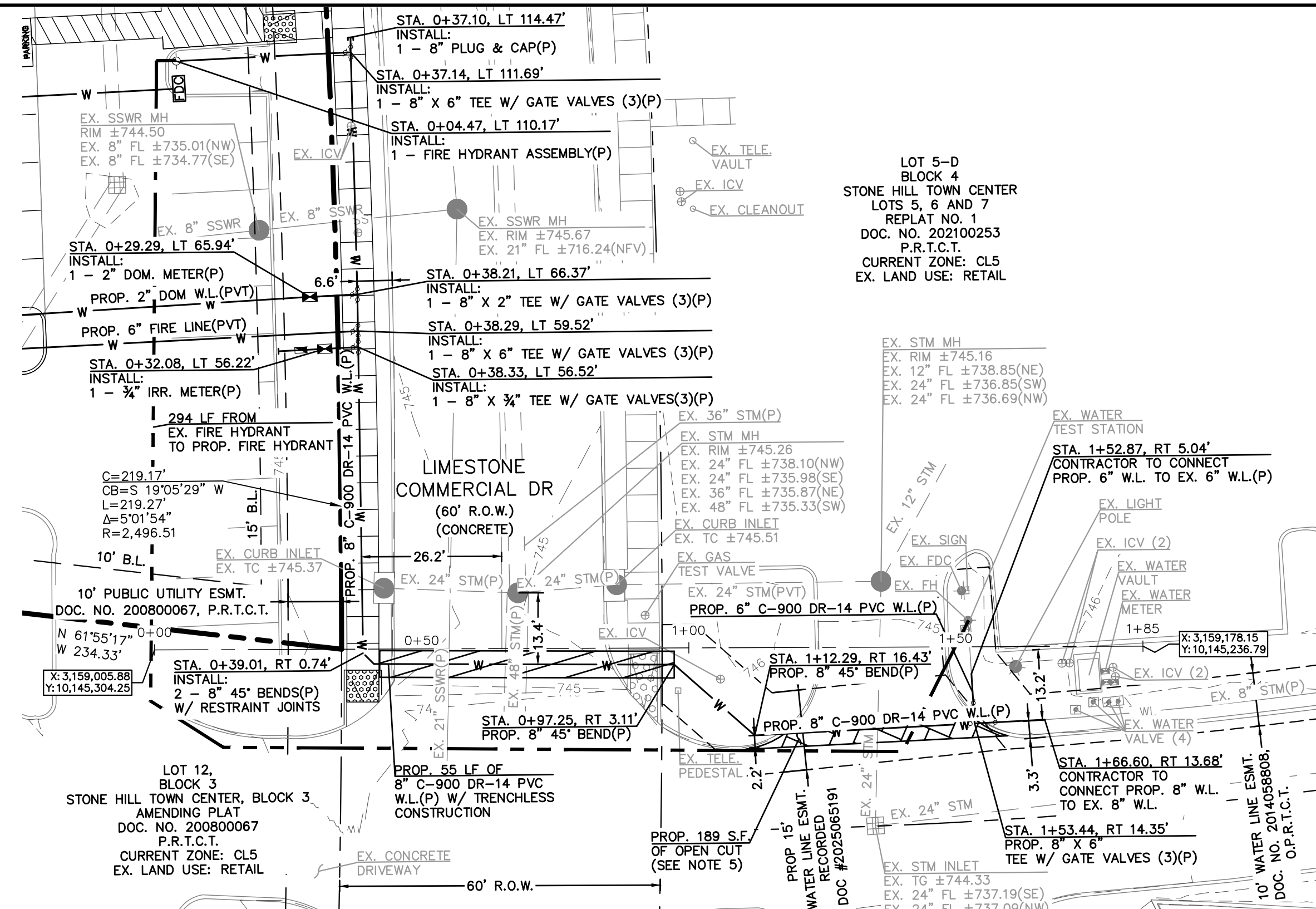
REASON FOR REPLAT  
TO SPLIT LOT 5, 6, AND 7,  
BLOCK 4, INTO 10 LOTS

FINAL PLAT  
STONE HILL  
TOWN CENTER,  
LOT 5, 6, AND 7  
REPLAT NO. 1

BENCHMARKS:  
5/8-INCH IRON ROD FOUND ALONG THE SOUTHERLY R.O.W. OF S.H. 130 WITH STAKE:  
(N 10149439.755, E 3156864.523, ELEV: 780.92)  
THIS IRON ROD WAS LOCATED WITH G.P.S. AND HAS A FOUND LOCATION OF:  
N 10,149,305.784, E 3,156,822.646, ELEV 780.92' (NAVD 88, GEOD 03)

BM JLL:  
BOX CUT ON TYPE 'C' INLET ON THE SOUTH SIDE OF TOWN CENTER DRIVE AT THE NORTHWEST CORNER OF THIS SITE.  
N 10,145,237.39, E 3,157,576.18  
ELEVATION = 732.30'

BM JUL:  
BOX CUT ON THE SECOND TYPE 'C' INLET LOCATED ON THE EAST SIDE OF HILLTOP COMMERCIAL DRIVE, NORTH OF TOWN CENTER DRIVE.  
N 10,145,386.44, E 3,158,051.15  
ELEVATION = 741.67'



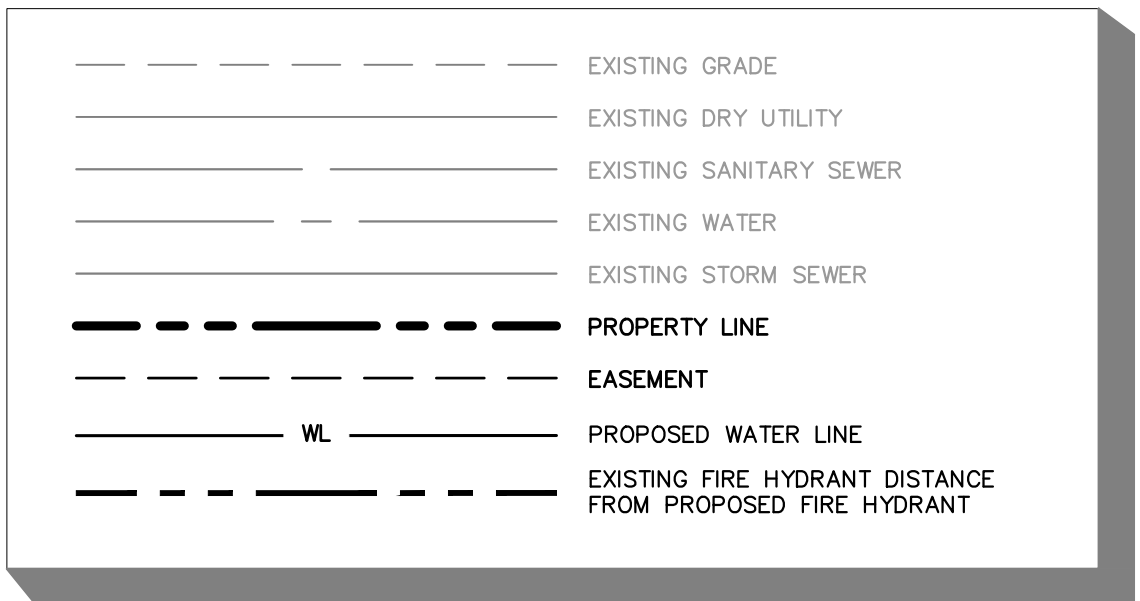
8 INCH WATER LINE PROFILE  
SCALE: 1"=20' H; 1"=2' V

LOT 5-D  
BLOCK 4  
STONE HILL TOWN CENTER  
LOTS 5, 6 AND 7  
REPLAT NO. 1  
DOC. NO. 202100253  
P.R.T.C.T.  
CURRENT ZONE: CL5  
EX. LAND USE: RETAIL

TEMPORARY BENCHMARK "A":  
TEMPORARY BENCHMARK "A" IS A BOX CUT SET ON THE BACK OF A CURB IN THE STONEHILL SHOPPING CENTER PARKING LOT 255 FEET NORTHWEST OF THE CENTERLINE OF LIMESTONE COMMERCIAL DRIVE, ±725 FEET SOUTH FROM THE INTERSECTION OF LIMESTONE COMMERCIAL DRIVE AND STONE HILL DRIVE. ELEVATION = 745.21 FEET (NAVD88, 2001 ADJUSTMENT)

TEMPORARY BENCHMARK "B":  
TEMPORARY BENCHMARK "B" IS A BOX CUT SET ON THE BACK OF CURB IN THE STONEHILL SHOPPING CENTER PARKING LOT 255 FEET NORTHWEST OF THE CENTERLINE OF LIMESTONE COMMERCIAL DRIVE, ±765 FEET SOUTH FROM THE INTERSECTION OF LIMESTONE COMMERCIAL DRIVE AND STONE HILL DRIVE. ELEVATION = 745.41 FEET (NAVD88, 2001 ADJUSTMENT)

LEGEND



GENERAL NOTES

- FOR CITY OF PFLUGERVILLE BEDDING, AND BACKFILL DETAILS, REFERENCE SHEET C0.1.
- CONTRACTOR RESPONSIBLE FOR ANY REMOVAL/REPLACEMENT OF ANY EXISTING FEATURES IN THE R.O.W. AND WITHIN ANY LANDSCAPED AREA.
- CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL PLAN & TRAFFIC CONTROL IMPLEMENTATION, NO SEPARATE PAY.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES AND OTHER APPURTENANCES FOR LOCATION, DEPTH, AND SIZE PRIOR TO COMMENCING WORK. SHOULD CONFLICT ARISE, CONTRACTOR TO NOTIFY OWNER AND ENGINEER.
- EXISTING CONCRETE SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER AND EXISTING DRAINAGE PATTERNS FOR SITE SHALL NOT BE ALTERED FOR PROPOSED MAINTENANCE ACTIVITIES (I.E. FOR PROPOSED UTILITY)
- BACK FLOW PREVENTERS TO BE INSTALLED ON ALL PROPOSED WATER SERVICE LEADS. PLEASE REFERENCE PRIVATE PLANS PROJECT NUMBER SP2024-000007 FOR REFERENCE.

Stone Hill Town Center - Tract 30  
Limestone Commercial Drive  
Pflugerville, TX 78660

WEEKLY LANDSCAPE IRRIGATION WATER BUDGET

ZONE #	DESCRIPTION	HEAD TYPE	AREA SF	PRECIP RATE	GPM	RUN TIME	GAL/CYCLE	PSI
1	BED	DripLine	782	0.97	7.82	20.00	156.40	39.30
2	BUBBLER	Bubbler	33	2.32	7.50	5.00	37.50	35.60
3	TURF	Turf Rotary	1973	0.48	10.06	25.00	251.50	34.20
4	BED	DripLine	602	0.96	6.03	20.00	192.00	37.90
TOTALS:					70.00		464.60	
					2 CYCLES/WEEK		929.2	
							132.74	

**FLOW TEST COMPLETION FORM**  
Allied Fire Protection, Inc.

PROJECT NUMBER: Con2025-00107  
PROJECT NAME: Stone Hill Tract 30  
ADDRESS: 18708 Limestone Commercial Drive, Pflugerville, TX 78660  
New Quat Properties, Inc. 5050

ITEM	MARK	STATIC PRESS (PSI)	RESIDUAL PRESS (PSI)	ORIFICE (IN)	FLOW AT RESIDUAL PRESS (GPM)
1	Flow	N/A	N/A	2.00	157.0
2	Flow	N/A	N/A	2.00	157.0
3	Flow	N/A	N/A	2.00	157.0

City of Pflugerville, Texas  
Mud District: N/A

**DOMESTIC WATER SERVICE DEMAND:**

1.0 SERVICE UNIT = 250 GALLONS PER DAY

TYPE OF DEVELOPMENT AND SERVICE UNIT EQUIVALENT PER SQUARE FOOT:

RESTAURANT, FAST FOOD = 0.0021900  
RETAIL = 0.0002810

AVERAGE SU'S PER SQUARE FOOT = 0.0011905

SERVICE UNIT EQUIVALENT CALCULATION:  
SERVICE UNITS = SQUARE FOOTAGE X 0.0011905  
8,52398 SERVICE UNITS = 7,160 SQ.FT. X 0.0011905

GALLONS PER DAY CALCULATIONS:  
GALLONS PER DAY = 250 GPD X 8,52398 SU  
2,131 GALLONS PER DAY = 250 GPD X 8,52398 SU

PROPOSED BUILDING TO BE A COMBINATION OF RETAIL AND RESTAURANT SPACES WITH AN APPROXIMATE DOMESTIC WATER DEMAND OF 2,131 GALLONS PER DAY.

PROPOSED 2" WATER METER SIZED BASED ON AN APPROXIMATE PEAK DOMESTIC WATER DEMAND OF 36 GPM AND 5 PSI LOSS PER 100 FEET, 2021 IPC, APPENDIX E, FIGURE E103.3(6)

**WASTE WATER CALCULATIONS:**

PROP. 6" SANITARY SEWER AT 2.00% FULL CAPACITY = 516,952 GPD (REF. PRIVATE PLANS PROJECT NO: SP2024-000007) (NOT SHOWN)

$PDWF = \frac{18 + (0.0206(F)) \cdot 0.5 \cdot X}{4 + (0.0206(F)) \cdot 0.5}$   
 $F = 2,131 \text{ GPD}$   
 $PDWF = 50\% \text{ PIPE CAPACITY} = \frac{7,812}{516,952} = 0.01511$

7,812 GALLONS PER DAY = 0.015 OR 1.5% < 50%  
516,952 GPD

PDWF = 7,812  
PWWF = PDWF + 1/1  
PWWF = 7,812 + (1.018 ACRES X 750 GPD/ACRES) = 8,576 = 0.166% < 75%  
516,952

CALL BEFORE YOU DIG  
TEXAS ONE CALL PARTICIPANTS REQUEST  
72 HOURS NOTICE BEFORE YOU DIG, DRILL  
OR BLAST - STOP CALL  
TEXAS ONE CALL SYSTEM  
1-800-344-8377

PROJECT NUMBER: CON2025-00107

DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

NO. \_\_\_\_\_

**ALJ Lindsey**  
Civil Engineers  
1885 N. Katy Freeway, Suite 200  
Pflugerville, TX 78660  
281-301-9955  
FRN F-1526

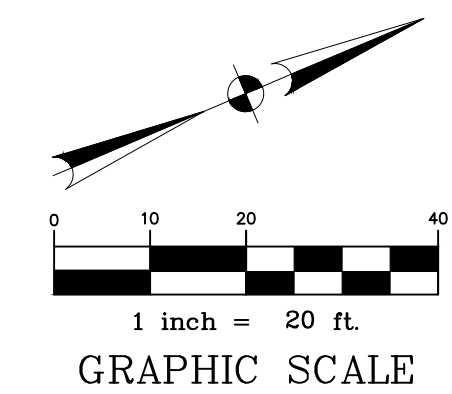
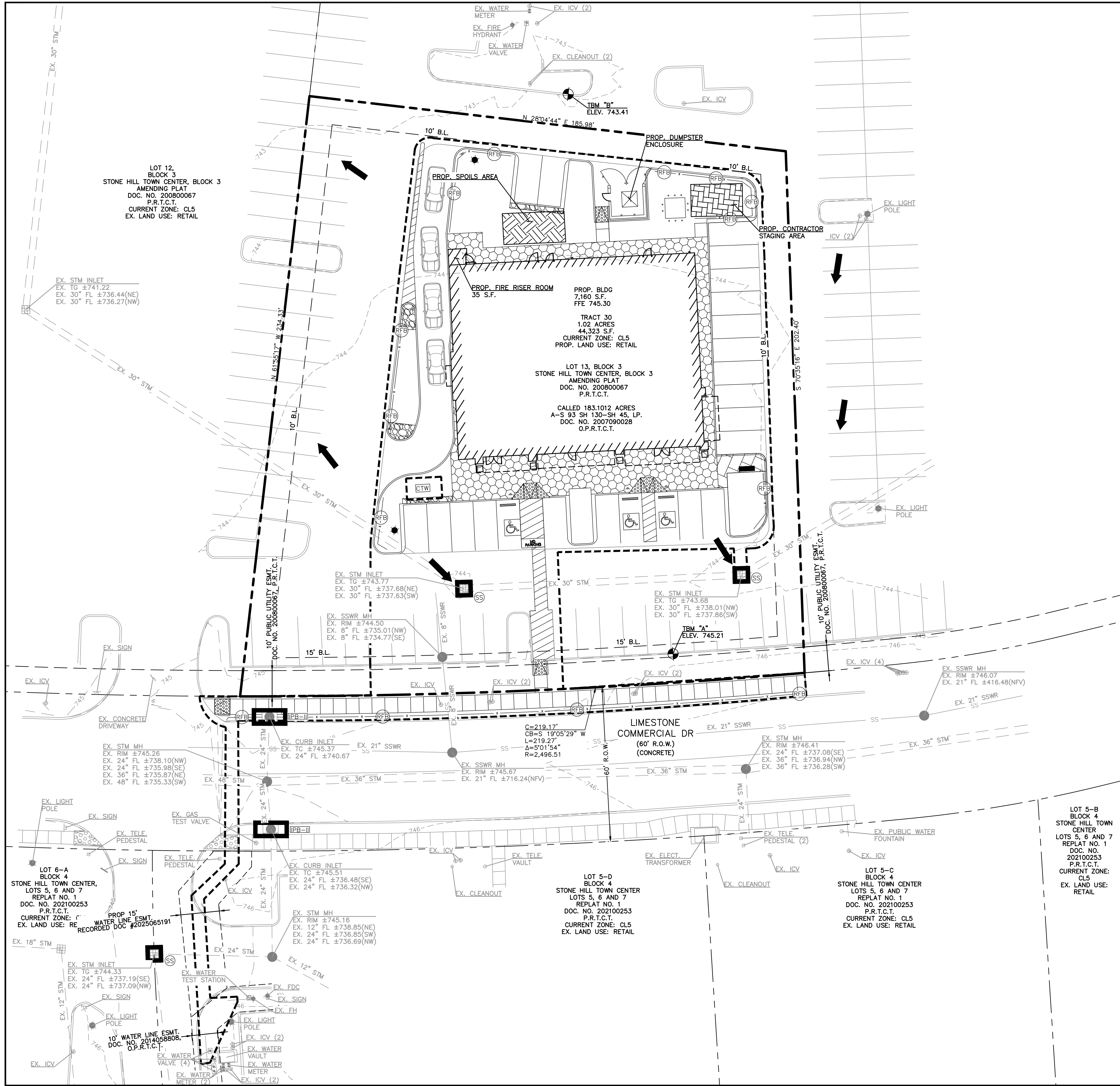
**PROPOSED 8 INCH WATER LINE  
18708 LIMESTONE COMMERCIAL DR,  
PFLUGERVILLE, TEXAS 78660**

8 INCH WATER LINE  
PLAN & PROFILE

ALL PROJECT NO.: 02B24CV158  
DATE: JUNE 2025  
SCALE: 1"=20'  
DRAWN BY: JAA  
CHECKED BY: RB

12 JUNE 2025

SHEET  
C1.0



TEMPORARY BENCHMARK "A":  
TEMPORARY BENCHMARK "A" IS A BOX CUT SET ON THE BACK OF A CURB IN THE STONEHILL SHOPPING CENTER PARKING LOT #40 FEET NORTHWEST OF THE CENTERLINE OF LIMESTONE COMMERCIAL DRIVE, #725 FEET SOUTH FROM THE INTERSECTION OF LIMESTONE COMMERCIAL DRIVE AND STONE HILL DRIVE. ELEVATION = 745.21 FEET (NAVD88, 2001 ADJUSTMENT)

TEMPORARY BENCHMARK "B":  
TEMPORARY BENCHMARK "B" IS A BOX CUT SET ON THE BACK OF CURB IN THE STONEHILL SHOPPING CENTER PARKING LOT #255 FEET NORTHWEST OF THE CENTERLINE OF LIMESTONE COMMERCIAL DRIVE, #765 FEET SOUTHWEST FROM THE INTERSECTION OF LIMESTONE COMMERCIAL DRIVE AND STONE HILL DRIVE. ELEVATION = 743.41 FEET (NAVD88, 2001 ADJUSTMENT)

**LEGEND**

- PROPOSED SPOILS AREA
- PROPOSED CONTRACTOR STAGING AREA
- CONCRETE TRUCK WASHOUT (SEE DETAIL 650S-3, SHEET C3.1)
- SILT FENCE (SEE DETAIL 642S-2, SHEET C3.1)
- SILT STACK INLET PROTECTION BARRIER (SEE DETAIL, SHEET C3.1)
- INLET PROTECTION BARRIER - STAGE II (SEE DETAIL, SHEET C3.1)
- EXISTING DRAINAGE FLOW PATH
- LIMITS OF DISTURBED AREA
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR

**SITE DATA**

TOTAL LOT AREA	1.02 AC
TOTAL AREA DISTURBED	0.68 AC
PAVED AREA AT COMPLETION	0.71 AC
ROOFED AREA AT COMPLETION	0.17 AC
LANDSCAPED AREA AT COMPLETION	0.14 AC

- GENERAL NOTES**
- CONTRACTOR TO MAINTAIN A CLEAN PROJECT SITE AND ENSURE THAT ALL DEBRIS IS PLACED IN DESIGNATED AREA PER PLANS. ALL SPILL MATERIAL GENERATED FROM CONSTRUCTION ACTIVITY TO BE HAULED OFFSITE AND DISPOSED IN ACCORDANCE WITH LOCAL LAWS, RULES, AND REGULATIONS.
  - A STABILIZED CONSTRUCTION ENTRANCE IS NOT PROVIDED, AS WE ANTICIPATE THAT CONSTRUCTION TRAFFIC WILL ENTER AND EXIT THE SITE FROM PRIVATE PROPERTY. IF OFFSITE TRACKING IS EXPERIENCED, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED.
  - THE SWPPP SITE NOTEBOOK MUST BE PREPARED AND COMPLETED NO LATER THAN THE TIME WHEN THE CONSTRUCTION SITE NOTICE IS REQUIRED TO BE POSTED OR NOTICE OF INTENT IS REQUIRED TO BE SUBMITTED TO THE TCEQ, AND IT MUST BE SUBMITTED TO THE CITY FOR REVIEW VIA THE CITY'S PERMIT REVIEW SOFTWARE AT LEAST 3 BUSINESS DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING.

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

CALL BEFORE YOU DIG  
TEXAS ONE CALL PARTICIPANTS REQUEST  
72 HOURS NOTICE BEFORE YOU DIG, DRILL  
OR BLAST - STOP CALL  
TEXAS ONE CALL SYSTEM  
1-800-344-8377

NO.	REVISIONS	DATE

**ALJLindsey**  
Civil Engineers  
1885 N. Loop West, Suite 200  
P.O. Box 1077  
281-301-9955  
PRN F-11508

STATE OF TEXAS  
P. LINDSEY  
35617  
REGISTERED  
PROFESSIONAL ENGINEER  
12 JUNE 2025

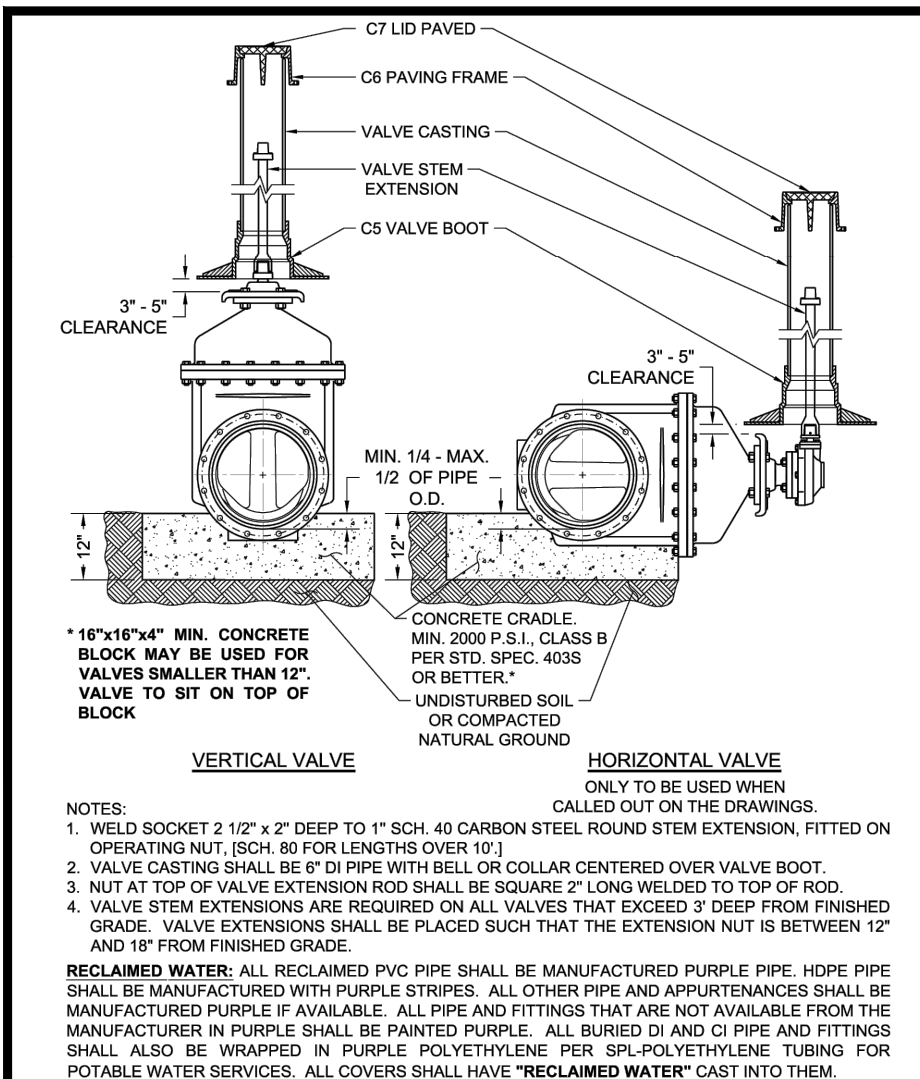
ALL PROJECT NO. 02624CV158	DATE: JUNE 2025	SCALE: 1:20	DRAWN BY: JAA	CHECKED BY: RB
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**EROSION CONTROL PLAN**

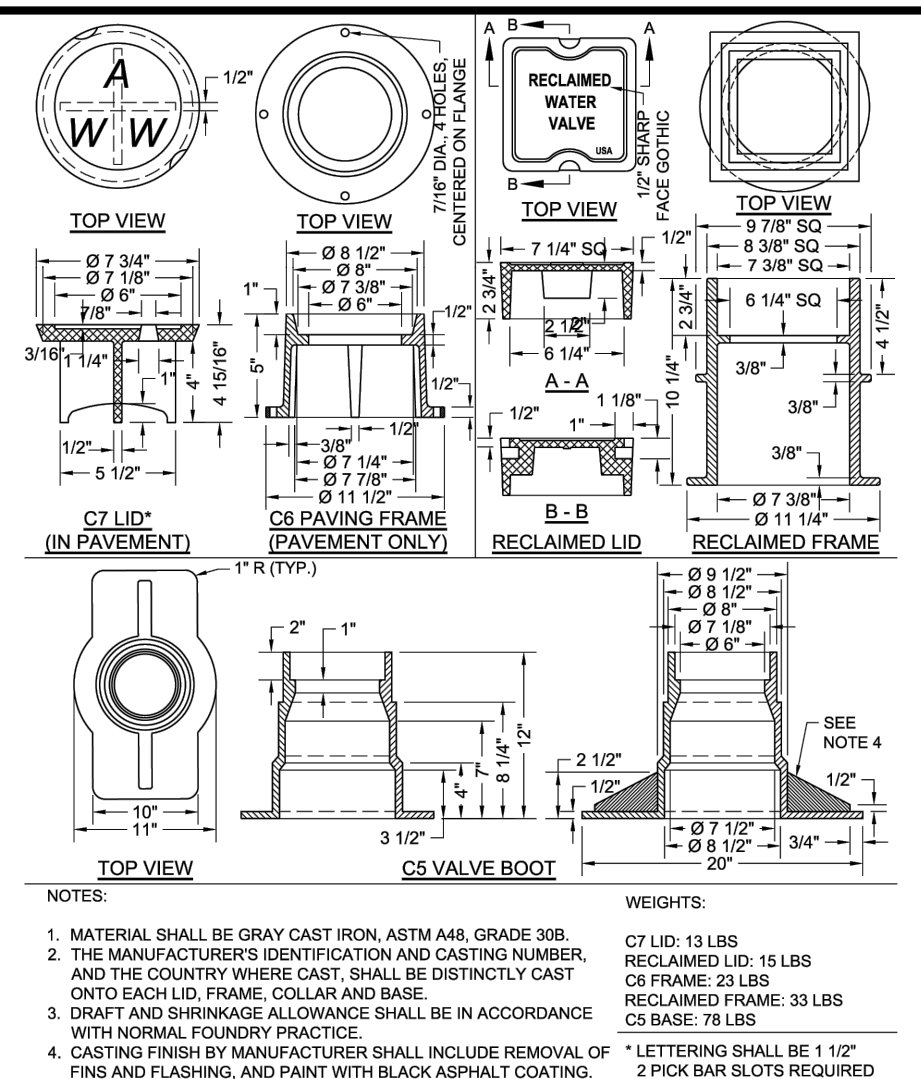
PROPOSED 8 INCH WATER LINE  
18708 LIMESTONE COMMERCIAL DR.,  
PFLUGERVILLE, TEXAS 78660

PROJECT NUMBER: CON2025-00107

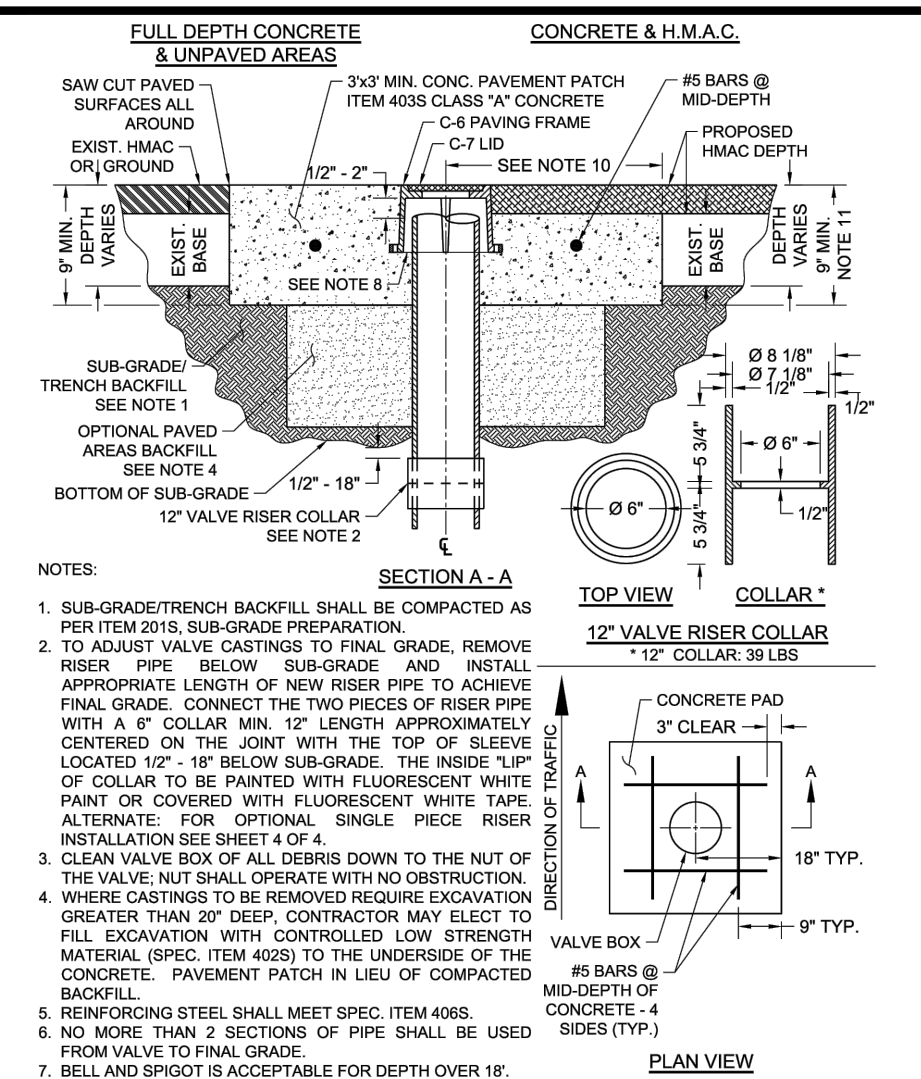
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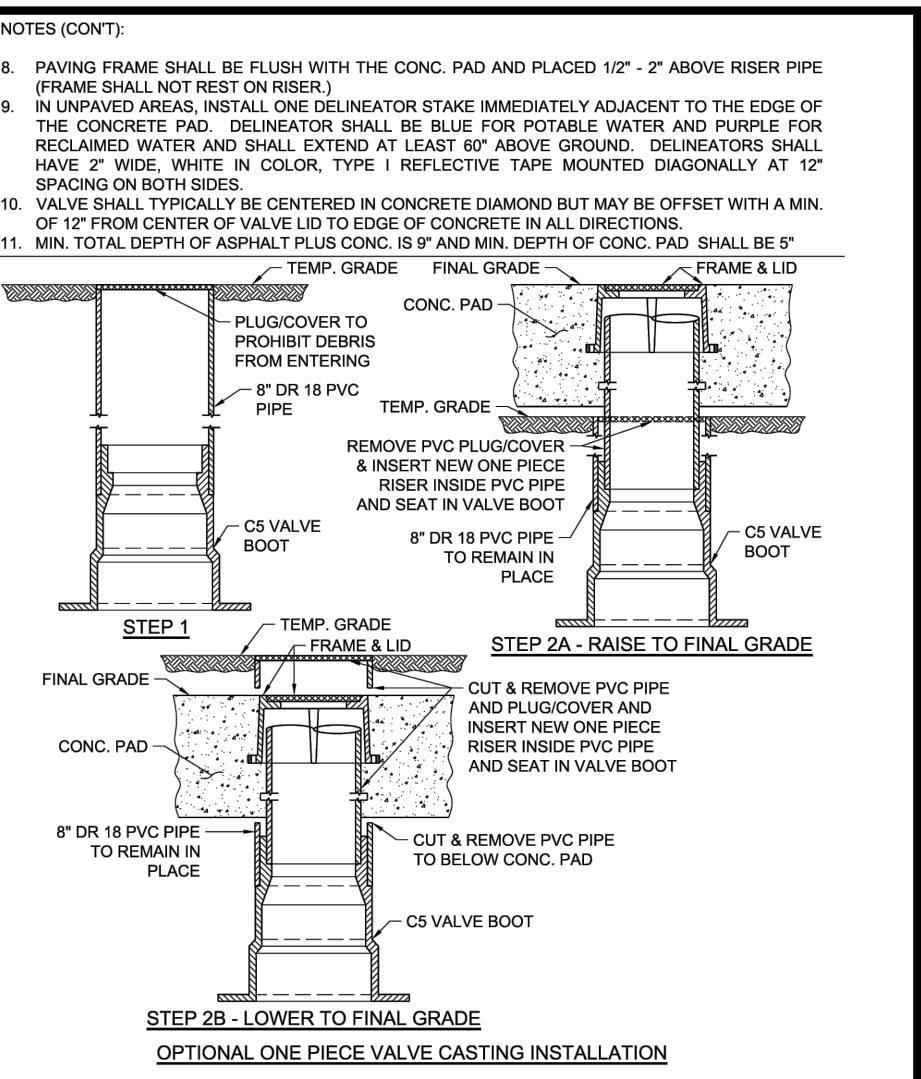
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DATE APPROVED:	DATE APPROVED:	CONSTRUCTION STANDARDS AND DETAILS	1 OF 4
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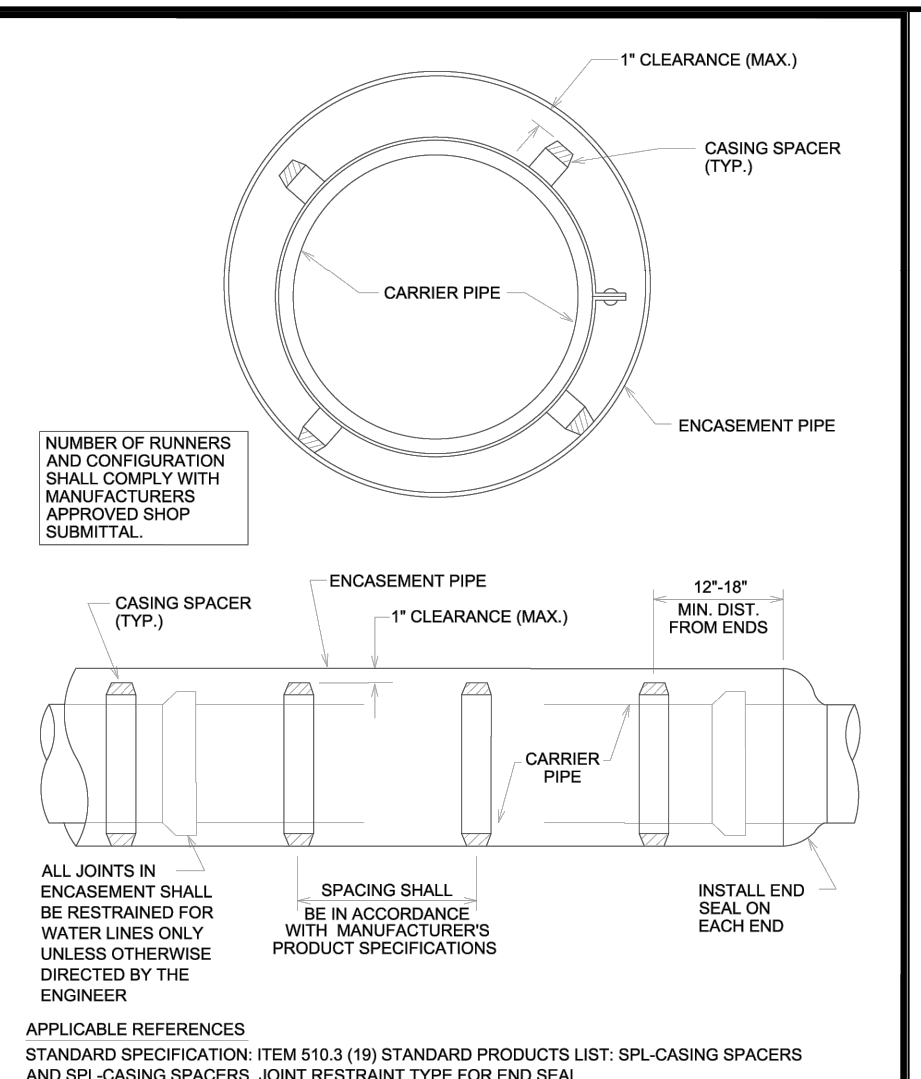
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DATE APPROVED:	DATE APPROVED:	CONSTRUCTION STANDARDS AND DETAILS	2 OF 4
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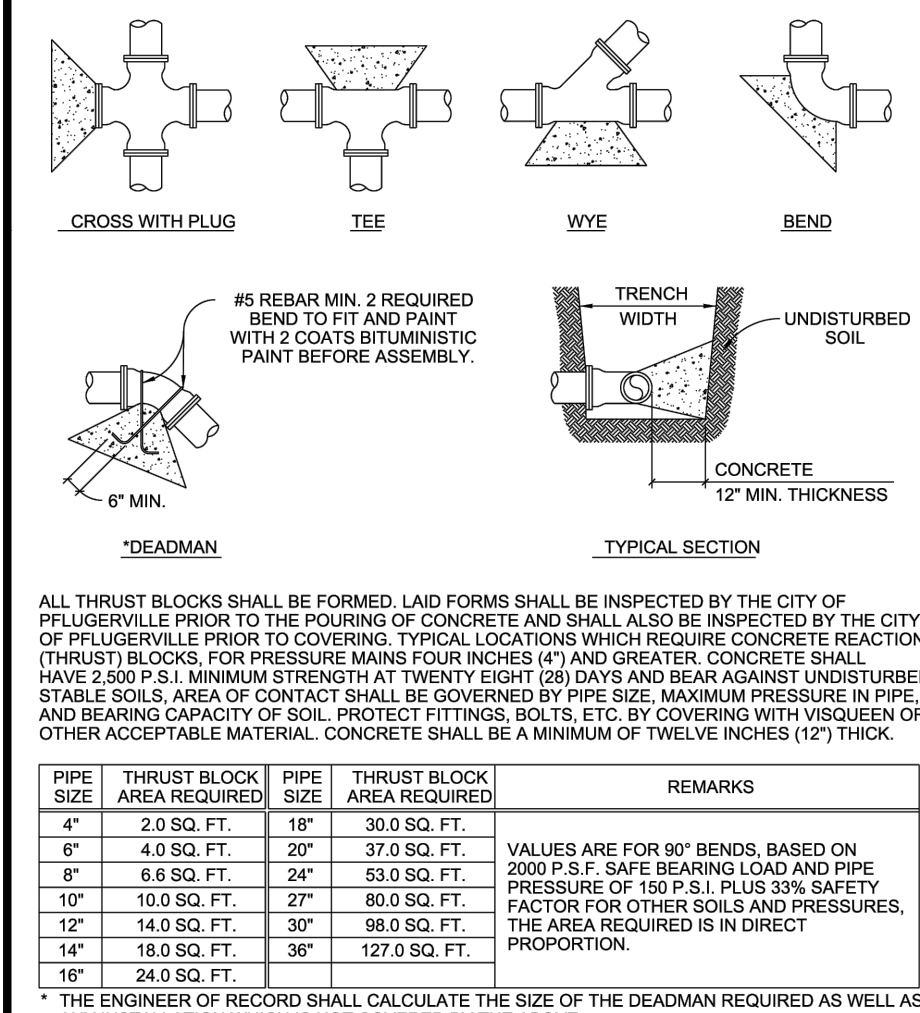
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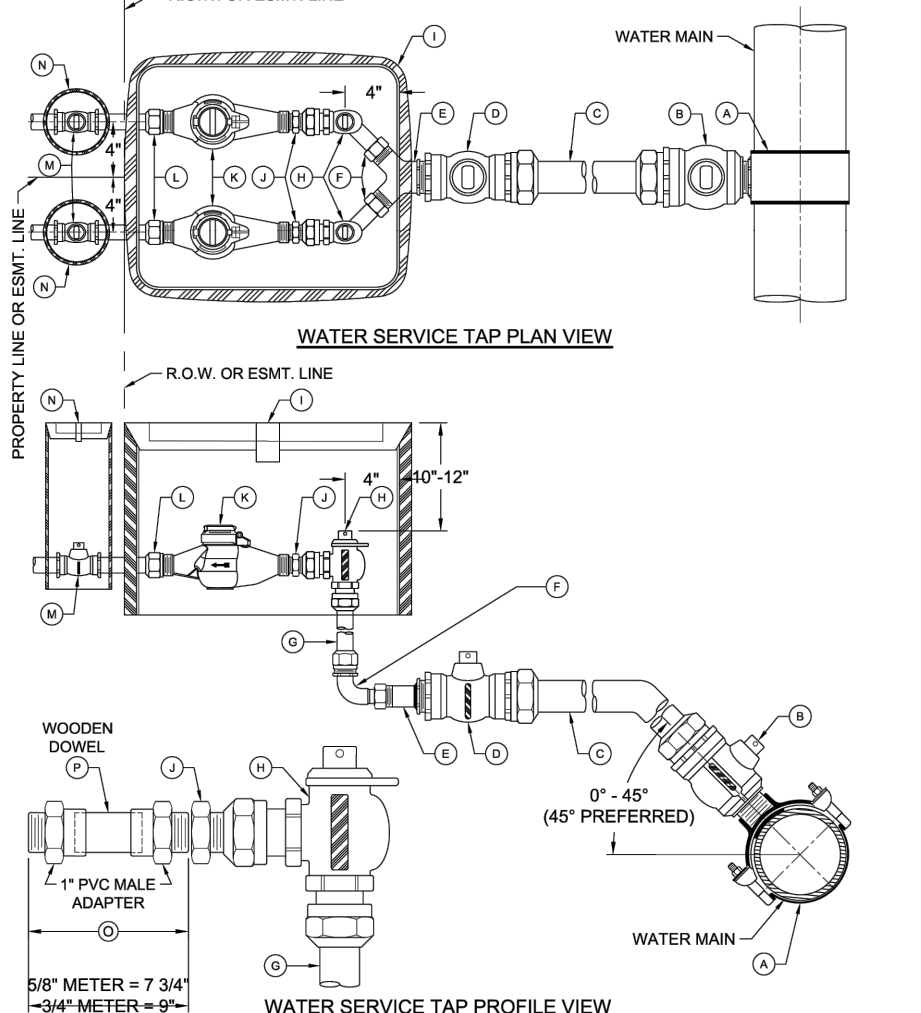
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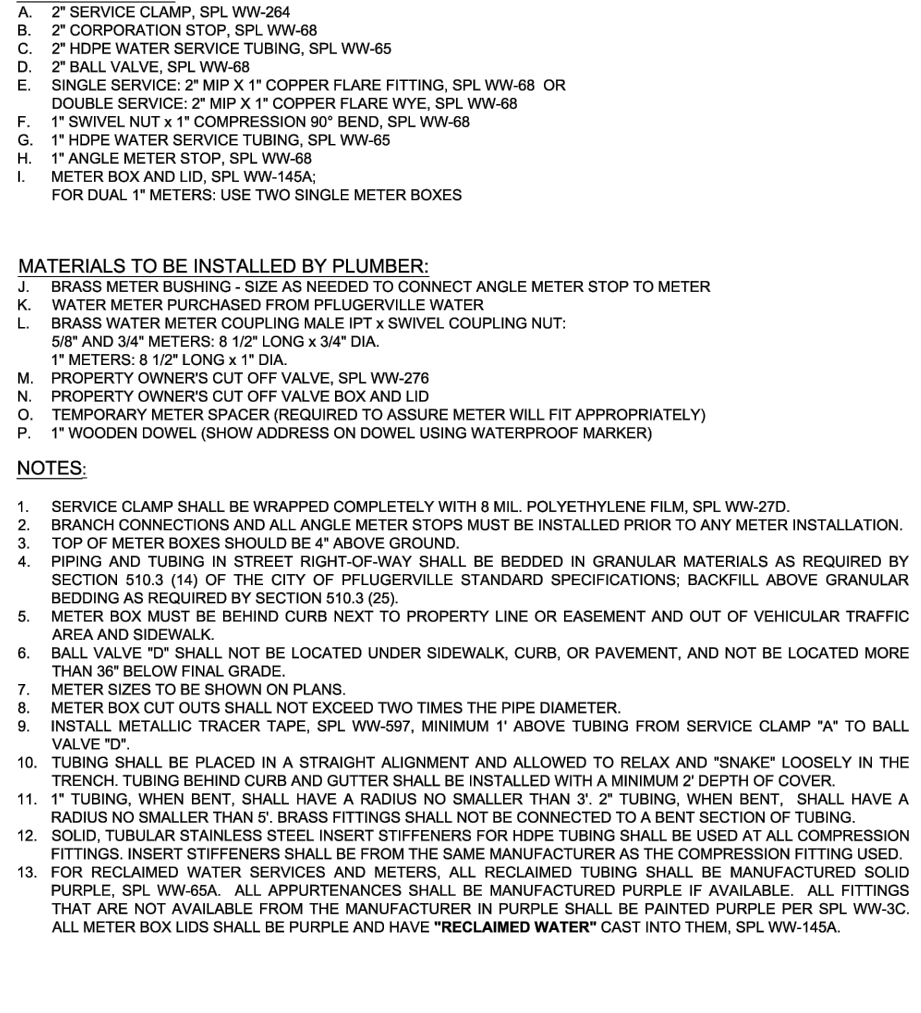
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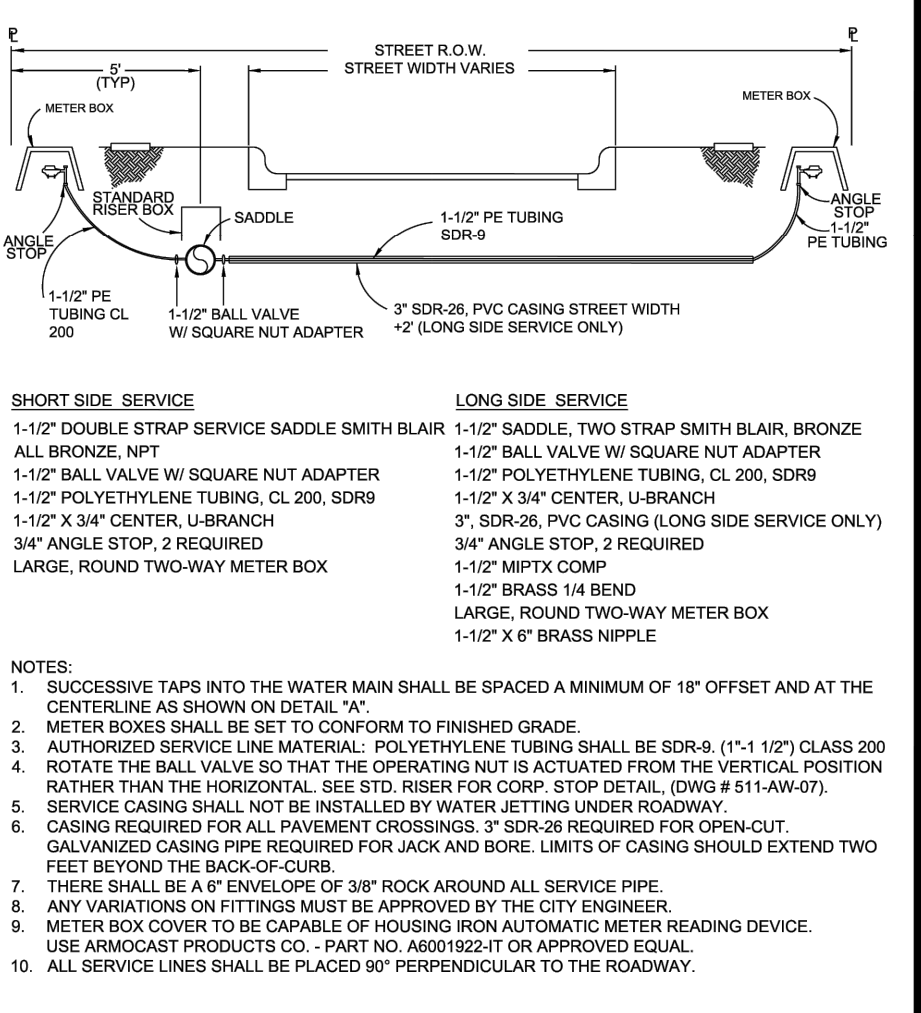
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DATE APPROVED:	DATE APPROVED:	TYP. THRUST BLOCKS FOR WATER AND FORCE MAINS	1 OF 2
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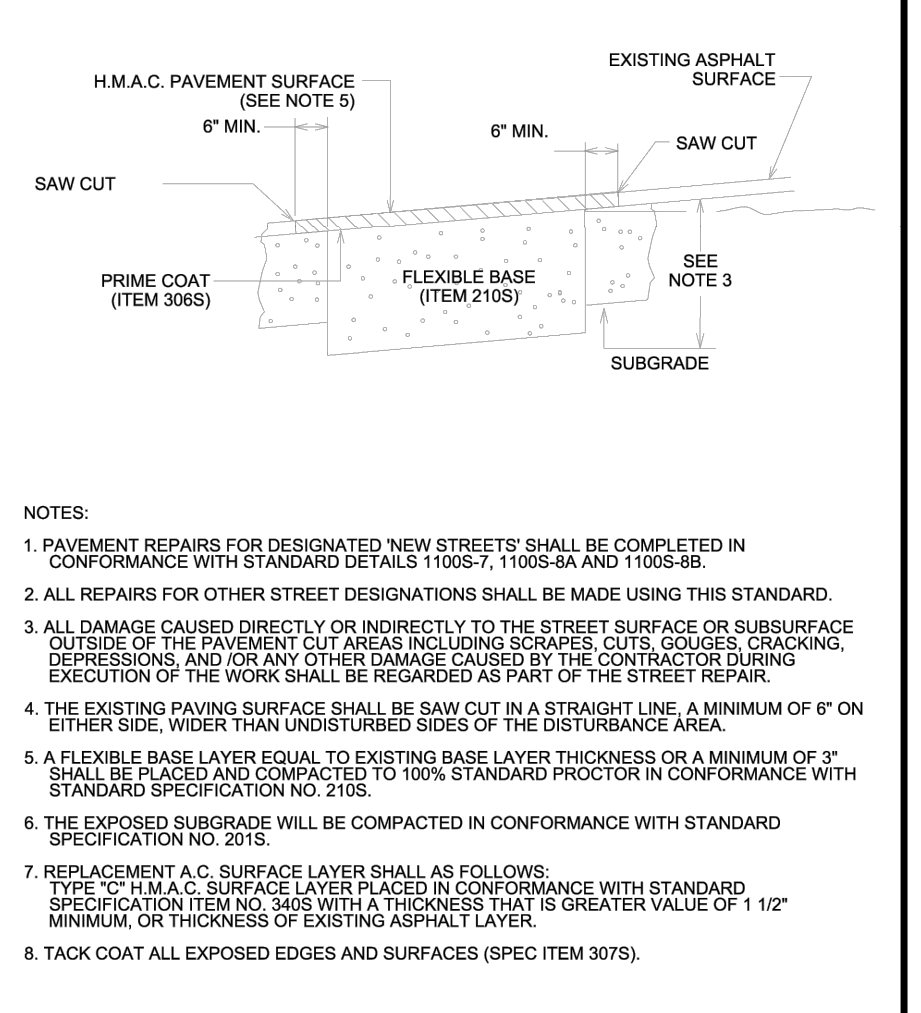
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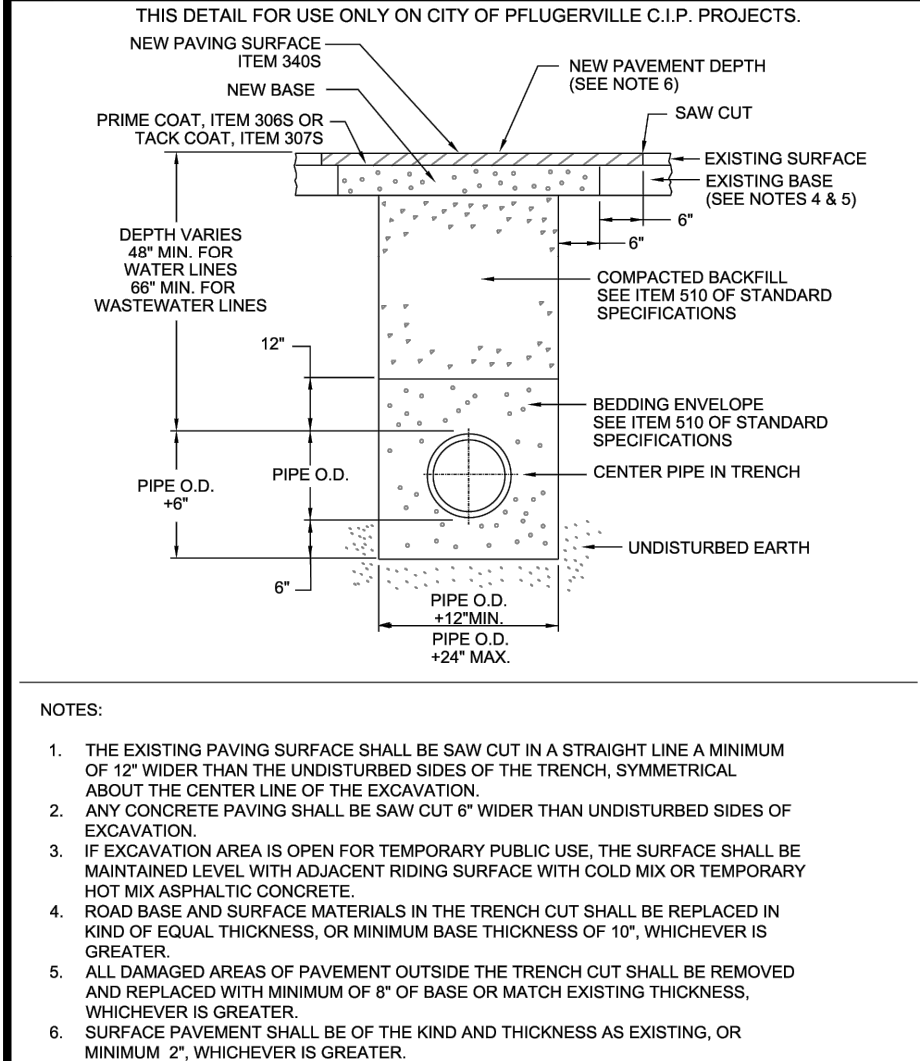
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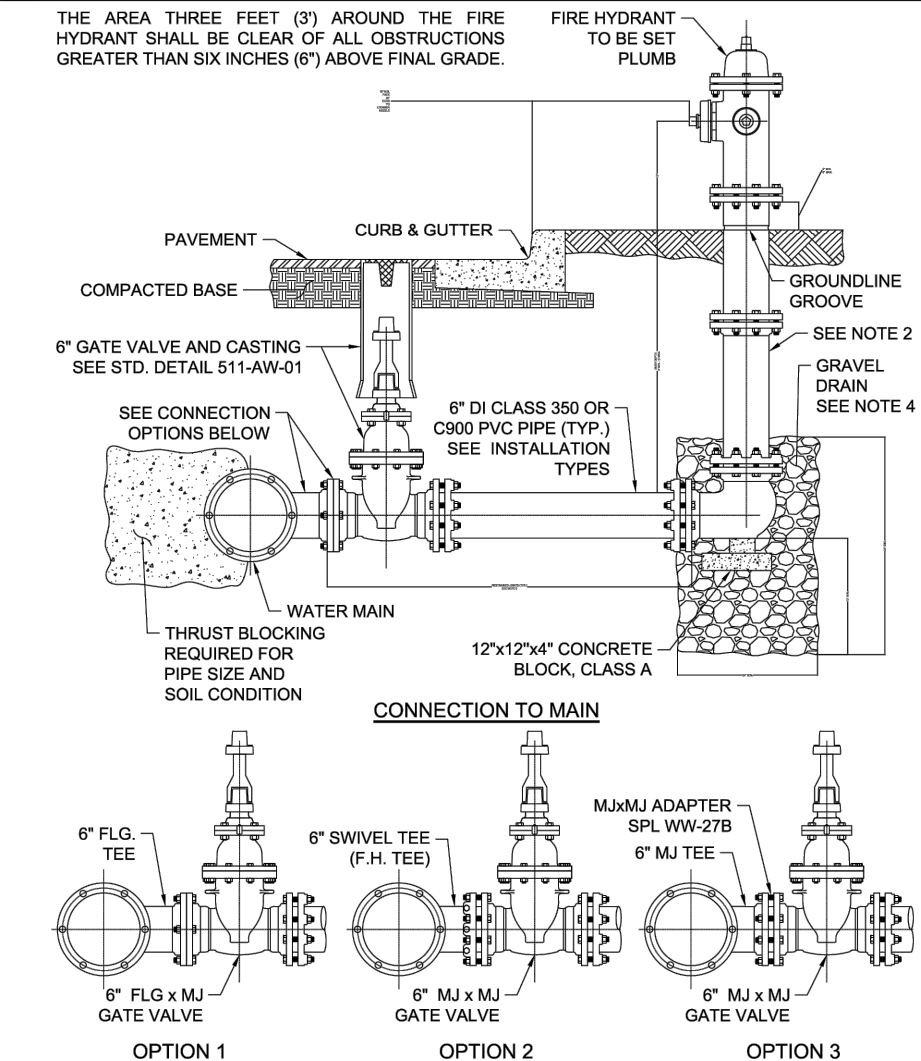
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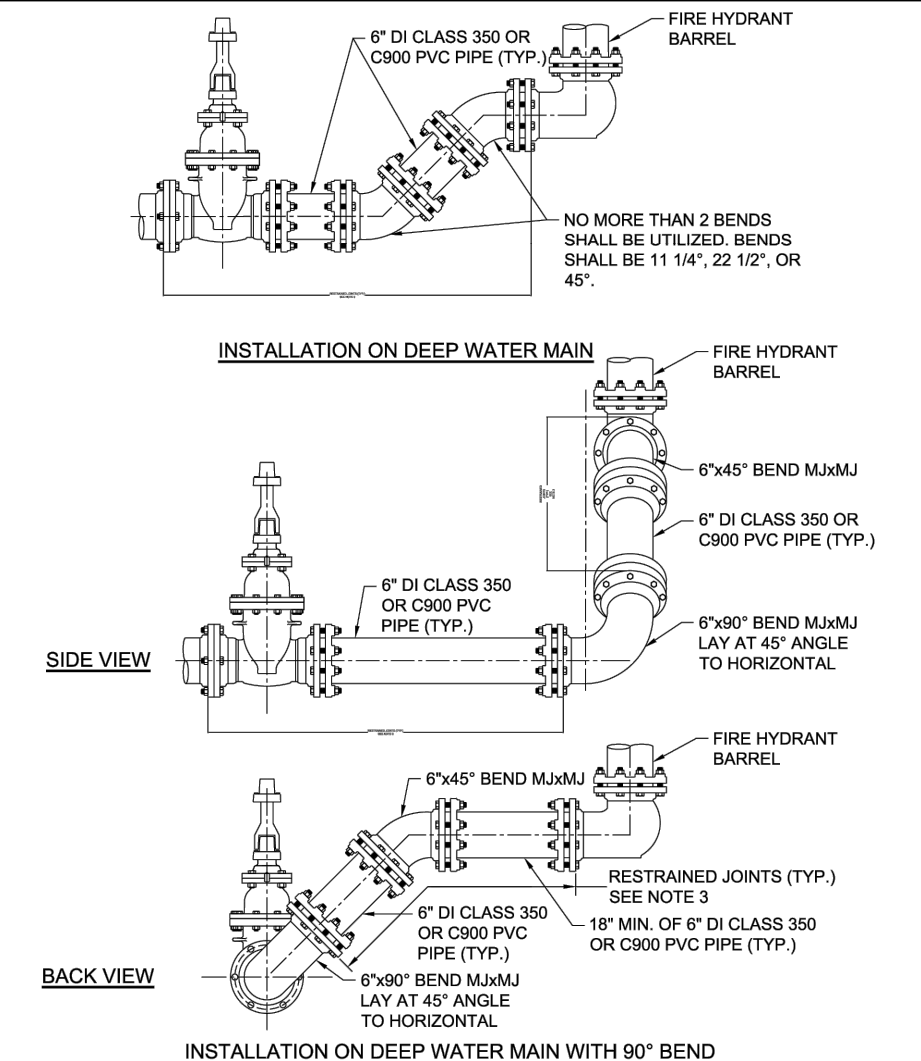
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DATE APPROVED:	DATE APPROVED:	EXISTING PAVEMENT REPAIR FOR NON-TRENCH AREAS PERPENDICULAR TO CURB ALIGNMENT	1 OF 1
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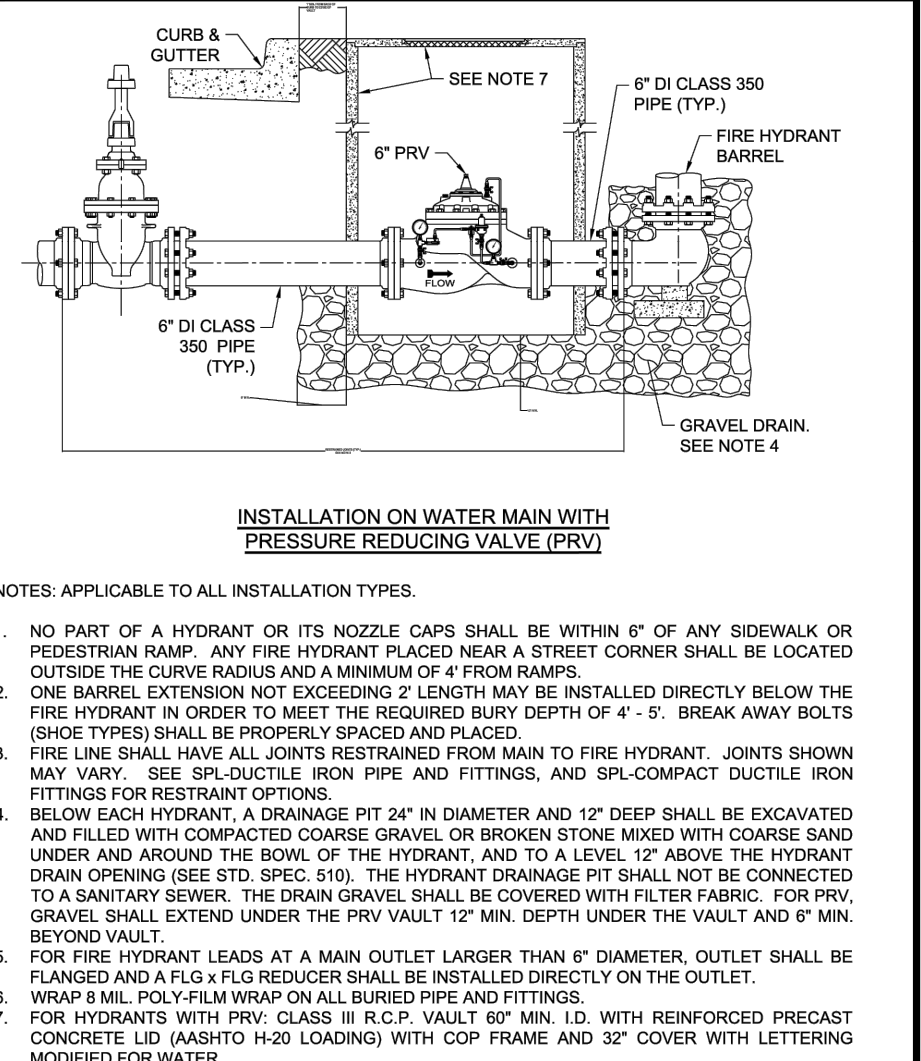
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DATE APPROVED:	DATE APPROVED:	TYPICAL TRENCH WITH PAVED SURFACE	1 OF 1
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ISSUE DATE:	REVISIONS:	CITY OF PFLUGERVILLE	511-AW-02
DATE APPROVED:	DATE APPROVED:	FIRE HYDRANT	1 OF 1
SCALE: N.T.S.	SCALE: N.T.S.	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	



ISSUE DATE:	REVISIONS:	CITY OF PFLUGERVILLE	511-AW-02
DATE APPROVED:	DATE APPROVED:	FIRE HYDRANT	2 OF 2
SCALE: N.T.S.	SCALE: N.T.S.	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	



ISSUE DATE:	REVISIONS:	CITY OF PFLUGERVILLE	511-AW-02
DATE APPROVED:	DATE APPROVED:	FIRE HYDRANT	3 OF 3
SCALE: N.T.S.	SCALE: N.T.S.	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	



ISSUE DATE:	REVISIONS:	CITY OF PFLUGERVILLE	511-AW-02
DATE APPROVED:	DATE APPROVED:	FIRE HYDRANT	4 OF 4
SCALE: N.T.S.	SCALE: N.T.S.	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	

NO.	REVISIONS	DATE

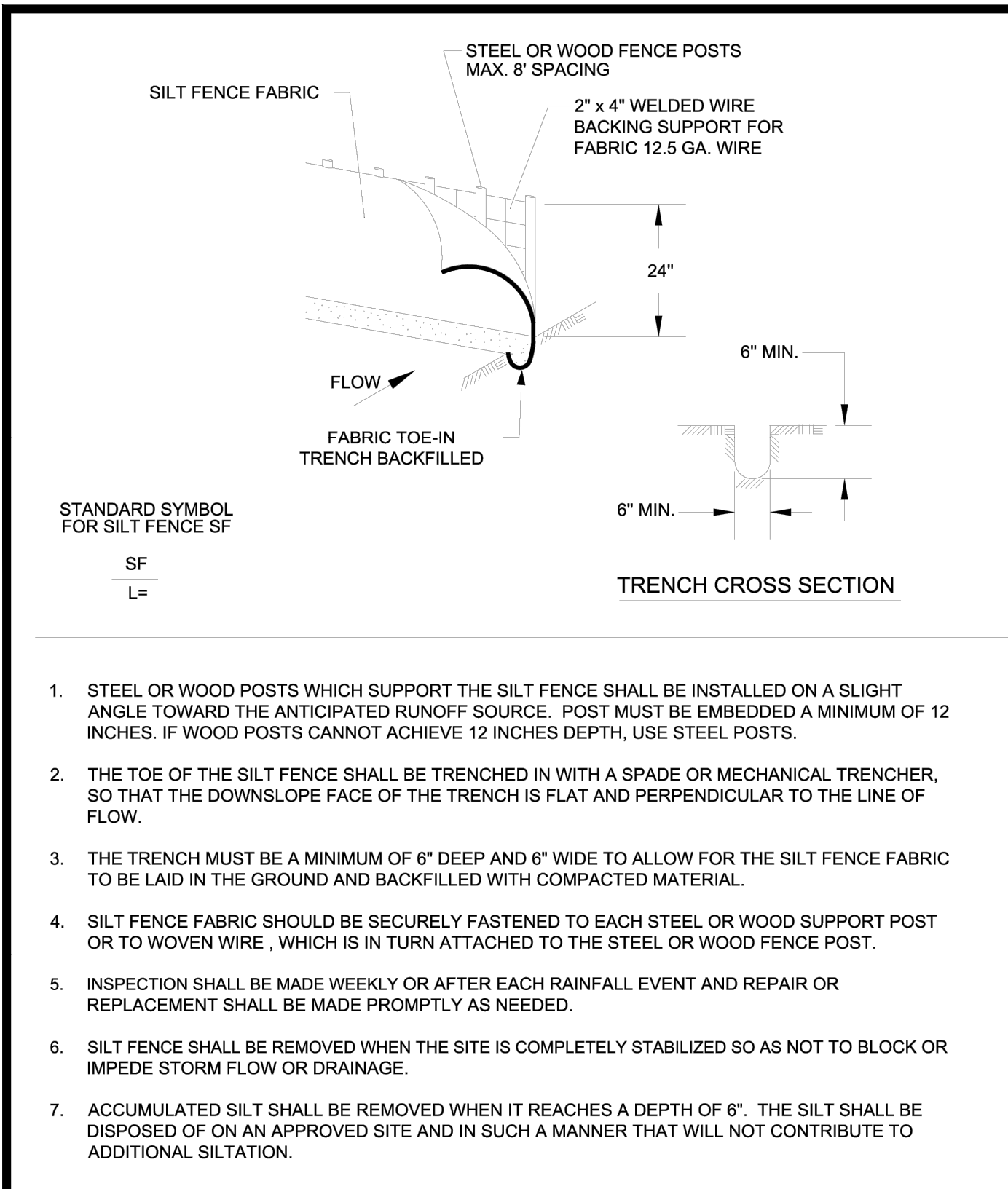
**ALJ Lindsey**  
 Civil Engineers  
 1885 N. Express Pkwy, Suite 200  
 Pflugerville, TX 77377  
 281-301-9595  
 FRN-FY-1526

STATE OF TEXAS  
 PROFESSIONAL ENGINEERING  
 95617  
 12 JUNE 2025

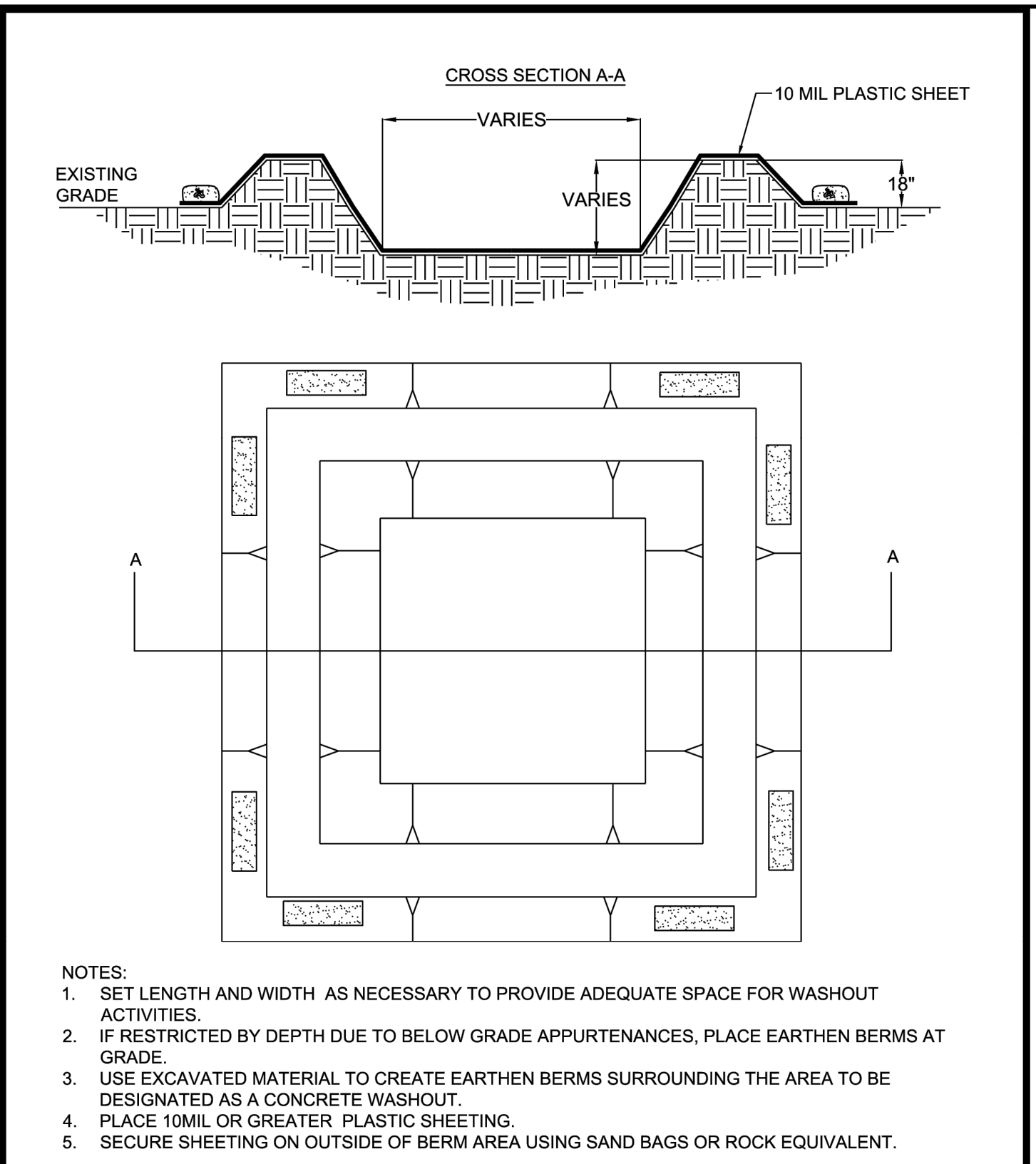
ALL PROJECT NO.:	02E2ACV158
DATE:	JUNE 2025
SCALE:	N/A
DRAWN BY:	JA
CHECKED BY:	RB

**CONSTRUCTION DETAILS (1 OF 2)**

PROPOSED 8 INCH WATER LINE  
 18708 LIMESTONE COMMERCIAL DR.,  
 PFLUGERVILLE, TEXAS 78660



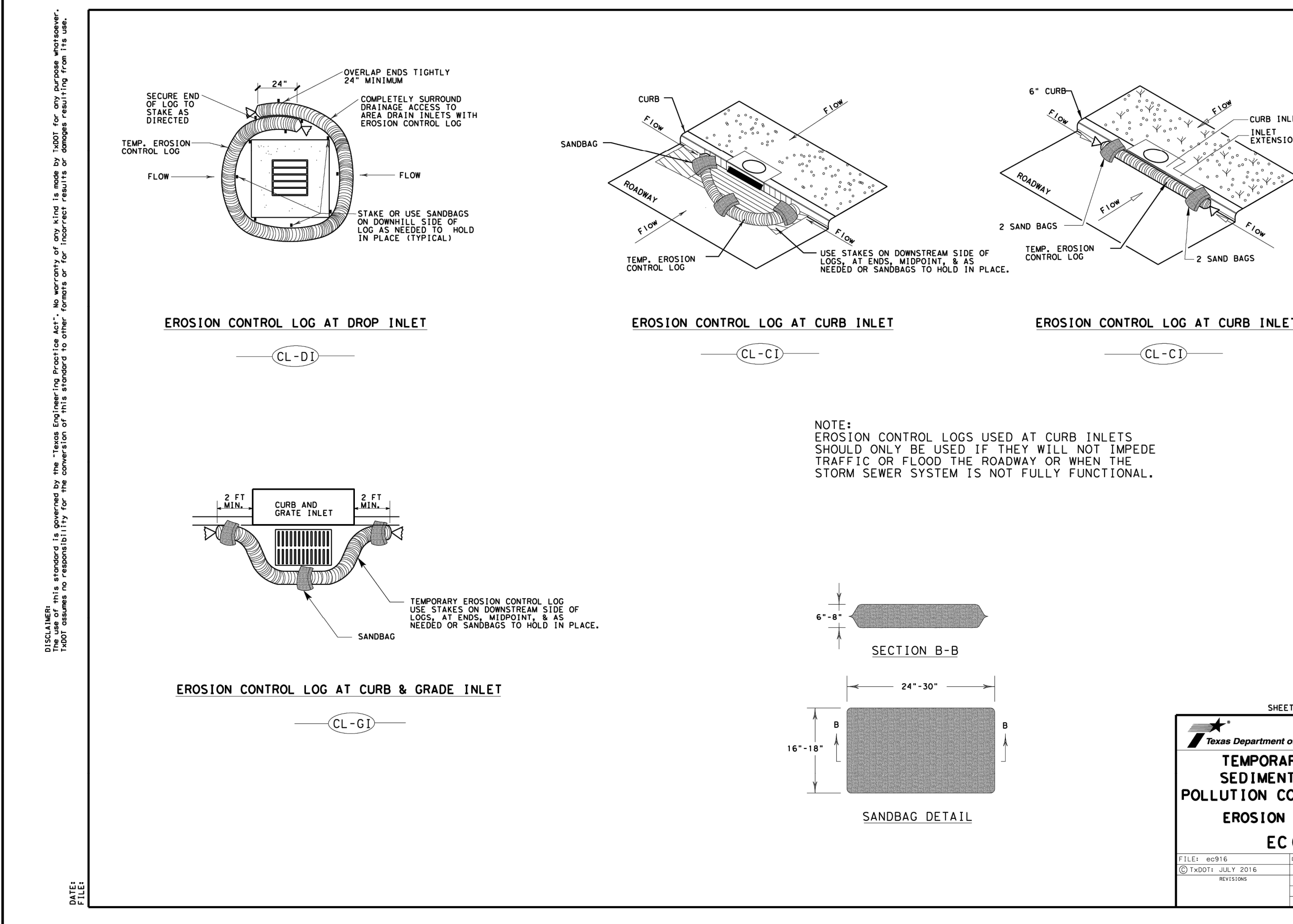
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ISSUE DATE:	REVISIONS	CITY OF PFLUGERVILLE	650S-3
DATE	APPROVED	CONSTRUCTION STANDARDS AND DETAILS	
SCALE:	N.T.S.	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	

SWPPP NOTES

- 1) POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION SITE:
  - ADHESIVES, PESTICIDES, DETERGENTS, PAINTS, FUELS, SOLVENTS, SEALANTS, FERTILIZERS, OILS, HERBICIDES, CLEANING SOLUTIONS, CONCRETE/CEMENT/PLASTER
- 2) STORM WATER QUALITY MEASURE IMPLEMENTATION RELATIVE TO LAND DISTURBING ACTIVITIES:
  - A) PRIOR TO CONSTRUCTION: SILT FENCING SHALL BE INSTALLED IN ALL LOCATIONS SHOWN ON SITE MAP THAT WILL NOT BE DISTURBED DURING THE INITIAL GRADING PROCESS. THE STABILIZED CONSTRUCTION EXIT SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
  - B) DURING CONSTRUCTION:
    - a) IMMEDIATELY AFTER PAVING CONSTRUCTION IS COMPLETE, INLET PROTECTION TRAPS WILL BE INSTALLED ON ALL NEWLY CONSTRUCTED INLETS.
    - b) WHEN EXISTING SILT FENCING NEEDS TO BE REMOVED FOR CONSTRUCTION OR ACCESS PURPOSES, IT WILL BE REPLACED AS SOON AS POSSIBLE AFTER CONSTRUCTION IN THE VICINITY OF THE REMOVED FENCE IS COMPLETE.
    - c) AS SOON AS PRACTICABLE AFTER SITE GRADING IS COMPLETE, FINAL STABILIZATION PROCEDURES SUCH AS TURF ESTABLISHMENT AND INSTALLATION OF PLANT MATERIAL WILL BE COMMENCED.
  - C) AFTER CONSTRUCTION: AFTER CONSTRUCTION ACTIVITY AND SITE STABILIZATION PROCEDURES ARE COMPLETE, STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE REMOVED. SOIL DISTURBED BY THE REMOVAL OF CONTROLS WILL BE STABILIZED.
- 3) PERMANENT STORM WATER CONTROLS: AFTER CONSTRUCTION ACTIVITY IS COMPLETE, AREAS NOT COVERED BY CONCRETE PAVEMENT OR BY STRUCTURES WILL BE LANDSCAPED AND IRRIGATED. ONCE ESTABLISHED, THIS VEGETATION WILL HELP PREVENT SEDIMENT RUNOFF IN THE FUTURE STORM EVENTS. NEWLY GRADED AREA WILL BE TEXTURED TO REDUCE FLOW VELOCITY.
- 4) MATERIAL HANDLING AND SPILL PREVENTION PLAN:
  - A) HAZARDOUS MATERIALS WILL BE STORED AND USED IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. DISPOSAL WILL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION, AND IN ACCORDANCE WITH STATE AND LOCAL LAWS AND REGULATIONS.
  - B) THE FOLLOWING PROCEDURES WILL BE FOLLOWED FOR CONTAINMENT AND CLEAN-UP OF SPILLS:
    - a) ALL SPILLS WILL BE CLEANED UP AND PROPERLY REMOVED IN ACCORDANCE WITH STATE REGULATIONS AND LOCAL ORDINANCES.
    - b) SOIL AND SPILLED MATERIALS WILL BE COLLECTED UNTIL NO VISIBLE EVIDENCE OF SPILLED MATERIAL REMAINS
    - c) THE TYPE OF MATERIAL AND QUANTITY OF RELEASE SHALL BE IDENTIFIED, AND APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT (PPE) SHALL BE WORN AS RECOMMENDED BY THE PRODUCT-SPECIFIC MSDS.
    - d) SPILL CONTAINMENT MAY INCLUDE CONSTRUCTION OF EARTH DIKES AROUND THE SPILL AREA, DEPLOYMENT OF ABSORBENT MATERIALS, OR USE OF COMMERCIALY AVAILABLE KITS.
    - e) CONTAMINATED SOIL AND SPILLED MATERIAL WILL BE STORED IN APPROPRIATE AND PROPERLY LABELED CONTAINERS, AND DISPOSED OF IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL RULES AND REGULATIONS.
- 5) GENERAL PERMIT MAINTENANCE REQUIREMENTS (FROM GENERAL PERMIT):
  - A) ALL PROTECTIVE MEASURES IDENTIFIED IN THIS SWPPP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF, THROUGH INSPECTION OR OTHER MEANS, THE PERMITEE DETERMINES THAT BMP'S ARE NOT OPERATING EFFECTIVELY, THEN THE PERMITEE SHALL PERFORM MAINTENANCE AS NECESSARY TO MAINTAIN THE CONTINUED EFFECTIVENESS OF STORM WATER CONTROLS, AND PRIOR TO THE NEXT RAIN EVENT, IF FEASIBLE. IF MAINTENANCE PRIOR TO THE NEXT ANTICIPATED STORM EVENT IS IMPRACTICABLE, THE REASON SHALL BE DOCUMENTED IN THE SWPPP AND MAINTENANCE MUST BE SCHEDULED AND ACCOMPLISHED AS SOON AS PRACTICABLE. EROSION AND SEDIMENT CONTROLS THAT HAVE BEEN INTENTIONALLY DISABLED, RUN-OVER, REMOVED, OR OTHERWISE RENDERED INEFFECTIVE MUST BE REPLACED OR CORRECTED IMMEDIATELY UPON DISCOVERY.
  - B) IF PERIODIC INSPECTIONS OR OTHER INFORMATION INDICATES A CONTROL HAS BEEN USED INCORRECTLY, IS PERFORMING INADEQUATELY, OR IS DAMAGED, THEN THE OPERATOR MUST REPLACE OR MODIFY THE CONTROL AS SOON AS PRACTICABLE AFTER MAKING THE DISCOVERY.
  - C) SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS AND SEDIMENTATION PONDS NO LATER THAN THE TIME THAT DESIGN CAPACITY HAS BEEN REDUCED BY 50%. FOR PERIMETER CONTROLS SUCH AS SILT FENCES, BERMS, ETC., THE TRAPPED SEDIMENT MUST BE REMOVED BEFORE IT REACHES 50% OF THE ABOVE GROUND HEIGHT.
  - D) IF SEDIMENT ESCAPES THE SITE, ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY THAT MINIMIZES OFF-SITE IMPACTS, AND PRIOR TO THE NEXT RAIN EVENT, IF FEASIBLE. IF THE PERMITEE DOES NOT OWN THE OFFSITE CONVEYANCE, THEN THE PERMITEE MUST WORK WITH THE OWNER OR OPERATOR OF THE PROPERTY TO REMOVE THE SEDIMENT.
- 6) EROSION AND SEDIMENT CONTROLS:
  - A) THE FOLLOWING NON-STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE UTILIZED ON THE PROJECT SITE:
    - a) WHERE PRACTICAL, CARE WILL BE TAKEN TO PROTECT NATURAL VEGETATION THAT DOES NOT NEED TO BE REMOVED FOR CONSTRUCTION PURPOSES.
    - b) PLACEMENT OF CONCRETE PARKING AND DRIVEWAY AREAS WILL BE PERFORMED AS SOON AS POSSIBLE AFTER SUB-GRADE STABILIZATION, TO MINIMIZE THE AMOUNT OF TIME DISPOSED SOIL IS EXPOSED TO THE ELEMENTS. THIS PRACTICE WILL REDUCE THE FREQUENCY THAT MAINTENANCE IS REQUIRED ON THE STRUCTURAL BMP'S.
    - c) THE GENERAL PERMIT REQUIRES THAT EROSION AND STABILIZATION MEASURES MUST BE INITIATED WITHIN 14 DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED. IF CONSTRUCTION ACTIVITY IS SCHEDULED TO RESUME WITHIN 21 DAYS FROM THE CESSATION OF CONSTRUCTION ACTIVITY, EROSION AND STABILIZATION MEASURES ARE NOT REQUIRED FOR THAT PORTION OF THE SITE.
    - d) ANY SEDIMENT THAT ENTERS THE STORM SEWER SYSTEM WILL BE REMOVED IMMEDIATELY (NOT FLUSHED).
    - e) SINCE ALL PROPOSED INLETS DRAIN LESS THAN 10-ACRES, SEDIMENT BASINS ARE NOT REQUIRED FOR THIS SITE.
    - f) WHERE PRACTICAL, CARE WILL BE TAKEN TO PROTECT NATURAL VEGETATION THAT DOES NOT NEED TO BE REMOVED FOR CONSTRUCTION PURPOSES.
  - B) THE FOLLOWING STRUCTURAL EROSION AND SEDIMENT CONTROLS WILL BE UTILIZED ON THE PROJECT SITE:
    - a) A STABILIZED CONSTRUCTION EXIT WILL BE INSTALLED AT THE LOCATION WHERE CONSTRUCTION TRAFFIC EXITS THE PROJECT SITE
    - b) INLET PROTECTION TRAPS WILL BE INSTALLED AT ALL INLETS IMMEDIATELY AFTER CONCRETE PAVEMENT IS PLACED
    - c) SILT FENCING (FILTER FABRIC FENCE OR REINFORCED FILTER FABRIC FENCE) WILL BE INSTALLED ALONG THE PROPERTY BOUNDARY AND ADJACENT TO EXISTING DITCHES, BAYOUS, STREAMS, RIVERS, AND/OR CHANNELS.
    - d) ANY SEDIMENT THAT ENTERS THE STORM SEWER SYSTEM WILL BE REMOVED IMMEDIATELY (NOT FLUSHED).
    - e) SINCE ALL PROPOSED INLETS DRAIN LESS THAN 10-ACRES, SEDIMENT BASINS ARE NOT REQUIRED FOR THIS SITE.
    - f) WHERE PRACTICAL, CARE WILL BE TAKEN TO PROTECT NATURAL VEGETATION THAT DOES NOT NEED TO BE REMOVED FOR CONSTRUCTION PURPOSES.



SHEET 3 OF 3

Texas Department of Transportation  
Design Division Standard

TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES  
EROSION CONTROL LOG  
EC (9) - 16

FILE#	NO	DATE	BY	CHK	DATE	BY
14001	0016	JULY 2016	DM	DM	LS/PT	DM/LS
NO	NO	NO	NO	NO	NO	NO
NO	NO	NO	NO	NO	NO	NO

DATE	REVISIONS	NO.

ALJLindsey  
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1808 Limestone Pkwy, Suite 200  
Pflugerville, TX 78660  
281-301-9925  
PRN F-1526

12 JUNE 2025

ALL PROJECT NO. 02624CV158  
DATE: JUNE 2025  
SCALE: N/A  
DRAWN BY: JAA  
CHECKED BY: RB

CONSTRUCTION DETAILS (2 OF 2)

PROPOSED 8 INCH WATER LINE  
18708 LIMESTONE COMMERCIAL DR,  
PFLUGERVILLE, TEXAS 78660

SHEET C3.1

PROJECT NUMBER: CON2025-00107